

CEDARWOOD - MULTI-FAMILY DEVELOPMENT

2023 / 07 / 14 - ISSUED FOR RE-ZONING / DEVELOPMENT PERMIT

EKISTICS
Architecture

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LEGAL ADDRESS
LOT 1, SECTION 8, RANGE 3 EAST AND OF SECTION 9,
RANGE 3 AND 4 EAST, NORTH SAANICH DISTRICT, PLAN
9185, EXCEPT PART IN PLAN 1696RW

PID
905-566-711

PROJECT TEAM

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CONTACT: JOE ZHOU

DRAWING INDEX

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| 1 | ISSUED FOR RE-ZONING DP 2023 / 07 / 14 |

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| PROJECT NUMBER | DD-87 |
| DRAWN BY | RR/ RW/ PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT

9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE

**COVER SHEET/
DRAWING INDEX**

DRAWING No.

A0.00

CEDARWOOD - MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE, SIDNEY, BC

LEGAL ADDRESSES: LOT 1, SECTION 8, RANGE 3 EAST AND OF SECTION 9, RANGE 3 AND 4 EAST, NORTH SAANICH DISTRICT, PLAN 9185, EXCEPT PART IN PLAN 1696

PID : 005-566-711

GENERAL STATISTICS AND ZONING COMPLIANCE - LOT 01

| | AREA | | PERCENTAGE | UNITS/ACRE | PROPOSED BUILDING HEIGHT | STOREYS | LIMIT |
|---|---------------|--|------------|------------|--------------------------|--|--|
| | (SQ M) | (SQ FT) | | | | | |
| TOTAL LOT AREA | 12,802.8 | 137,808.3 | | | | | |
| LOT 02 AREA | 8,755.7 | 94,245.6 | 68% | | | | |
| NET LOT-01 AREA | 4,047.11 | 43,562.70 | 32% | 49 | | | *REFER TO SITE SECTIONS FOR BUILDING HEIGHTS |
| EXISTING ZONING: | C4 | Neighbourhood Motel | | | | | |
| PROPOSED ZONING: | CD - C2 / RM6 | Multi-Family Residential w/ Commercial | | | | | |
| PROPOSED LOT COVERAGE (TOTAL FOOTPRINT) | 2,297.4 | 24,407.0 | 56% | | SETBACKS: | PROPOSED - PARKADE / BLDG / PROJECTION | |
| | | | | | FRONT | 4.6m / 4.6m / 3.7m | |
| | | | | | REAR | 1.5m / 4.6m / 4.0m | |
| | | | | | SIDE (interior) | 0.0m / 0.3m / 1.0m | |
| | | | | | SIDE (Exterior) | 4.6m / 4.6m / 3.6m | |
| PROPOSED TOTAL FSR | 5,633.1 | 60,636.0 | 7.39 | | | | |

APARTMENT BUILDING STATS

| UNIT TYPE | BEDROOMS | FLOOR AREA (SQ M) | FLOOR AREA (SQ FT) | COUNT L1 | COUNT L2 | COUNT L3 | TOTAL COUNT | TOTAL FLOOR AREA (SQ M) | TOTAL FLOOR AREA (SQ FT) |
|--------------|-------------|-------------------|--------------------|-----------|-----------|-----------|-------------|-------------------------|--------------------------|
| A | A1 1 BR | 47.4 | 509.9 | 3 | 3 | 3 | 9 | 426.3 | 4,589.1 |
| | A2 1 BR + D | 58.5 | 629.4 | 3 | 3 | 3 | 9 | 526.3 | 5,664.6 |
| B | B1 Jr 2 BR | 71.6 | 770.7 | 1 | 1 | 1 | 3 | 214.8 | 2,312.1 |
| | B2 2 BR | 92.4 | 994.4 | 2 | 2 | 2 | 6 | 554.3 | 5,999.4 |
| | B2a 2 BR | 90.5 | 974.3 | 1 | 1 | 1 | 3 | 574.3 | 6,151.8 |
| | B2b 2 BR | 92.6 | 996.5 | 1 | 1 | 1 | 3 | 574.3 | 6,151.8 |
| | B3 2 BR + D | 122.4 | 1,317.4 | 1 | 1 | 1 | 3 | 367.2 | 3,952.2 |
| B4 2 BR + D | 134.4 | 1,446.6 | 1 | 1 | 1 | 3 | 403.2 | 4,339.8 | |
| C | C1 3 BR + D | 136.9 | 1,473.4 | 2 | 2 | 2 | 6 | 821.3 | 8,840.4 |
| | C2 3 BR + D | 139.1 | 1,497.4 | 1 | 1 | 1 | 3 | 417.3 | 4,492.2 |
| | C3 3 BR + D | 191.5 | 2,061.7 | 1 | 1 | 1 | 3 | 574.6 | 6,185.1 |
| | C4 3 BR + D | 156.6 | 1,686.1 | 1 | 1 | 1 | 2 | 313.3 | 3,372.2 |
| TOTAL | | | | 15 | 18 | 16 | 49 | 4,802 | 51,684.9 |

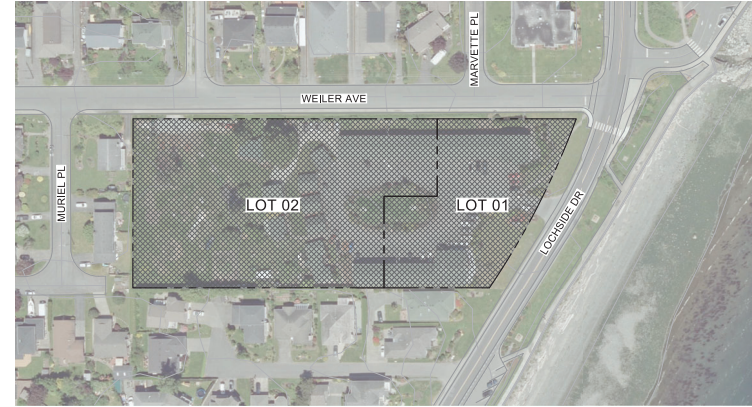
| | | |
|--------------------------|----------------|-----------------|
| C.R.U. | 140.6 | 1,513.5 |
| AMENITY | 70.2 | 756.6 |
| MECHANICAL (ABOVE GRADE) | 41.8 | 450.2 |
| CIRCULATION | 579.0 | 6,231.8 |
| GROSS FLOOR AREA | 5,633.3 | 60,636.0 |
| PARKADE AREA | 3,247.5 | 34,955.8 |

GENERAL STATISTICS AND ZONING COMPLIANCE COMPARABLE - WHOLE LOT / NOT SUBDIVIDED

| | AREA | | PERCENTAGE | UNITS/ACRE |
|---|---------------|--|------------|------------|
| | (SQ M) | (SQ FT) | | |
| TOTAL LOT AREA | 12,802.8 | 137,808.3 | | 29 |
| EXISTING ZONING: | C4 | Neighbourhood Motel | | |
| PROPOSED ZONING: | CD - C2 / RM6 | Multi-Family Residential w/ Commercial | | |
| PROPOSED LOT COVERAGE (TOTAL FOOTPRINT) | 5,852.8 | 63,000.6 | 49% | |
| PROPOSED TOTAL FSR | 12,195.4 | 131,274.0 | 0.95 | |
| TOTAL NUMBER OF UNITS | 92 | | | |

AMENITY, OPEN SPACE

| | FORMULA | TOTAL (SQ M) | TOTAL (SQ FT) |
|--------------------------------|---------|--------------|---------------|
| PROVIDED AMENITY AREA | 14% | 1,175.3 | 12,678.9 |
| PROVIDED ROOF TOP AMENITY AREA | 3% | 339.1 | 3,649.7 |



CONTEXT PLAN

PARKING

| | FORMULA | TOTAL |
|------------------------------|-------------------|-----------|
| PROVIDED RESIDENTIAL PARKING | 1.5 CARS/DWELLING | 74 |
| PROVIDED VISITOR PARKING | 0.2 CARS/DWELLING | 10 |
| PROVIDED COMMERCIAL PARKING | 1 / 40 SQ M | 4 |
| TOTAL PARKING STALLS | | 88 |
| PROVIDED ACCESSIBLE PARKING | TYPE A | 2 |
| PROVIDED ACCESSIBLE PARKING | TYPE B | 1 |
| PROVIDED SMALL CAR PARKING | 0% | 0 |

*Electric Vehicle Charging Infrastructure shall be provided to all parking spaces and terminate in an Energized Outlet capable of providing a minimum of Level 2 Charging.

BIKE STALLS

| | FORMULA | TOTAL |
|---------------------------------|---------|-------|
| PROVIDED RESIDENT BIKE STALLS | | 52 |
| PROVIDED SHORT TERM BIKE STALLS | | 6 |

AMENITY, OPEN SPACE

| | FORMULA | TOTAL (SQ M) | TOTAL (SQ FT) |
|--------------------------------|---------|--------------|---------------|
| PROVIDED AMENITY AREA | 23% | 1,233.3 | 13,322.9 |
| PROVIDED ROOF TOP AMENITY AREA | 3% | 339.1 | 3,649.7 |

OTHER REGULATIONS

| | TOTAL (M) | TOTAL (FT) |
|----------------------------------|-----------|------------|
| PROVIDED MAXIMUM BUILDING HEIGHT | 11.6 | 37.7 |

| ISSUES | DATE |
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| 3 | |
| 2 | |
| 1 | ISSUED FOR RE-ZONING DP 2023 / 07 / 14 |

PROJECT NUMBER: DD-87
DRAWN BY: RR/ RW/ PM
CHECKED BY: MB
DATE CHECKED:
CONSULTANT:

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
LOT 1
PROJECT STATISTICS

DRAWING NO.

A0.01a

CEDARWOOD - MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE, SIDNEY, BC

LEGAL ADDRESSES: LOT 1, SECTION 8, RANGE 3 EAST AND OF SECTION 9, RANGE 3 AND 4 EAST, NORTH SAANICH DISTRICT, PLAN 9185, EXCEPT PART IN PLAN 1696
PID : 005-566-711

GENERAL STATISTICS AND ZONING COMPLIANCE - LOT 02

| | (SQ M) | AREA (SQ FT) | PERCENTAGE | UNITS/ACRE | | | |
|---|--------------------------|--------------|------------|------------|--------------------------|-------------|--|
| TOTAL LOT AREA | 12,802.8 | 137,808.3 | | | | | |
| LOT 01 AREA | 4,047.1 | 43,582.7 | 32% | | PROPOSED BUILDING HEIGHT | 2.5 STOREYS | 9.4M - 11.5M |
| NET LOT 02 AREA | 8,755.7 | 94,245.6 | 68% | 22 | | | *REFER TO SITE SECTIONS FOR BUILDING HEIGHTS |
| EXISTING ZONING: C4 | Neighbourhood Motel | | | | | | |
| PROPOSED ZONING: CD - RMS | Multi-Family Residential | | | | | | |
| PROPOSED LOT COVERAGE (TOTAL FOOTPRINT) | 3,585.3 | 38,593.6 | 41% | | SETBACKS: | | PROPOSED - BLDG |
| | | | | | FRONT | | 4.6M |
| | | | | | REAR | | 2.5M |
| | | | | | SIDE (Interior) | | 4.6M / 0.6M |
| | | | | | SIDE (Exterior) | | n/a |
| PROPOSED TOTAL FSR | 6,592.3 | 70,638.0 | 0.75 | | | | |

TOWNHOUSE STATS

| UNIT TYPE | WIDTH (FT) | COUNT | BEDROOMS | PARKING TYPE | LOWER FLOOR AREA (SQ FT) | MAIN FLOOR AREA (SQ FT) | UPPER FLOOR AREA (SQ FT) | GARAGE AREA (SQ FT) | MECHANICAL AREA (SQ FT) | NET FLOOR AREA (SQ FT) | |
|--------------|------------|---------|-----------------|--------------|--------------------------|-------------------------|--------------------------|---------------------|-------------------------|------------------------|---------|
| A | A1 | 24'-6" | 1 | 3 | DOUBLE | 101.7 | 891.3 | 1,000.8 | 736.0 | 11.8 | 1,982.0 |
| | A2 | 24'-6" | 3 | 3 | DOUBLE | 101.7 | 872.2 | 983.9 | 736.0 | 11.8 | 1,946.0 |
| | A2a | 24'-6" | 1 | 3 | DOUBLE | 101.7 | 879.3 | 992.3 | 741.7 | 11.8 | 1,958.8 |
| | A3 | 20'-8" | 3 | 3 | DOUBLE | 133.1 | 758.4 | 835.1 | 523.2 | 30.7 | 1,685.9 |
| | A4 | 20'-8" | 5 | 3 | DOUBLE | 133.1 | 757.3 | 835.4 | 523.2 | 30.7 | 1,686.1 |
| A4a | 20'-10" | 3 | 3 | DOUBLE | 133.1 | 763.6 | 841.7 | 528.5 | 30.7 | 1,707.7 | |
| | | | SUBTOTAL | 16 | | | | | | | |
| B | B1 | 16'-0" | 3 | 3 | TANDEM | 107.4 | 675.1 | 693.3 | 524.3 | 16.6 | 1,429.2 |
| | B1a | 16'-0" | 3 | 3 | TANDEM | 107.4 | 675.1 | 693.3 | 524.3 | 16.6 | 1,429.2 |
| | B1a | 16'-2" | 1 | 3 | TANDEM | 107.6 | 705.0 | 695.7 | 530.8 | 16.6 | 1,491.7 |
| | B1aa | 16'-2" | 1 | 3 | TANDEM | 107.6 | 705.0 | 695.7 | 530.8 | 16.6 | 1,491.7 |
| | B2 | 16'-0" | 3 | 3 | TANDEM | 106.8 | 674.6 | 693.5 | 524.3 | 16.6 | 1,428.2 |
| | B2a | 16'-0" | 3 | 3 | TANDEM | 106.8 | 674.6 | 693.5 | 524.3 | 16.6 | 1,428.2 |
| | B2a | 16'-2" | 1 | 3 | TANDEM | 107.4 | 709.2 | 697.7 | 531.1 | 16.6 | 1,497.7 |
| B2aa | 16'-2" | 1 | 3 | TANDEM | 107.4 | 709.2 | 697.7 | 531.1 | 16.6 | 1,497.7 | |
| | | | SUBTOTAL | 16 | | | | | | | |
| C | C1 | 15'-8" | 6 | 3 | TANDEM | 112.1 | 568.8 | 595.5 | 463.3 | 12.6 | 1,263.8 |
| | C1a | 15'-10" | 2 | 3 | TANDEM | 112.7 | 592.6 | 618.8 | 470.1 | 12.6 | 1,311.5 |
| | C2 | 15'-4" | 6 | 2 | DOUBLE | 324.7 | 557.2 | 496.0 | 441.9 | 284.0 | 1,063.9 |
| | C2a | 15'-6" | 2 | 2 | DOUBLE | 327.9 | 580.4 | 519.3 | 445.7 | 287.2 | 1,140.4 |
| | | | SUBTOTAL | 16 | | | | | | | |
| TOTAL | | | 48 | | | | | | | | |

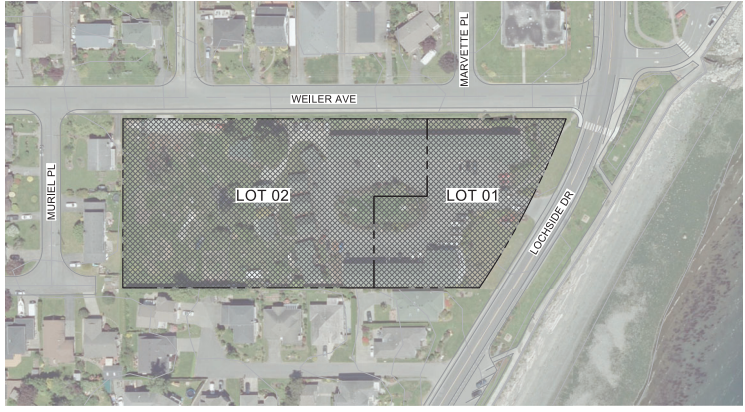
| BUILDING FLOOR AREA (FSR) | | | | LOT COVERAGE AREA - FOOTPRINT AREA | | | |
|---------------------------|---|--------------------------|-------------------------|------------------------------------|-------------------------------------|----------------------------|---------------------------|
| BUILDING NUMBER | BLDG TYPE | TOTAL FLOOR AREA (SQ FT) | TOTAL FLOOR AREA (SQ M) | BUILDING NUMBER | BLDG TYPE | TOTAL LOT COVERAGE (SQ FT) | TOTAL LOT COVERAGE (SQ M) |
| 1 | A1 - A2 - A3 - A4 - A4a | 9,778.50 | 908.46 | 1 | A1 - A2 - A3 - A4 - A4a | 5,935.80 | 551.45 |
| 2 | A3 - A4 - A4 - A4a | 6,793.80 | 631.16 | 2 | A3 - A4 - A4 - A4a | 3,997.20 | 371.35 |
| 3 | A3 - A4 - A4 - A4a | 6,793.80 | 631.16 | 3 | A3 - A4 - A4 - A4a | 3,997.20 | 371.35 |
| 4 | A3 - A4 - A4a | 5,098.70 | 473.65 | 4 | A3 - A4 - A4a | 2,998.60 | 278.58 |
| 5 | B2a - B1 - B2 - B1 - B2 - B1 - B2 - B1a | 11,561.60 | 1,074.11 | 5 | B2a - B1 - B2 - B1 - B2 - B1a | 5,481.20 | 509.22 |
| 6 | C1a - C2 - C1 - C2 - C1 - C2 - C1 - C2a | 9,625.00 | 894.90 | 6 | C1a - C2 - C1 - C2 - C1 - C2a | 5,351.20 | 497.14 |
| 7 | C1a - C2 - C1 - C2 - C1 - C2 - C1 - C2a | 884.90 | 82.00 | 7 | C1a - C2 - C1 - C2 - C1 - C2a | 5,351.20 | 497.14 |
| 8 | B2aa - B1a - B2a - B1a - B2a - B1a - B2a - B1aa | 11,561.60 | 1,074.11 | 8 | B2aa - B1a - B2a - B1a - B2a - B1aa | 5,481.20 | 509.22 |
| TOTAL | | 70,638.00 | 6,562.49 | TOTAL | | 38,593.60 | 3,585.46 |

GENERAL STATISTICS AND ZONING COMPLIANCE COMPARABLE - WHOLE LOT / NOT SUBDIVIDED

| | (SQ M) | AREA (SQ FT) | PERCENTAGE | UNITS/ACRE |
|---|--|--------------|------------|------------|
| TOTAL LOT AREA | 12,802.8 | 137,808.3 | | 29 |
| EXISTING ZONING: C4 | Neighbourhood Motel | | | |
| PROPOSED ZONING: CD - C2 / RM6 | Multi-Family Residential w/ Commercial | | | |
| PROPOSED LOT COVERAGE (TOTAL FOOTPRINT) | 5,852.8 | 63,000.6 | 49% | |
| PROPOSED TOTAL FSR | 12,195.4 | 131,274.0 | 0.95 | |
| TOTAL NUMBER OF UNITS | 92 | | | |

AMENITY, OPEN SPACE

| FORMULA | TOTAL (SQ M) | TOTAL (SQ FT) |
|--------------------------------|--------------|---------------|
| PROVIDED AMENITY AREA | 14% | 1,735.3 |
| PROVIDED ROOF TOP AMENITY AREA | 3% | 339.1 |
| | | 3,649.7 |



CONTEXT PLAN

PARKING

| FORMULA | TOTAL | |
|-----------------------------|-------------------|------------|
| PROVIDED RESIDENTAL PARKING | 2.0 CARS/DWELLING | 96 |
| PROVIDED SMALL CAR PARKING | 0.0% | 0 |
| PROVIDED VISITOR PARKING | 0.2 CARS/DWELLING | 10 |
| TOTAL PARKING STALLS | | 106 |
| PROVIDED ACCESSIBLE PARKING | TYPE A | 1 |
| PROVIDED ACCESSIBLE PARKING | TYPE B | 1 |
| PROVIDED SMALL CAR PARKING | 0% | 0 |

*Electric Vehicle Charging Infrastructure shall be provided to all parking spaces and terminate in an Energized Cables capable of providing a minimum of Level 2 Charging.

BIKE STALLS

| FORMULA | TOTAL | |
|---------------------------------|---------------------|----|
| PROVIDED RESIDENT BIKE STALLS | 1.0 STALLS/DWELLING | 48 |
| PROVIDED SHORT TERM BIKE STALLS | | 6 |

AMENITY, OPEN SPACE

| FORMULA | TOTAL (SQ M) | TOTAL (SQ FT) |
|-----------------------|--------------|---------------|
| PROVIDED AMENITY AREA | 9% | 809.0 |
| | | 8,678.0 |

OTHER REGULATIONS

| FORMULA | TOTAL (M) | TOTAL (FT) |
|----------------------------------|-----------|------------|
| PROVIDED MAXIMUM BUILDING HEIGHT | 11.0 | 37.7 |

EKISTICS
Architecture

1885 Main Street
 Vancouver BC
 Canada V6T 3C1

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 www.ekistics.com

| ISSUES | DATE |
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| | 2023 / 07 / 14 |

PROJECT NUMBER: CD-87
 DRAWN BY: R/R/R/P/M
 CHECKED BY: MB
 DATE CHECKED:
 CONSULTANT:

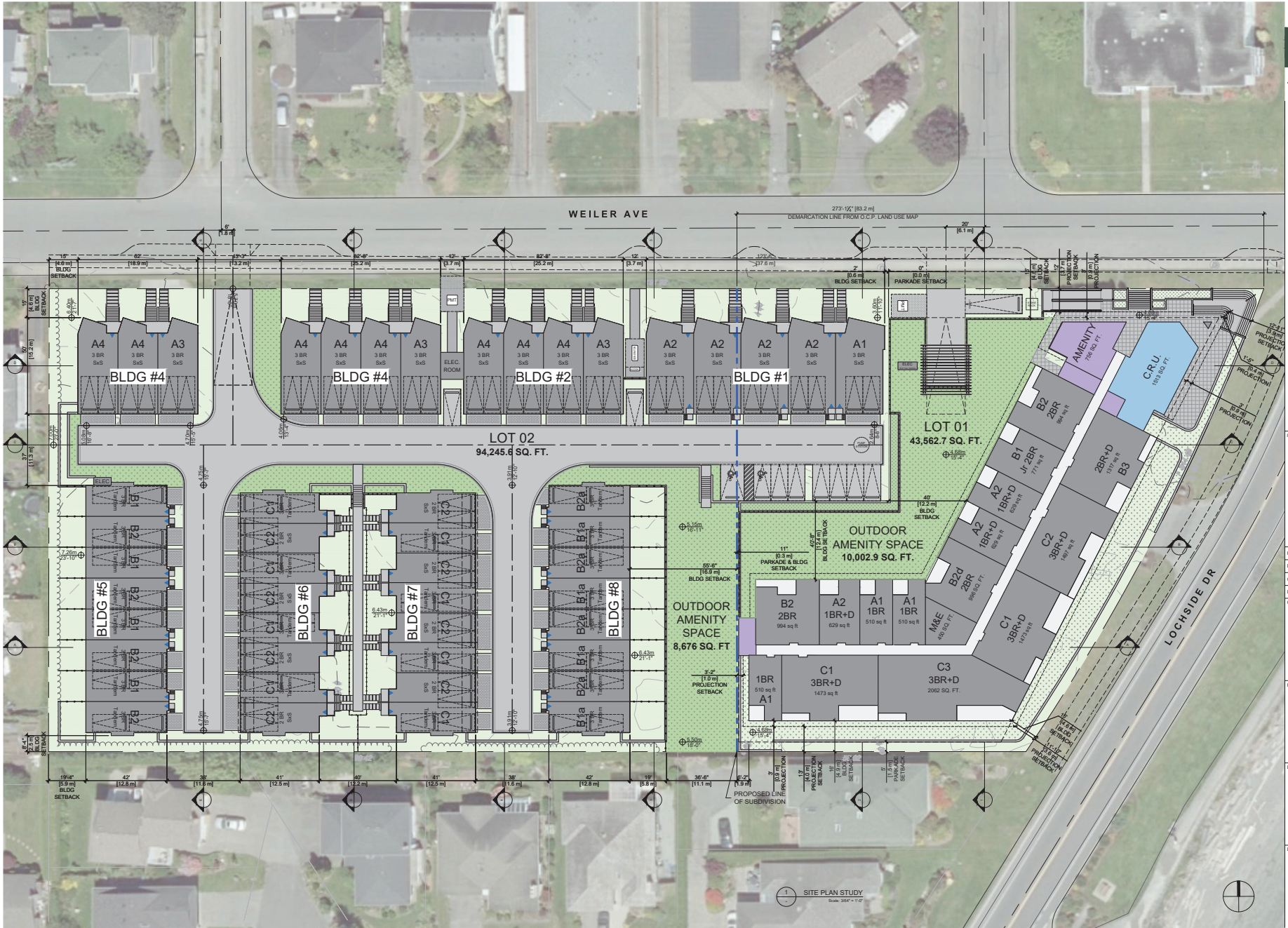
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT

9522 LOCHSIDE DRIVE
 SIDNEY, BC

DRAWING TITLE:
LOT 2
PROJECT STATISTICS

DRAWING NO:

A0.01b



| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING DP |
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PROJECT NUMBER: DD-87
 DRAWN BY: RW/RV/PM
 CHECKED BY: MB
 DATE CHECKED:
 CONSULTANT:

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
SITE PLAN

DRAWING NO.
A1.01

1 SITE PLAN STUDY



7 PERSPECTIVE VIEW @ LOCHSIDE DR LOOKING NORTH
N.T.S.



6 PERSPECTIVE VIEW @ SEAWALL (LOCHSIDE DR) LOOKING WEST
N.T.S.



5 PERSPECTIVE VIEW @ NORTH EAST CORNER OF LOCHSIDE & WEILER LOOKING SOUTH WEST
N.T.S.



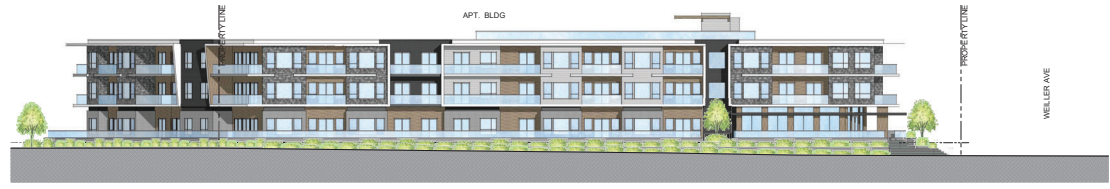
4 PERSPECTIVE VIEW @ WEILER AVE & MARVETTE PL LOOKING SOUTH EAST
N.T.S.



3 PERSPECTIVE VIEW @ WEILER AVE LOOKING SOUTH EAST
N.T.S.



2 WEILER AVE - STREETSCAPE
Scale: 3/8" = 1'-0"



1 LOCHSIDE DR - STREETSCAPE
Scale: 3/8" = 1'-0"

| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING DP 2023 / 07 / 14 |

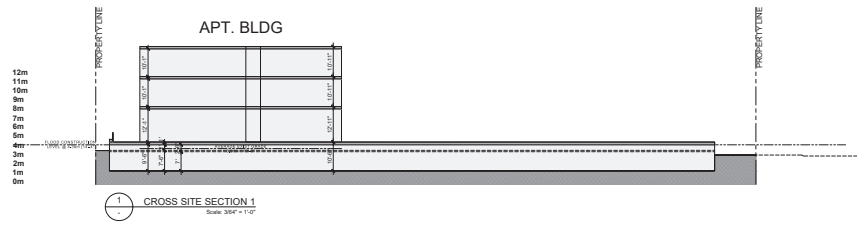
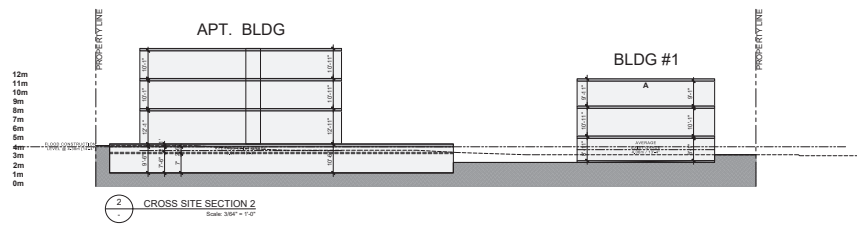
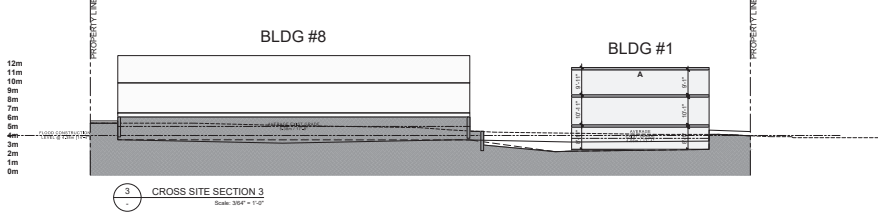
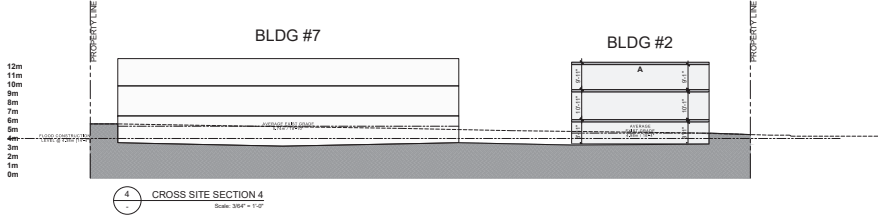
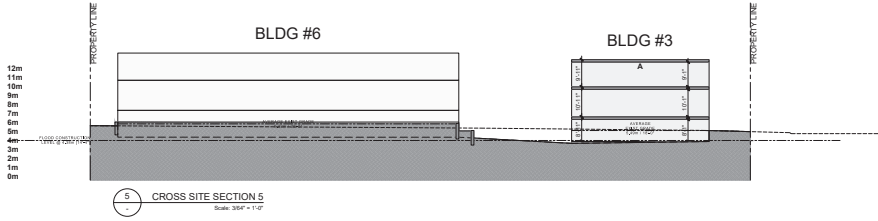
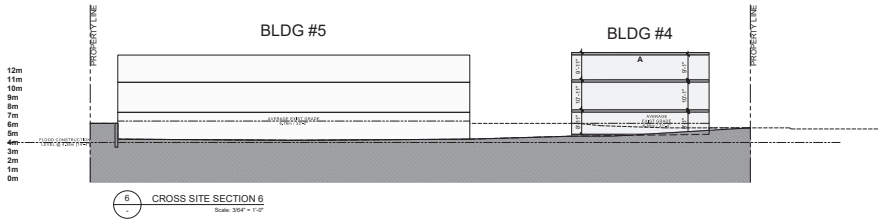
| | |
|----------------|----------|
| PROJECT NUMBER | DD-87 |
| DRAWN BY | RW/RJ/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
STREETSCAPES & PERSPECTIVES

DRAWING No.

A1.10



| ISSUES | DATE |
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| 8 | |
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| 1 | ISSUED FOR RE-ZONING DP |
| | 2023 / 07 / 14 |

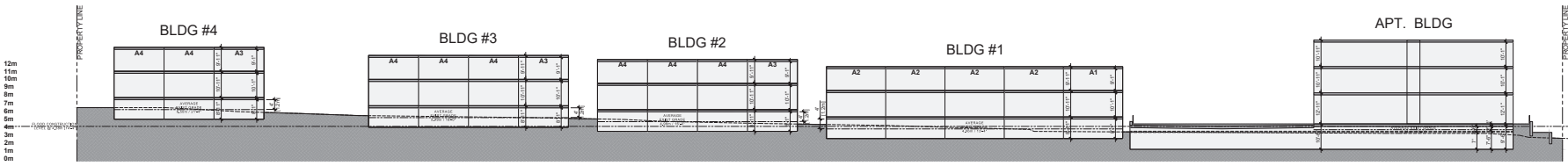
PROJECT NUMBER: DD-87
 DRAWN BY: RR/RV/PM
 CHECKED BY: MB
 DATE CHECKED:
 CONSULTANT:

PROJECT
CEDARWOOD
 MULTI-FAMILY DEVELOPMENT
 9522 LOCHSIDE DRIVE
 SIDNEY, BC

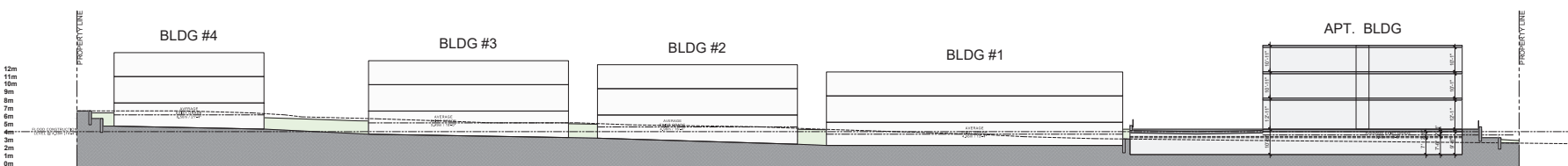
DRAWING TITLE
SITE SECTIONS

DRAWING No.

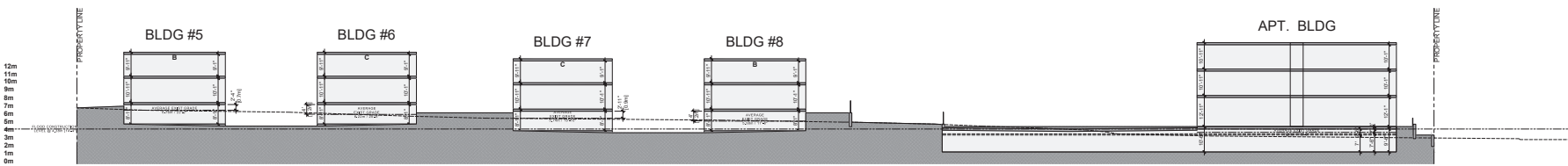
A1.11



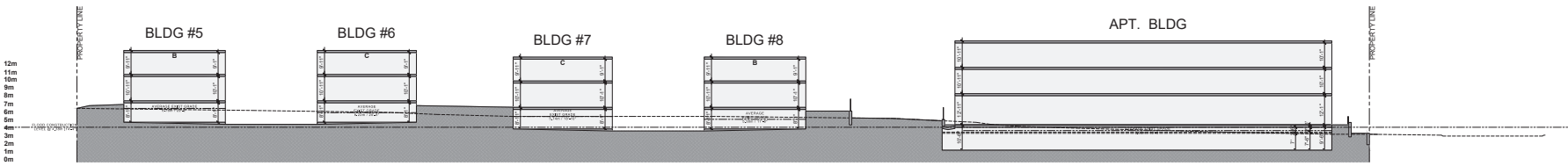
4 SITE SECTION D
Scale 3/8" = 1'-0"



3 SITE SECTION C
Scale 3/8" = 1'-0"



2 SITE SECTION B
Scale 3/8" = 1'-0"



1 SITE SECTION A
Scale 3/8" = 1'-0"

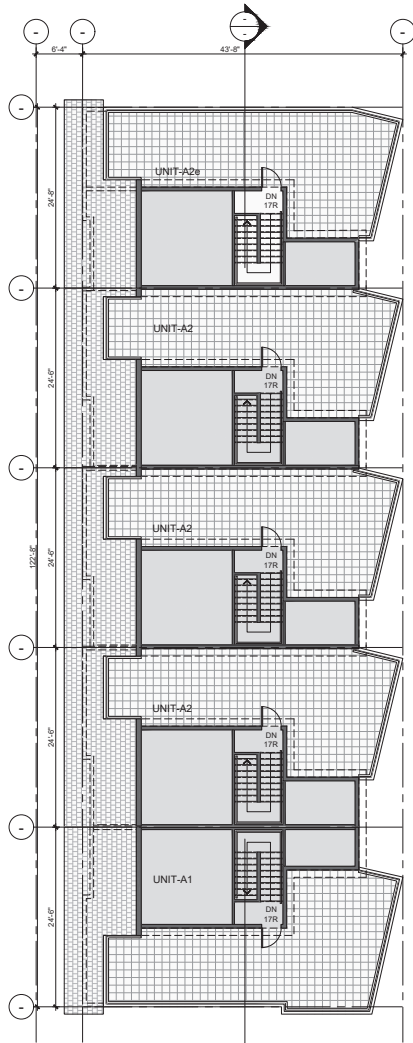
| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING DP 2023 / 07 / 14 |
| PROJECT NUMBER DD-87 | |
| DRAWN BY RR/RV/PM | |
| CHECKED BY MB | |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

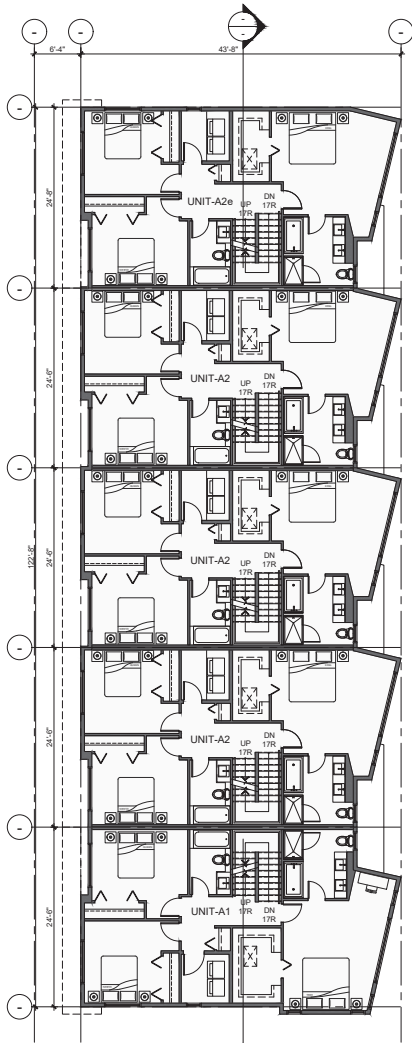
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DRAWING No.

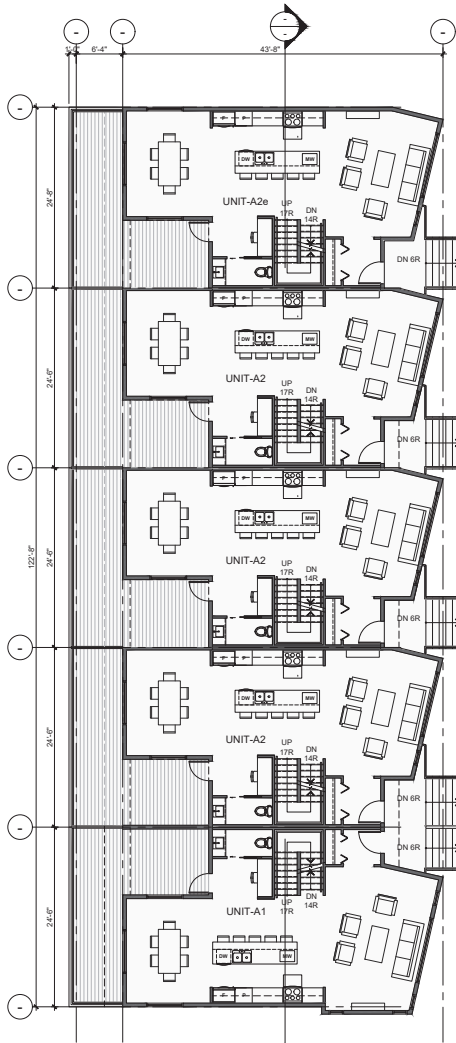
A1.12



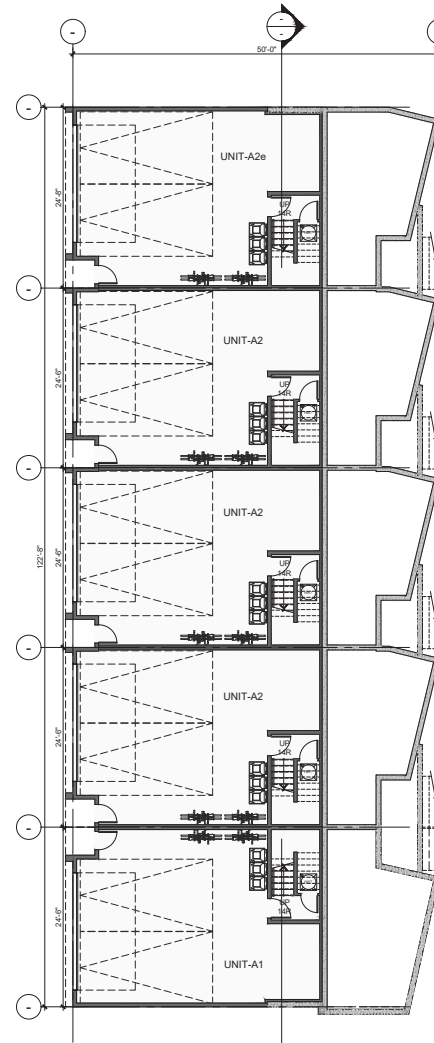
4 ROOF TOP FLOOR PLAN
A2.01 SCALE 1/8" = 1'-0"



3 UPPER FLOOR PLAN
A2.01 SCALE 1/8" = 1'-0"



2 MAIN FLOOR PLAN
A2.01 SCALE 1/8" = 1'-0"



1 LOWER FLOOR PLAN
A2.01 SCALE 1/8" = 1'-0"

| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

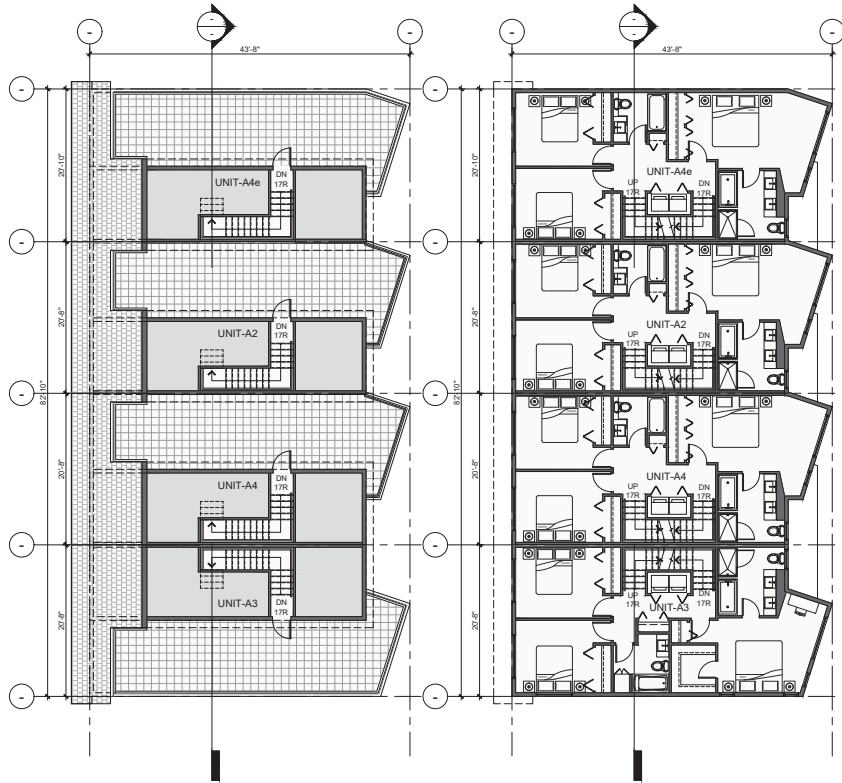
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| PROJECT NUMBER | CD-07 |
| DRAWN BY | RR/ RW/ PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

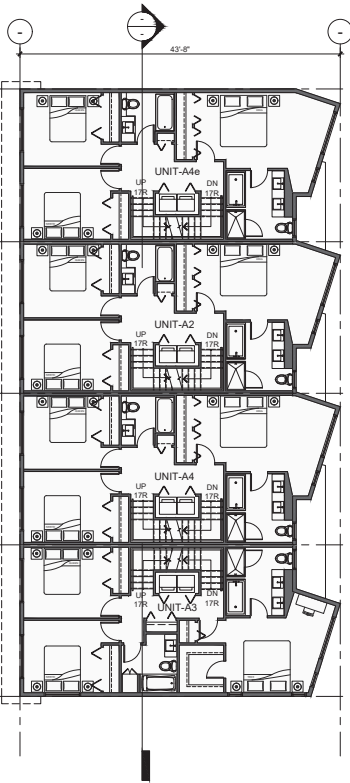
DRAWING TITLE
BUILDING #1
FLOOR PLANS

DRAWING NO.

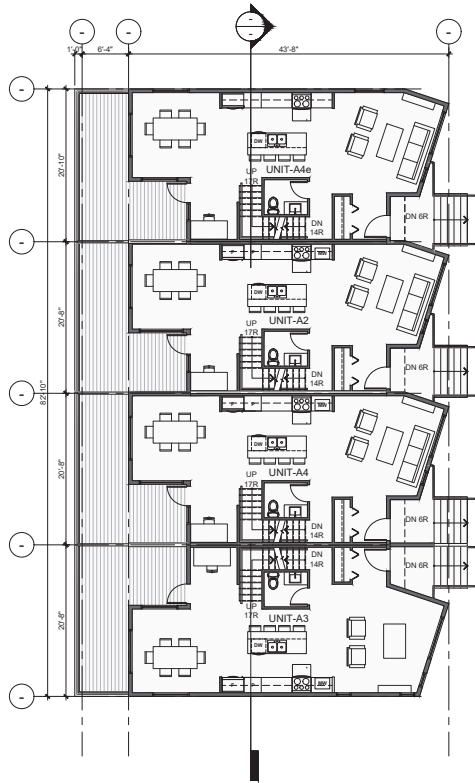
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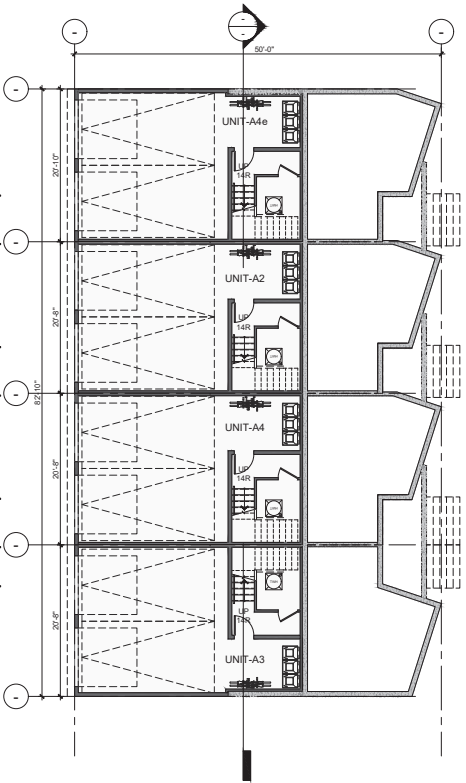
4
ROOF TOP FLOOR PLAN
A2.02
SCALE 1/8" = 1'-0"



3
UPPER FLOOR PLAN
A2.02
SCALE 1/8" = 1'-0"



2
MAIN FLOOR PLAN
A2.02
SCALE 1/8" = 1'-0"



1
LOWER FLOOR PLAN
A2.02
SCALE 1/8" = 1'-0"

| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

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| PROJECT NUMBER | CD-37 |
| DRAWN BY | RR/ RW/ PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

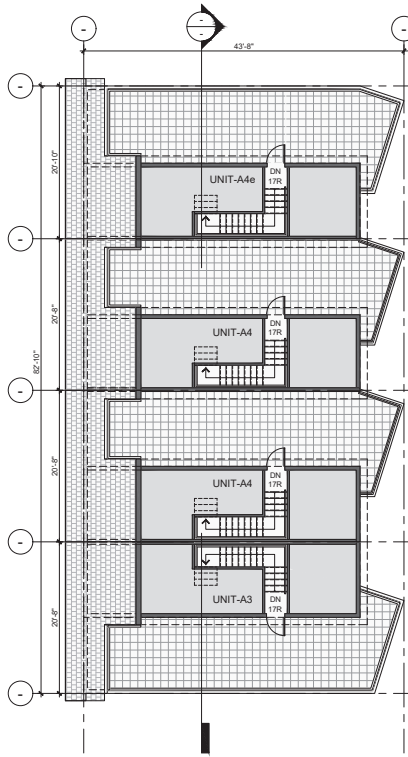
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT

9522 LOCHSIDE DRIVE
SIDNEY, BC

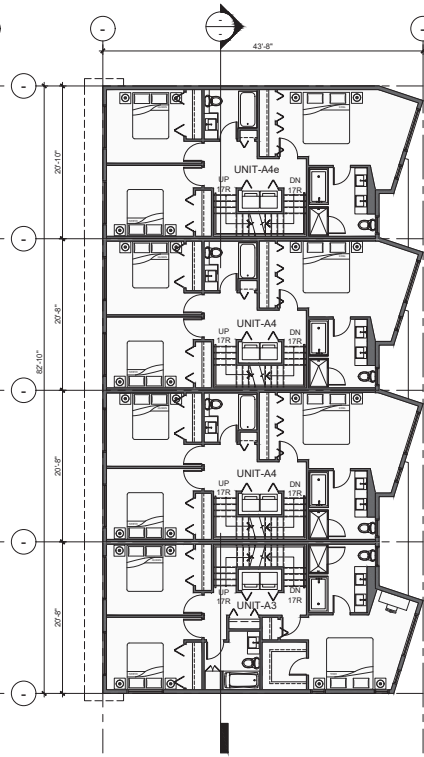
DRAWING TITLE
BUILDING #2
FLOOR PLANS

DRAWING NO.

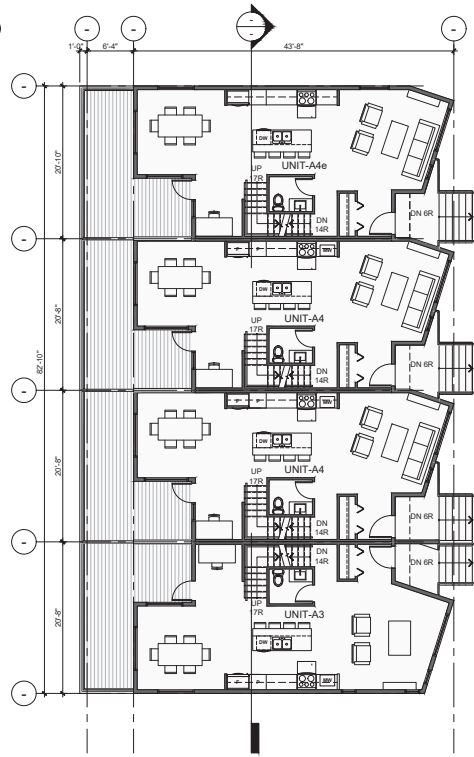
A2.02



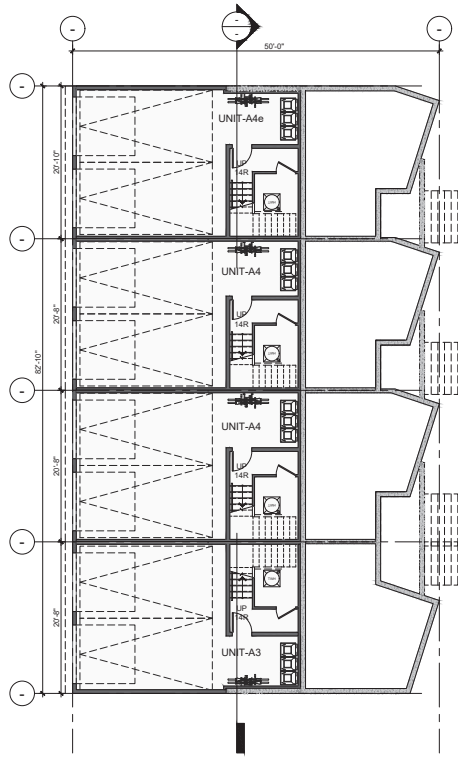
4 ROOF TOP FLOOR PLAN
A2.03 SCALE 1/8" = 1'-0"



3 UPPER FLOOR PLAN
A2.03 SCALE 1/8" = 1'-0"



2 MAIN FLOOR PLAN
A2.03 SCALE 1/8" = 1'-0"



1 LOWER FLOOR PLAN
A2.03 SCALE 1/8" = 1'-0"

| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

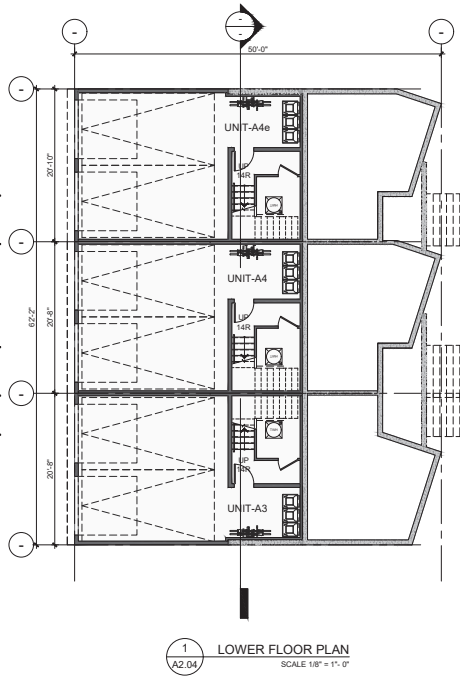
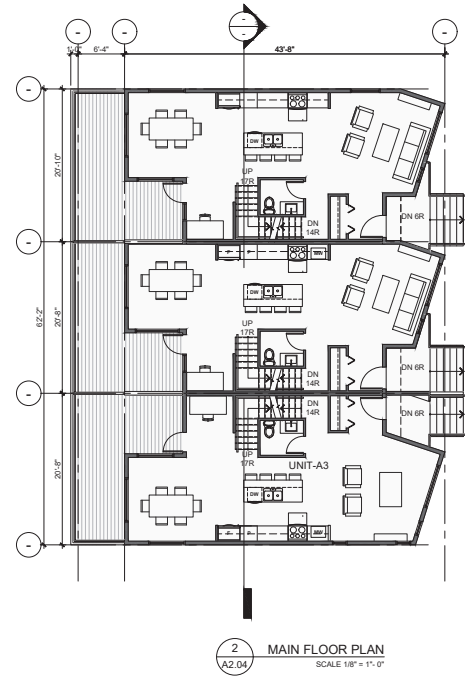
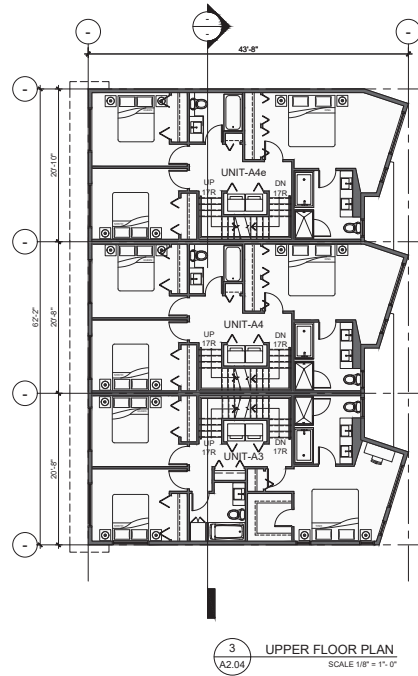
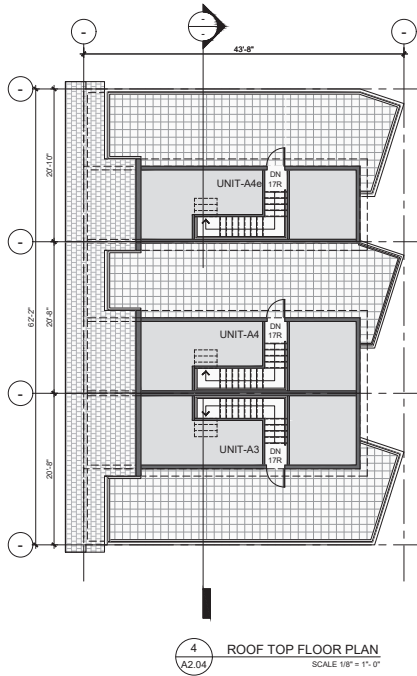
| | |
|----------------|-------------|
| PROJECT NUMBER | CD-37 |
| DRAWN BY | RR/ RVI/ PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
BUILDING #3
FLOOR PLANS

DRAWING NO.

A2.03



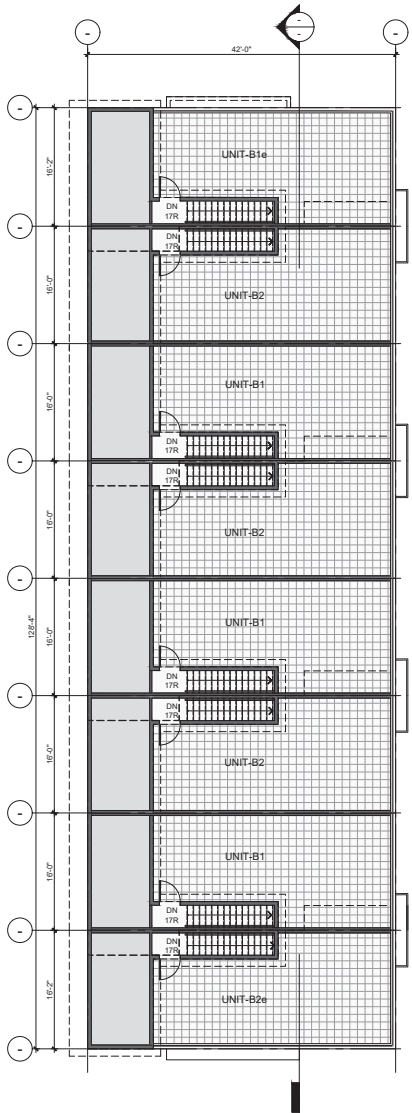
| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/ DP 2023 / 07 / 14 |

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|----------------|------------|
| PROJECT NUMBER | CD-37 |
| DRAWN BY | RR/ RW/ PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

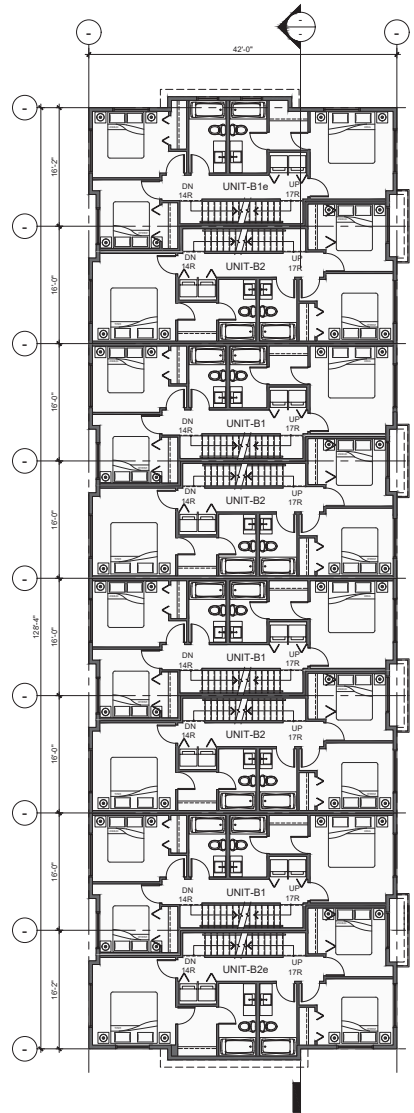
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
**BUILDING #4
FLOOR PLANS**

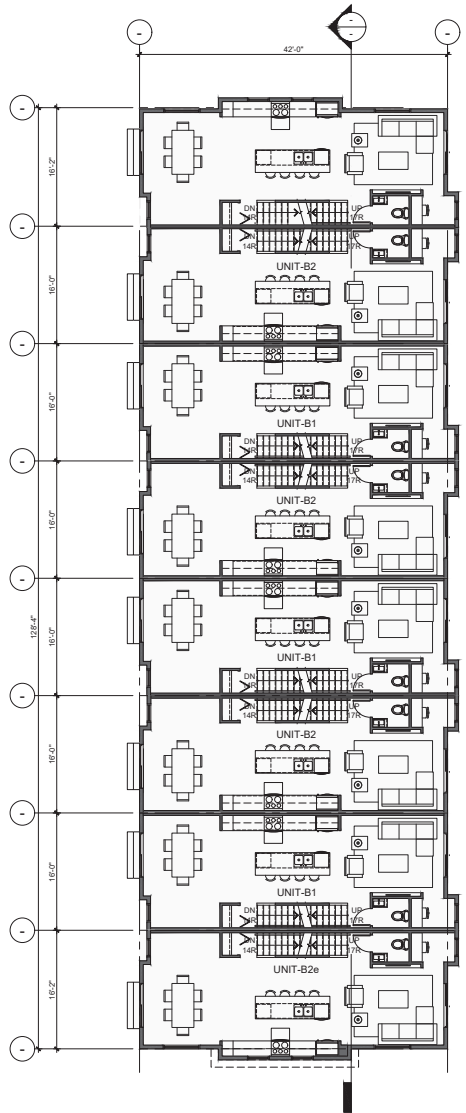
DRAWING NO.
A2.04



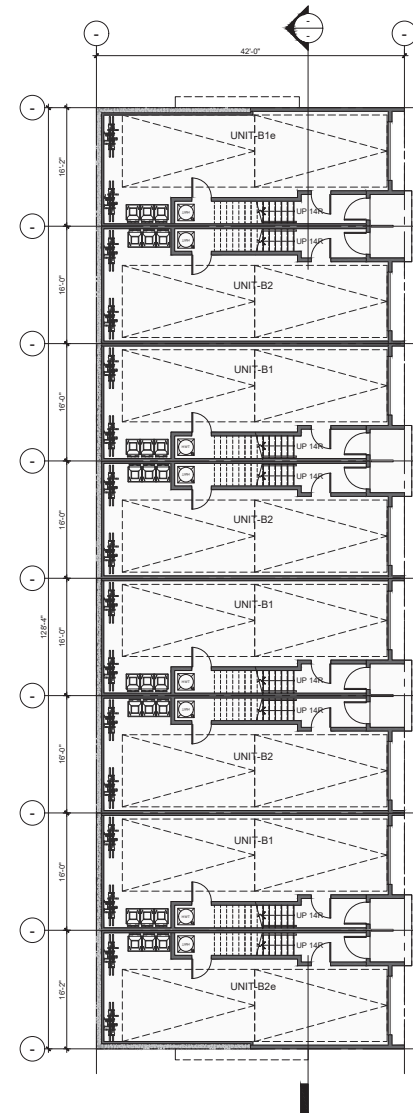
4 ROOF TOP FLOOR PLAN
A2.05 SCALE 1/8" = 1'-0"



3 UPPER FLOOR PLAN
A2.05 SCALE 1/8" = 1'-0"



2 MAIN FLOOR PLAN
A2.05 SCALE 1/8" = 1'-0"



1 LOWER FLOOR PLAN
A2.05 SCALE 1/8" = 1'-0"

| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

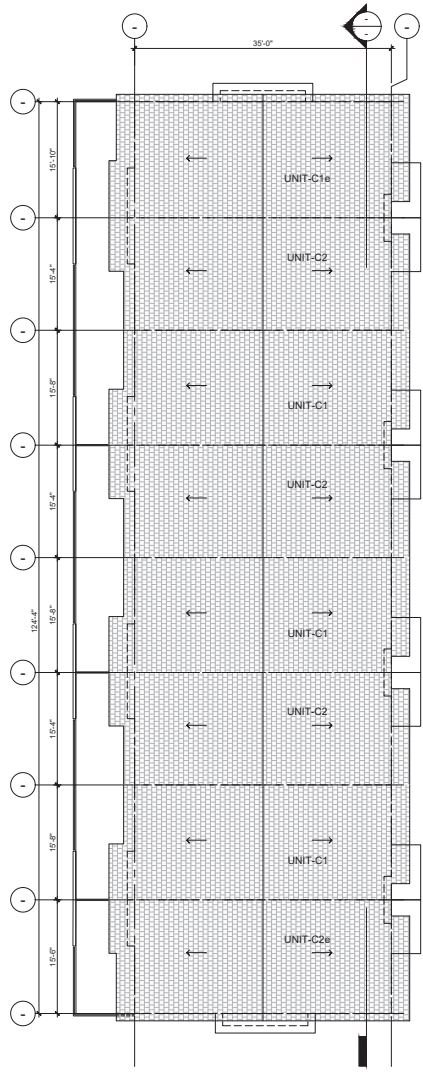
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| PROJECT NUMBER | CD-37 |
| DRAWN BY | RR / RV / PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

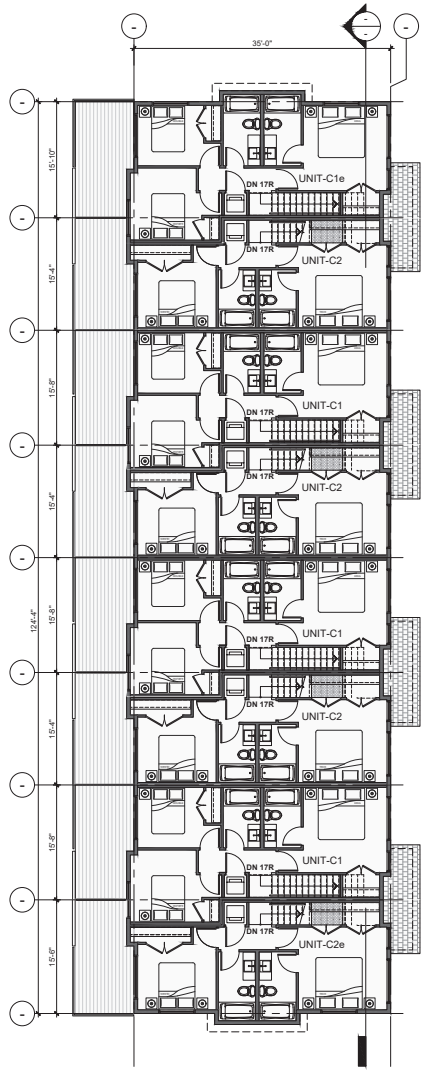
DRAWING TITLE
BUILDING #5
FLOOR PLANS

DRAWING NO.

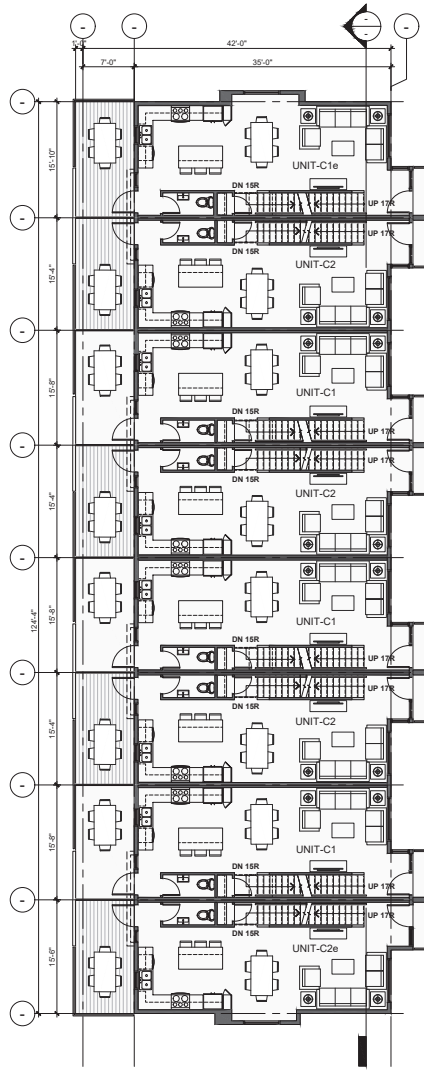
A2.05



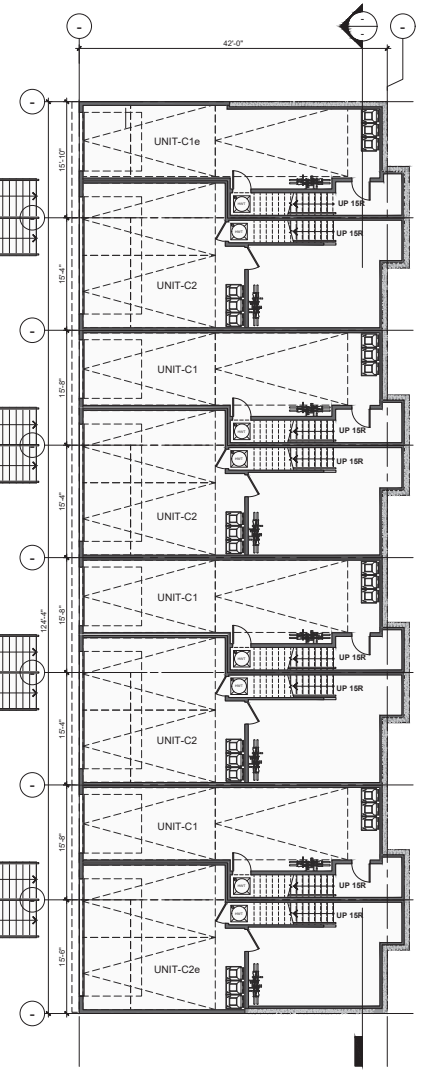
4 ROOF TOP FLOOR PLAN
A2.06 SCALE 1/8" = 1'-0"



3 UPPER FLOOR PLAN
A2.06 SCALE 1/8" = 1'-0"



2 MAIN FLOOR PLAN
A2.06 SCALE 1/8" = 1'-0"



1 LOWER FLOOR PLAN
A2.06 SCALE 1/8" = 1'-0"

| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

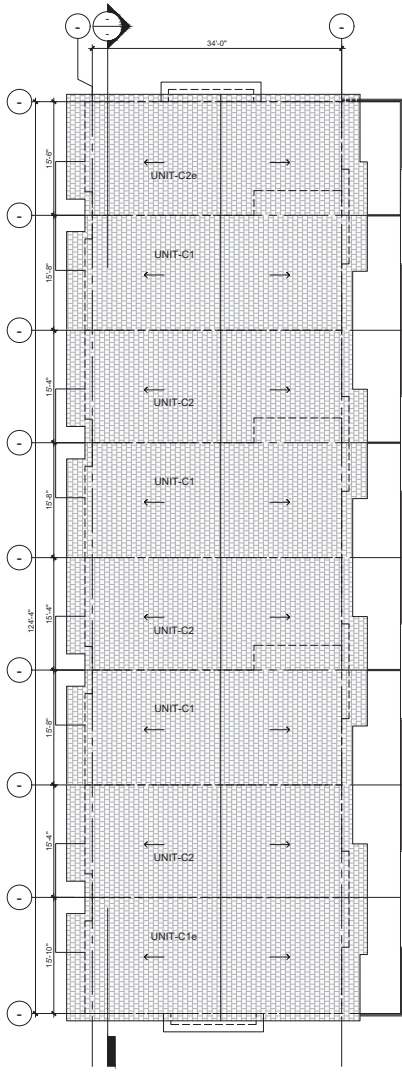
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| PROJECT NUMBER | CD-37 |
| DRAWN BY | RR/ RVI/ PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

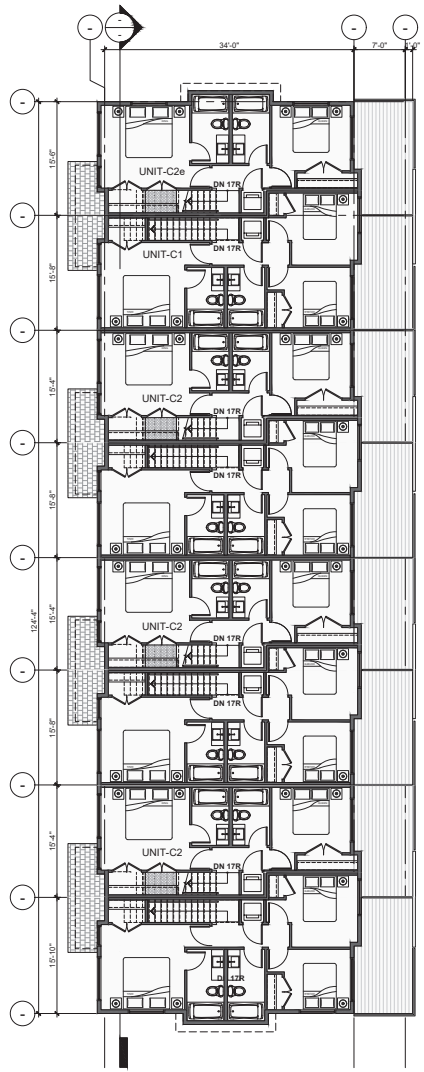
DRAWING TITLE
BUILDING #6
FLOOR PLANS

DRAWING NO.

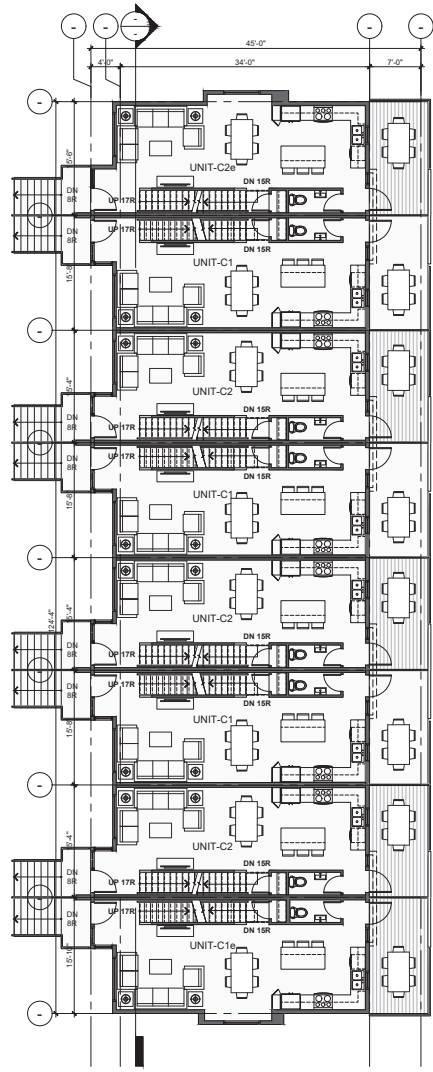
A2.06



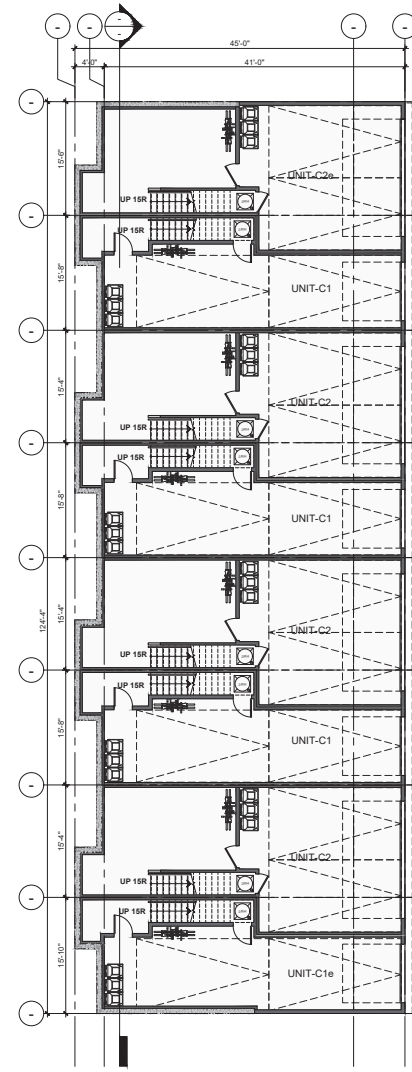
4 ROOF TOP FLOOR PLAN
A2.07 SCALE 1/8" = 1'-0"



3 UPPER FLOOR PLAN
A2.07 SCALE 1/8" = 1'-0"



2 MAIN FLOOR PLAN
A2.07 SCALE 1/8" = 1'-0"



1 LOWER FLOOR PLAN
A2.07 SCALE 1/8" = 1'-0"

| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

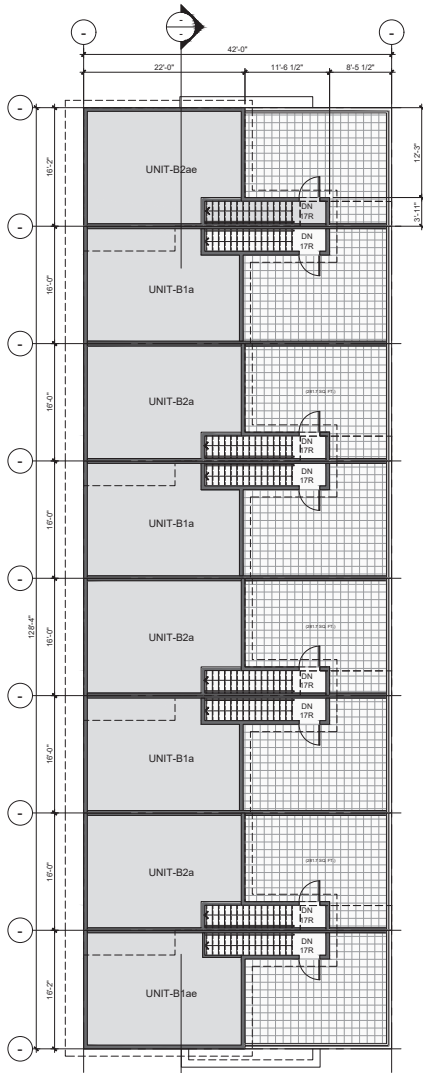
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|----------------|-----------|
| PROJECT NUMBER | CD-37 |
| DRAWN BY | RR/RVI/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

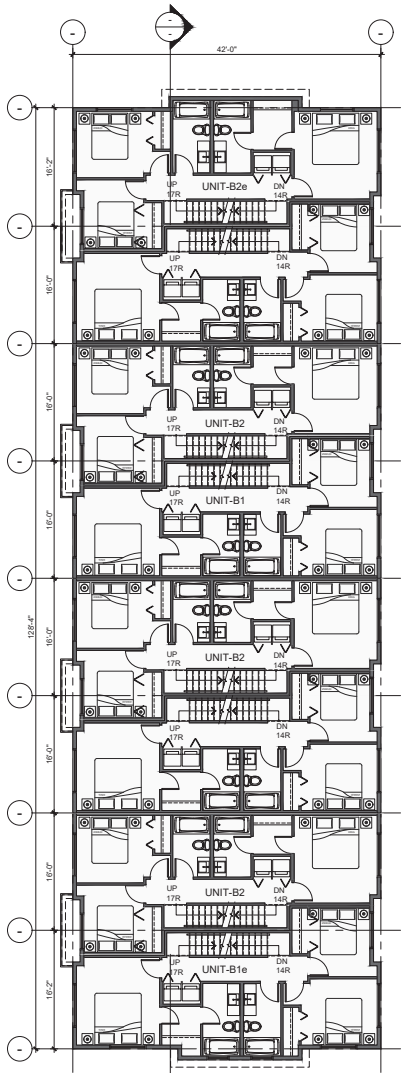
DRAWING TITLE
BUILDING #7
FLOOR PLANS

DRAWING NO.

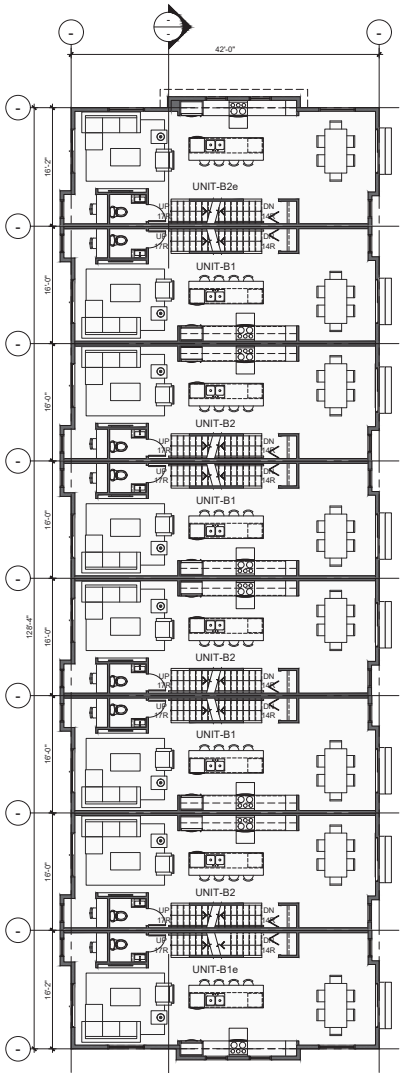
A2.07



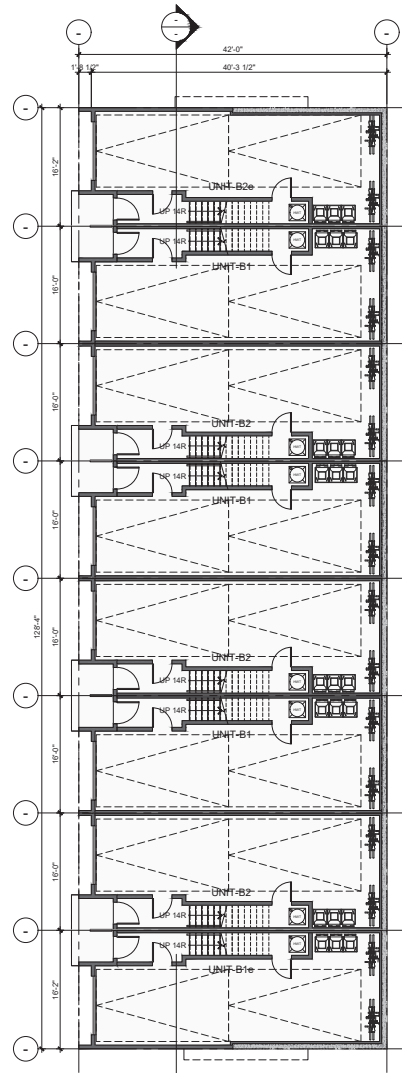
4 ROOF TOP FLOOR PLAN
A2.08 SCALE 1/8" = 1'-0"



3 UPPER FLOOR PLAN
A2.08 SCALE 1/8" = 1'-0"



2 MAIN FLOOR PLAN
A2.08 SCALE 1/8" = 1'-0"



1 LOWER FLOOR PLAN
A2.08 SCALE 1/8" = 1'-0"

| ISSUES | DATE |
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|----------------|-----------|
| PROJECT NUMBER | CD-37 |
| DRAWN BY | RW RWI PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
BUILDING #8
FLOOR PLANS

DRAWING NO.

A2.08

| ISSUES | DATE |
|--------|-------------------------|
| 8 | |
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| 4 | |
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| 1 | ISSUED FOR RE-ZONING/DP |
| | 2023 / 07 / 14 |

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| PROJECT NUMBER | ED-87 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
**APARTMENT BUILDING
PARKADE
FLOOR PLAN**

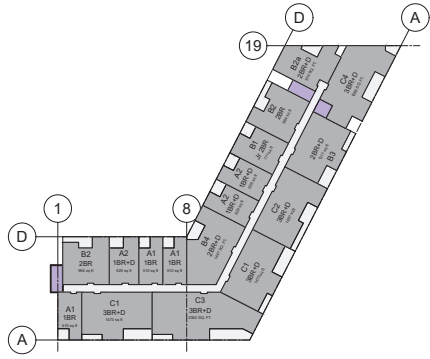
DRAWING NO.

A2.21

| PARKING | | |
|------------------------------|-------------------|-------|
| | FORMULA | TOTAL |
| PROVIDED RESIDENTIAL PARKING | 1.5 CARS/DWELLING | 74 |
| PROVIDED VISITOR PARKING | 0.2 CARS/DWELLING | 10 |
| PROVIDED COMMERCIAL PARKING | 1 / 40 SQ M | 4 |
| TOTAL PARKING STALLS | | 88 |
| PROVIDED ACCESSIBLE PARKING | TYPE A | 2 |
| PROVIDED ACCESSIBLE PARKING | TYPE B | 1 |
| PROVIDED SMALL CAR PARKING | 0% | 0 |

*Electric Vehicle Charging Infrastructure shall be provided to all parking spaces and terminate in an Energized Outlet capable of providing a minimum of Level 2 Charging.

| BIKE STALLS | | |
|---------------------------------|---------|-------|
| | FORMULA | TOTAL |
| PROVIDED RESIDENT BIKE STALLS | | 52 |
| PROVIDED SHORT TERM BIKE STALLS | | 6 |



3rd FLOOR PLAN

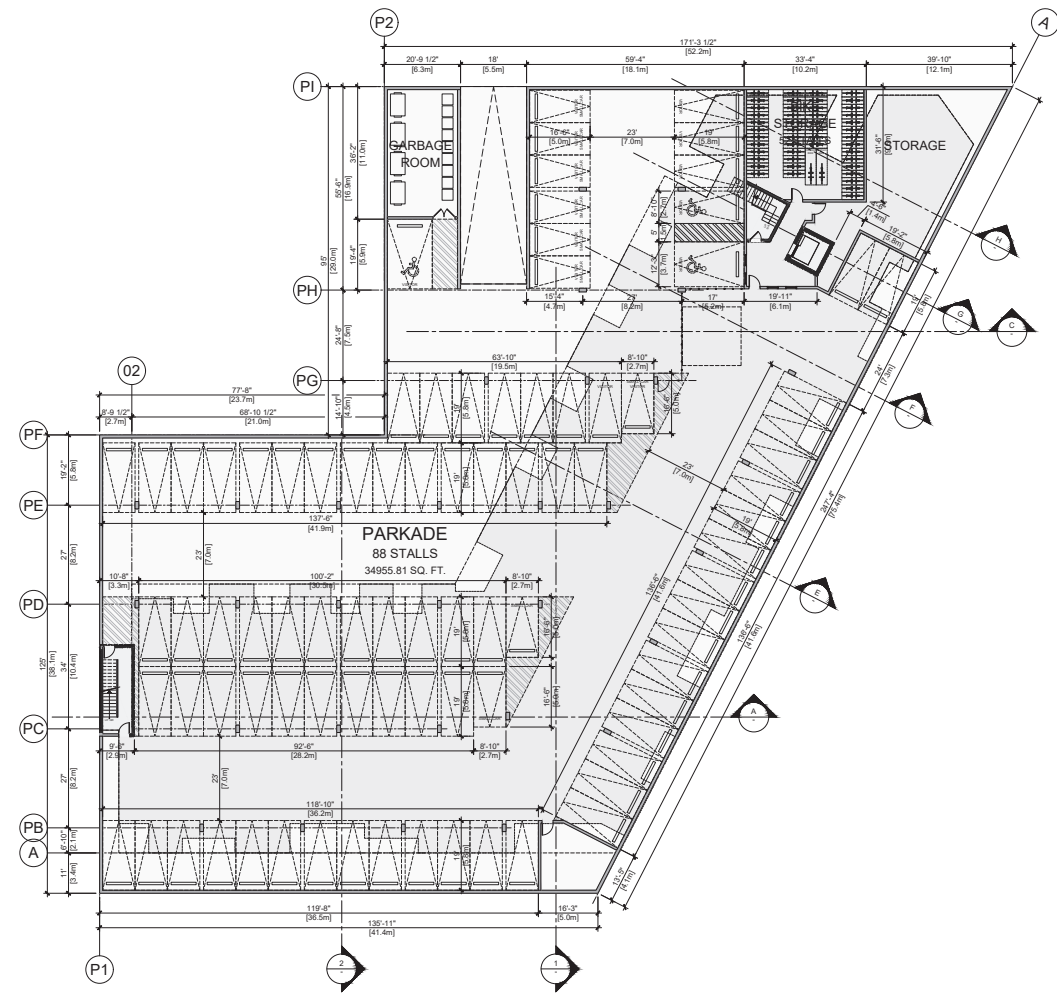


2nd FLOOR PLAN

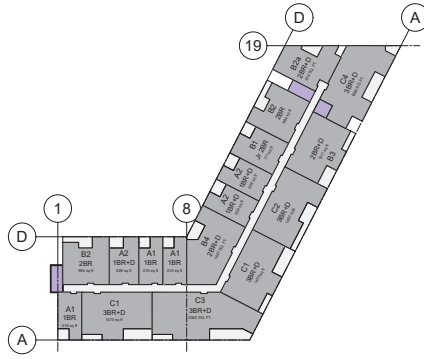


1st FLOOR PLAN

2 BUILDING FLOOR PLANS
SCALE 1:500



1 PARKADE FLOOR PLAN
SCALE 1/16" = 1'-0"



3rd FLOOR PLAN



2nd FLOOR PLAN



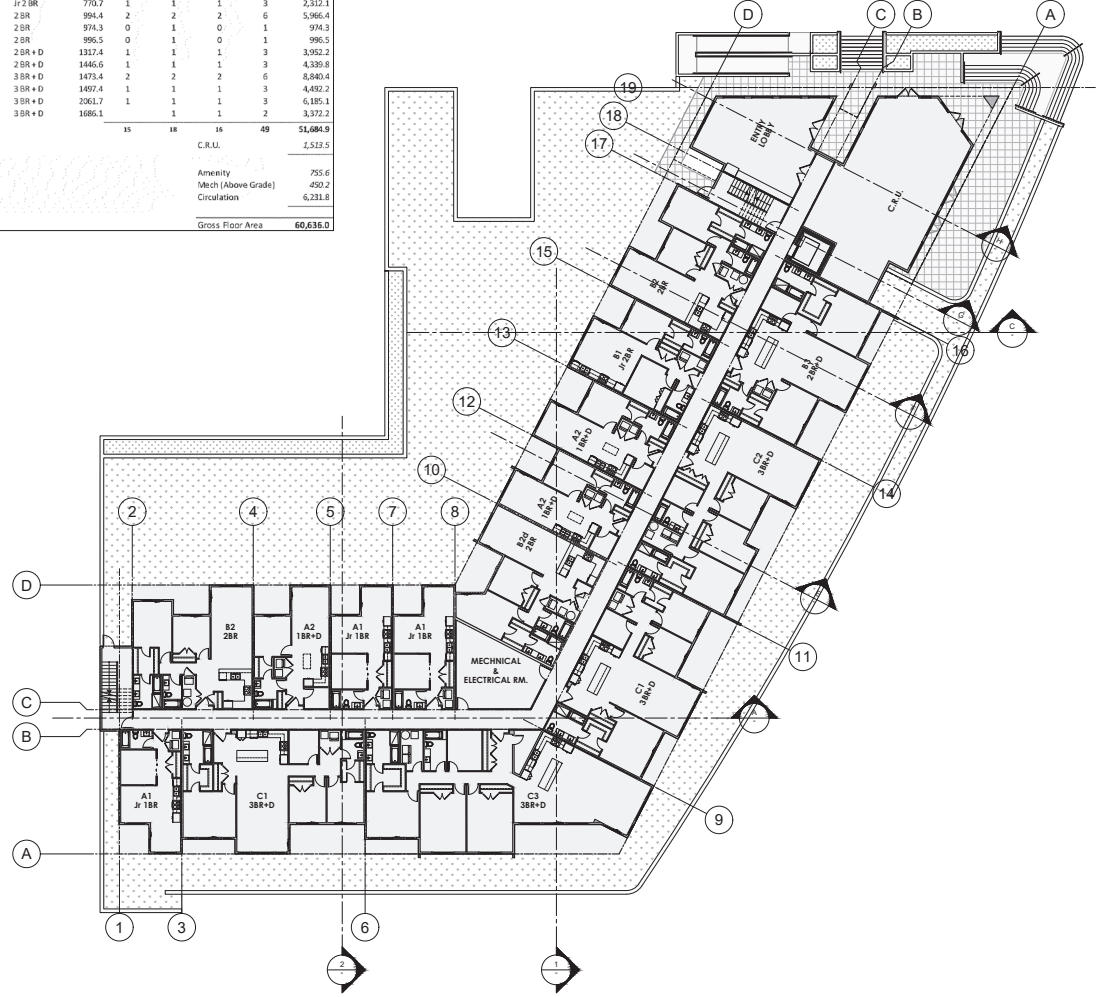
1st FLOOR PLAN

| Unit | Area (sq ft) | L1 | L2 | L3 | Total | Total Area (sq ft) |
|------|--------------|----|----|----|-------|--------------------|
| A1 | 509.9 | 3 | 3 | 3 | 9 | 4,589.1 |
| A2 | 629.4 | 3 | 3 | 3 | 9 | 5,664.6 |
| B1 | 778.7 | 1 | 1 | 1 | 3 | 2,312.1 |
| B2 | 994.4 | 2 | 2 | 2 | 6 | 5,966.4 |
| B2a | 974.3 | 0 | 1 | 0 | 1 | 974.3 |
| B2M | 996.5 | 0 | 1 | 0 | 1 | 996.5 |
| B3 | 2 BR + D | 1 | 1 | 1 | 3 | 3,952.2 |
| B4 | 2 BR + D | 1 | 1 | 1 | 3 | 4,339.9 |
| C1 | 3 BR + D | 2 | 2 | 2 | 6 | 8,840.4 |
| C2 | 3 BR + D | 1 | 1 | 1 | 3 | 4,492.2 |
| C3 | 3 BR + D | 1 | 1 | 1 | 3 | 6,185.1 |
| C4 | 3 BR + D | 1 | 1 | 1 | 2 | 3,172.2 |
| | | 15 | 18 | 16 | 49 | 51,684.9 |
| | | | | | | 1,512.5 |
| | | | | | | 755.6 |
| | | | | | | 450.2 |
| | | | | | | 6,231.8 |
| | | | | | | 60,636.0 |

C.R.U.

Amenity
Mech (Above Grade)
Circulation

Gross Floor Area **60,636.0**



1 1st FLOOR PLAN
SCALE 1/16" = 1'-0"

2 BUILDING FLOOR PLANS
SCALE 1/32"

| ISSUES | DATE |
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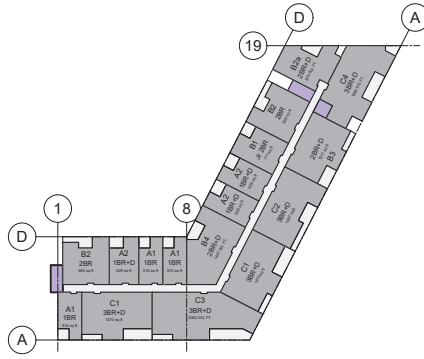
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| PROJECT NUMBER | CD-87 |
| DRAWN BY | RR/RW/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
APARTMENT BUILDING
1st FLOOR PLAN

DRAWING NO.

A2.22



3rd FLOOR PLAN

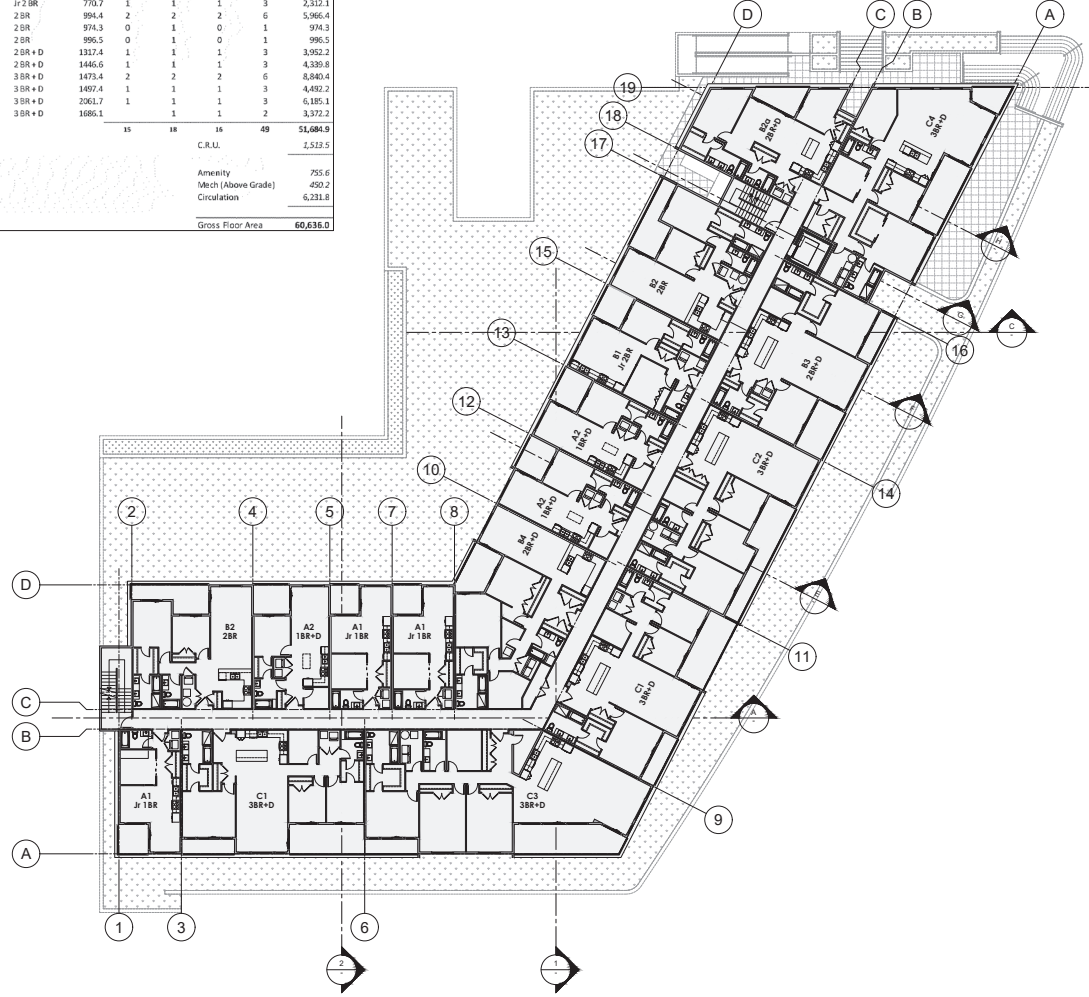


2nd FLOOR PLAN



1st FLOOR PLAN

| Unit | Area (sq ft) | L1 | L2 | L3 | Total | Total Area (sq ft) |
|------|--------------|----|----|----|-------|--------------------|
| A1 | 509.9 | 3 | 3 | 3 | 9 | 4,589.1 |
| A2 | 629.4 | 3 | 3 | 3 | 9 | 5,664.6 |
| B1 | 778.7 | 1 | 1 | 1 | 3 | 2,312.1 |
| B2 | 994.4 | 2 | 2 | 2 | 6 | 5,966.4 |
| B2a | 974.3 | 0 | 1 | 0 | 1 | 974.3 |
| B2M | 996.5 | 0 | 1 | 0 | 1 | 996.5 |
| B3 | 2 BR + D | 1 | 1 | 1 | 3 | 3,952.2 |
| B4 | 2 BR + D | 1 | 1 | 1 | 3 | 4,329.9 |
| C1 | 3 BR + D | 2 | 2 | 2 | 6 | 8,840.4 |
| C2 | 3 BR + D | 1 | 1 | 1 | 3 | 4,492.2 |
| C3 | 3 BR + D | 1 | 1 | 1 | 3 | 6,185.1 |
| C4 | 3 BR + D | 1 | 1 | 1 | 2 | 3,372.2 |
| | | 15 | 18 | 15 | 48 | 51,684.9 |
| | | | | | | 1,512.5 |
| | | | | | | C.R.U. |
| | | | | | | Amenity |
| | | | | | | Mech (Above Grade) |
| | | | | | | Circulation |
| | | | | | | Gross Floor Area |
| | | | | | | 60,635.0 |



2nd FLOOR PLAN
SCALE: 1/16" = 1'-0"

BUILDING FLOOR PLANS
SCALE: 1" = 300'

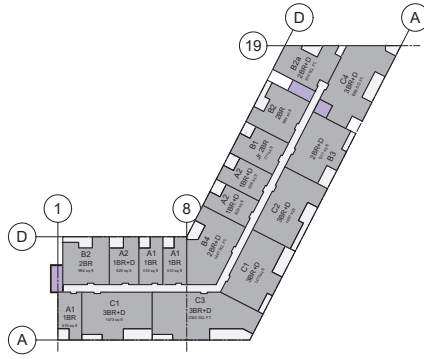
| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP |

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| PROJECT NUMBER | CG-27 |
| DRAWN BY | RR/RW/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
APARTMENT BUILDING
2nd FLOOR PLAN

DRAWING NO.
A2.23



3rd FLOOR PLAN

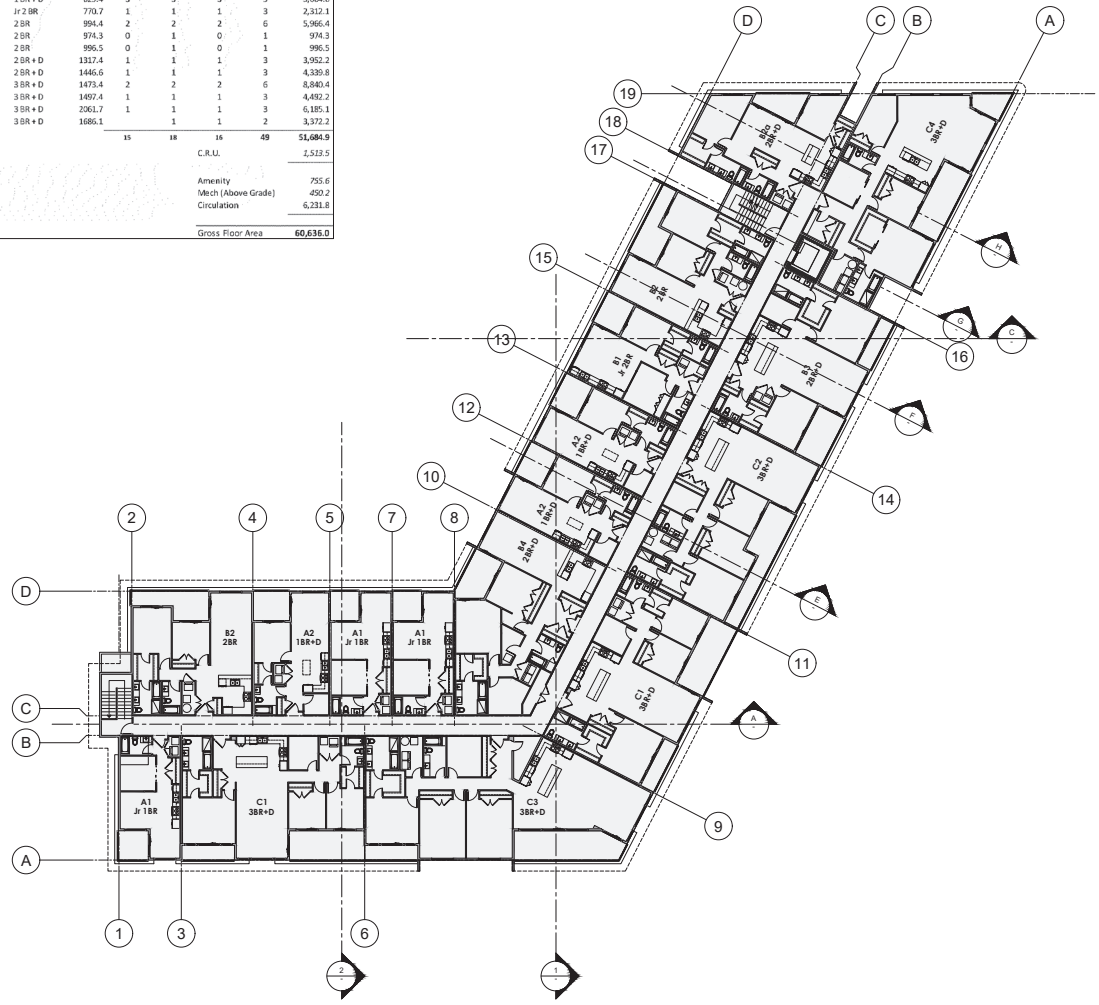


2nd FLOOR PLAN



1st FLOOR PLAN

| Unit | Area (sq ft) | L1 | L2 | L3 | Total | Total Area (sq ft) |
|------|--------------|----|----|----|-------|--------------------|
| A1 | 509.9 | 3 | 3 | 3 | 9 | 4,589.1 |
| A2 | 629.4 | 3 | 3 | 3 | 9 | 5,664.6 |
| B1 | 778.7 | 1 | 1 | 1 | 3 | 2,312.1 |
| B2 | 994.4 | 2 | 2 | 2 | 6 | 5,966.4 |
| B2a | 974.3 | 0 | 1 | 0 | 1 | 974.3 |
| B2b | 996.5 | 0 | 1 | 0 | 1 | 996.5 |
| B3 | 2 BR + D | 1 | 1 | 1 | 3 | 3,952.2 |
| B4 | 2 BR + D | 1 | 1 | 1 | 3 | 4,339.9 |
| C1 | 3 BR + D | 2 | 2 | 2 | 6 | 8,840.4 |
| C2 | 3 BR + D | 1 | 1 | 1 | 3 | 4,492.2 |
| C3 | 3 BR + D | 1 | 1 | 1 | 3 | 6,185.1 |
| C4 | 3 BR + D | 1 | 1 | 1 | 2 | 3,172.2 |
| | | 15 | 18 | 15 | 48 | 51,684.9 |
| | | | | | | 1,512.5 |
| | | | | | | C.R.U. |
| | | | | | | Amenity |
| | | | | | | Mech (Above Grade) |
| | | | | | | Circulation |
| | | | | | | 755.6 |
| | | | | | | 450.2 |
| | | | | | | 6,231.8 |
| | | | | | | Gross Floor Area |
| | | | | | | 60,636.0 |



3rd FLOOR PLAN
SCALE: 1/16" = 1'-0"

BUILDING FLOOR PLANS
SCALE: 1" = 5'-0"

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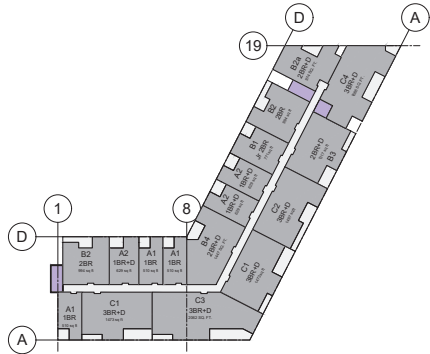
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| PROJECT NUMBER | CD-87 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
APARTMENT BUILDING
3rd FLOOR PLAN

DRAWING NO.

A2.24



3rd FLOOR PLAN

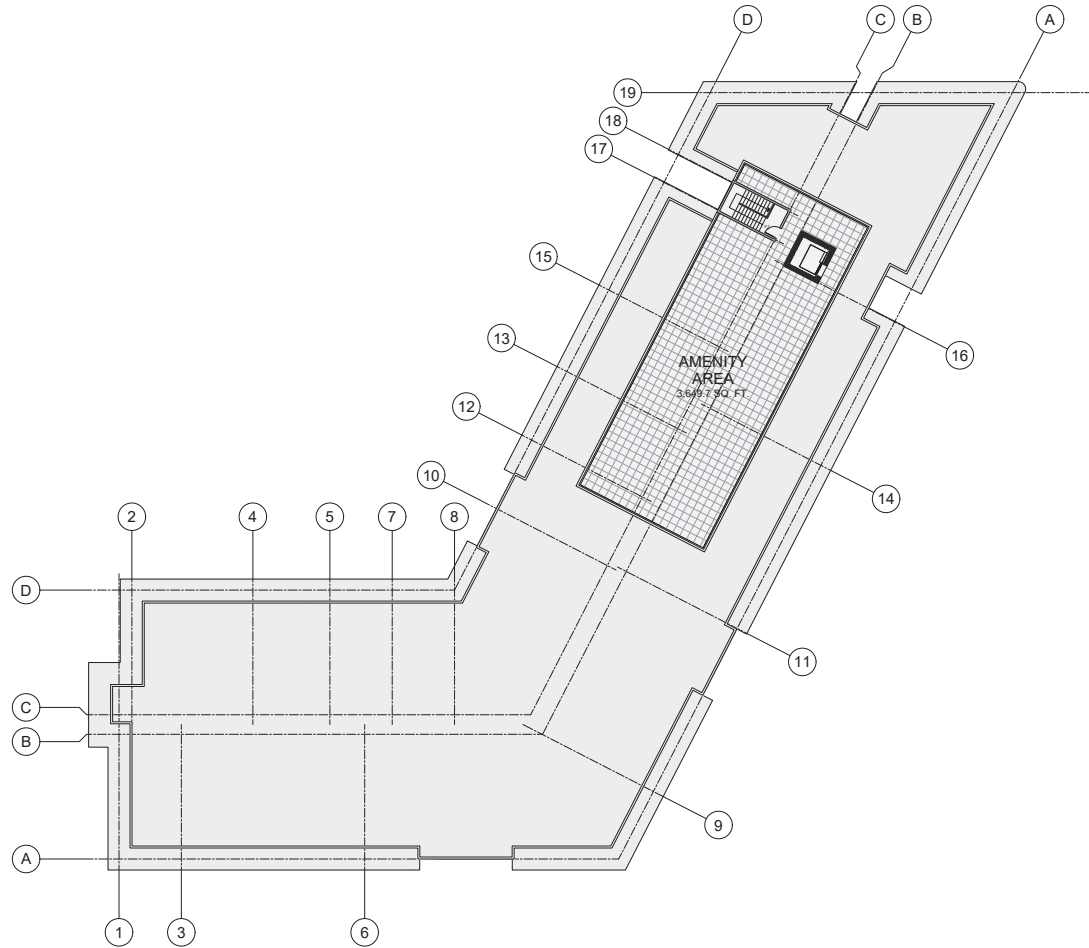


2nd FLOOR PLAN



1st FLOOR PLAN

1 BUILDING FLOOR PLANS
A2.25 SCALE 1" = 500'



1 ROOF PLAN
A2.25 SCALE 1/8" = 1'-0"

| ISSUES | DATE |
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| PROJECT NUMBER | CG-87 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
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| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

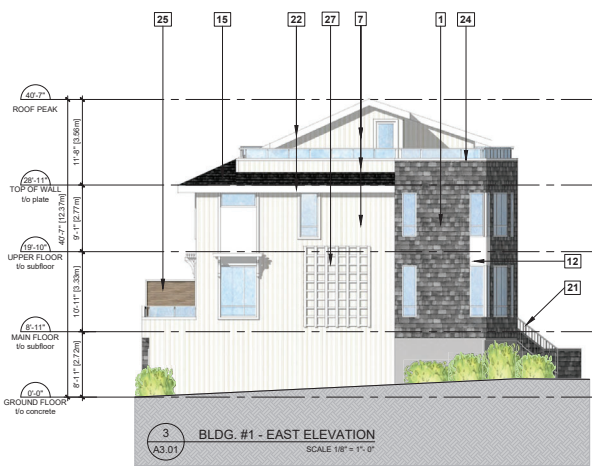
DRAWING TITLE
APARTMENT BUILDING ROOF PLAN

DRAWING NO.

A2.25

MATERIAL LEGEND

| MATERIALS | COLOUR |
|-----------|---------------------------------------|
| 1 | WOOD SHINGLES - CHARCOAL GRAY TONES |
| 2 | WOOD SHINGLES - WHITE TONES |
| 3 | CHARDIAL SHINGLES - CHARCOAL GRAY |
| 4 | HARDIE SHINGLES - GRAY |
| 5 | HARDIE SHINGLES - WHITE |
| 6 | HARDIE BOARD & BATTEN - GRAY |
| 7 | HARDIE BOARD & BATTEN - WHITE |
| 8 | HARDIE SHIPLAP - GRAY |
| 9 | HARDIE SHIPLAP - WHITE |
| 10 | WOOD SHIPLAP - |
| 11 | HARDIE PANEL - WHITE |
| 12 | HARDIE PANEL - GRAY |
| 13 | PREFIN METAL SIDING - WHITE |
| 14 | BRICK - GRAY |
| 15 | ASPHALT SHINGLES - |
| 16 | WOOD SOFFIT - |
| 17 | WIND GLAZING UNITS - WHITE |
| 18 | WOOD DOOR - |
| 19 | METAL OH GARAGE DOOR - WHITE |
| 20 | GLASS GUARDRAILS - |
| 21 | METAL GUARDRAILS - WHITE |
| 22 | WOOD FASCIA - WHITE |
| 23 | PREFIN METAL FLASHING - CHARCOAL GRAY |
| 24 | PREFIN METAL FLASHING - WHITE |
| 25 | METAL PRIVACY SCREEN w/ WOOD SLATS |
| 26 | WOOD TRELLIS - WHITE |
| 27 | WOOD LATTICE - WHITE |



| ISSUES | DATE |
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| PROJECT NUMBER | CD-07 |
| DRAWN BY | R/R R/P/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

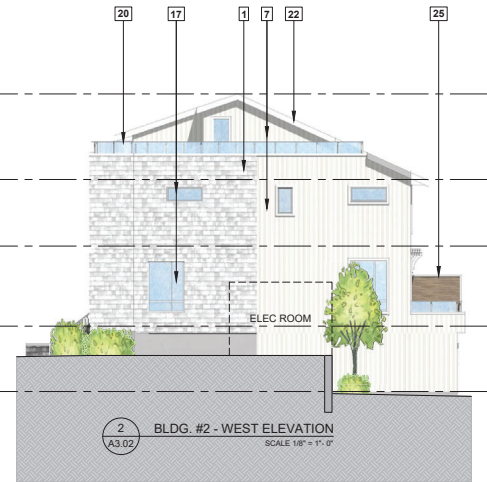
DRAWING TITLE
BUILDING #1 ELEVATIONS

DRAWING NO.

A3.01

MATERIAL LEGEND

| MATERIALS | COLOUR |
|-----------|---------------------------------------|
| 1 | WOOD SHINGLES - CHARCOAL GRAY TONES |
| 2 | WOOD SHINGLES - WHITE TONES |
| 3 | HARDIE SHINGLES - CHARCOAL GRAY |
| 4 | HARDIE SHINGLES - GRAY |
| 5 | HARDIE SHINGLES - WHITE |
| 6 | HARDIE BOARD & BATTEN - GRAY |
| 7 | HARDIE BOARD & BATTEN - WHITE |
| 8 | HARDIE SHIPLAP - GRAY |
| 9 | HARDIE SHIPLAP - WHITE |
| 10 | WOOD SHIPLAP - |
| 11 | HARDIE PANEL - WHITE |
| 12 | HARDIE PANEL - GRAY |
| 13 | PREFIN METAL SIDING - WHITE |
| 14 | BRICK - GRAY |
| 15 | ASPHALT SHINGLES - |
| 16 | WOOD SOFFIT - |
| 17 | WIND GLAZING UNITS - WHITE |
| 18 | WOOD DOOR - |
| 19 | METAL OH GARAGE DOOR - WHITE |
| 20 | GLASS GUARDRAILS - |
| 21 | METAL GUARDRAILS - WHITE |
| 22 | WOOD FASCIA - WHITE |
| 23 | PREFIN METAL FLASHING - CHARCOAL GRAY |
| 24 | PREFIN METAL FLASHING - WHITE |
| 25 | METAL PRIVACY SCREEN w/ WOOD SLATS |
| 26 | WOOD TRELLIS - WHITE |
| 27 | WOOD LATTICE - WHITE |



| ISSUES | DATE |
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| DRAWN BY | RR/ RW/ PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

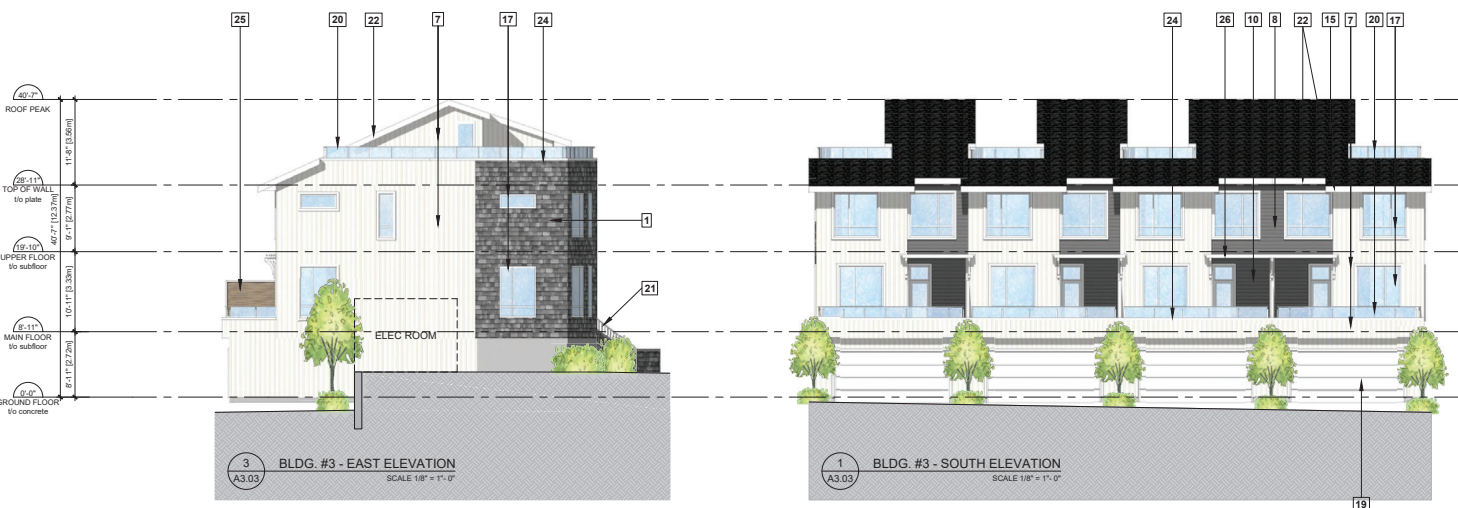
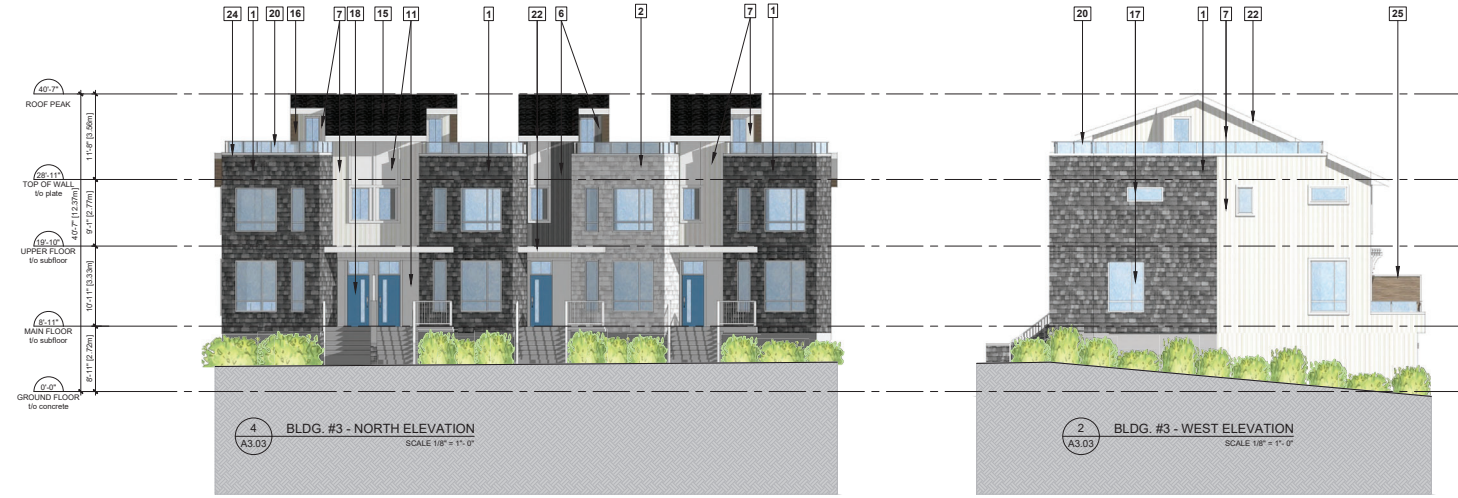
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
BUILDING #2 ELEVATIONS

DRAWING NO.
A3.02

MATERIAL LEGEND

| MATERIALS | COLOUR |
|-----------|---------------------------------------|
| 1 | WOOD SHINGLES - CHARCOAL GRAY TONES |
| 2 | WOOD SHINGLES - WHITE TONES |
| 3 | HARDIE SHINGLES - CHARCOAL GRAY |
| 4 | HARDIE SHINGLES - GRAY |
| 5 | HARDIE SHINGLES - WHITE |
| 6 | HARDIE BOARD & BATTEN - GRAY |
| 7 | HARDIE BOARD & BATTEN - WHITE |
| 8 | HARDIE SHIPLAP - GRAY |
| 9 | HARDIE SHIPLAP - WHITE |
| 10 | WOOD SHIPLAP - |
| 11 | HARDIE PANEL - WHITE |
| 12 | HARDIE PANEL - GRAY |
| 13 | PREFIN METAL SIDING - WHITE |
| 14 | BRICK - GRAY |
| 15 | ASPHALT SHINGLES - |
| 16 | WOOD SOFFIT - |
| 17 | WIND GLAZING UNITS - WHITE |
| 18 | WOOD DOOR - |
| 19 | METAL OH GARAGE DOOR - WHITE |
| 20 | GLASS GUARDRAILS - |
| 21 | METAL GUARDRAILS - WHITE |
| 22 | WOOD FASCIA - WHITE |
| 23 | PREFIN METAL FLASHING - CHARCOAL GRAY |
| 24 | PREFIN METAL FLASHING - WHITE |
| 25 | METAL PRIVACY SCREEN w/ WOOD SLATS |
| 26 | WOOD TRELLIS - WHITE |
| 27 | WOOD LATTICE - WHITE |



| ISSUES | DATE |
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| PROJECT NUMBER | CD-87 |
| DRAWN BY | R/R R/P/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
**BUILDING #3
ELEVATIONS**

DRAWING NO.
A3.03

MATERIAL LEGEND

| MATERIALS | COLOUR |
|-----------|---------------------------------------|
| 1 | WOOD SHINGLES - CHARCOAL GRAY TONES |
| 2 | WOOD SHINGLES - WHITE TONES |
| 3 | HARDIE SHINGLES - CHARCOAL GRAY |
| 4 | HARDIE SHINGLES - GRAY |
| 5 | HARDIE SHINGLES - WHITE |
| 6 | HARDIE BOARD & BATTEN - GRAY |
| 7 | HARDIE BOARD & BATTEN - WHITE |
| 8 | HARDIE SHIPLAP - GRAY |
| 9 | HARDIE SHIPLAP - WHITE |
| 10 | HARDIE PANEL - WHITE |
| 11 | HARDIE PANEL - GRAY |
| 12 | PREFIN METAL SIDING - WHITE |
| 13 | BRICK - GRAY |
| 14 | ASPHALT SHINGLES |
| 15 | WOOD SOFFIT |
| 16 | WIND GLAZING UNITS - WHITE |
| 17 | WOOD DOOR |
| 18 | METAL OH GARAGE DOOR - WHITE |
| 19 | GLASS GUARDRAILS |
| 20 | METAL GUARDRAILS - WHITE |
| 21 | WOOD FASCIA - WHITE |
| 22 | PREFIN METAL FLASHING - CHARCOAL GRAY |
| 23 | PREFIN METAL FLASHING - WHITE |
| 24 | METAL PRIVACY SCREEN w/ WOOD SLATS |
| 25 | WOOD TRELLIS - WHITE |
| 26 | WOOD LATTICE - WHITE |



| ISSUES | DATE |
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| PROJECT NUMBER | CD-07 |
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PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

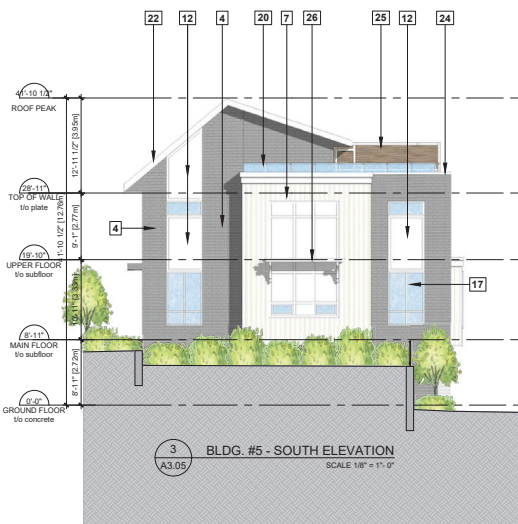
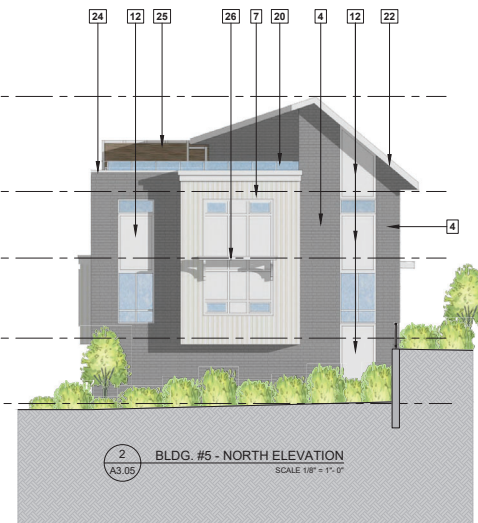
DRAWING TITLE
BUILDING #4 ELEVATIONS

DRAWING NO.

A3.04

MATERIAL LEGEND

| MATERIALS | COLOUR |
|-----------|---------------------------------------|
| 1 | WOOD SHINGLES - CHARCOAL GRAY TONES |
| 2 | WOOD SHINGLES - WHITE TONES |
| 3 | HARDIE SHINGLES - CHARCOAL GRAY |
| 4 | HARDIE SHINGLES - GRAY |
| 5 | HARDIE SHINGLES - WHITE |
| 6 | HARDIE BOARD & BATTEN - GRAY |
| 7 | HARDIE BOARD & BATTEN - WHITE |
| 8 | HARDIE SHIP LAP - GRAY |
| 9 | HARDIE SHIP LAP - WHITE |
| 10 | WOOD SHIP LAP - |
| 11 | HARDIE PANEL - WHITE |
| 12 | HARDIE PANEL - GRAY |
| 13 | PREFIN METAL SIDING - WHITE |
| 14 | BRICK - GRAY |
| 15 | ASPHALT SHINGLES - |
| 16 | WOOD SOFFIT - |
| 17 | WIND GLAZING UNITS - WHITE |
| 18 | WOOD DOOR - |
| 19 | METAL OH GARAGE DOOR - WHITE |
| 20 | GLASS GUARDRAILS - |
| 21 | METAL GUARDRAILS - WHITE |
| 22 | WOOD FASCIA - WHITE |
| 23 | PREFIN METAL FLASHING - CHARCOAL GRAY |
| 24 | PREFIN METAL FLASHING - WHITE |
| 25 | METAL PRIVACY SCREEN w/ WOOD SLATS |
| 26 | WOOD TRELLIS - WHITE |
| 27 | WOOD LATTICE - WHITE |



| ISSUES | DATE |
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| DRAWN BY | RR/RV/PM |
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| CONSULTANT | |

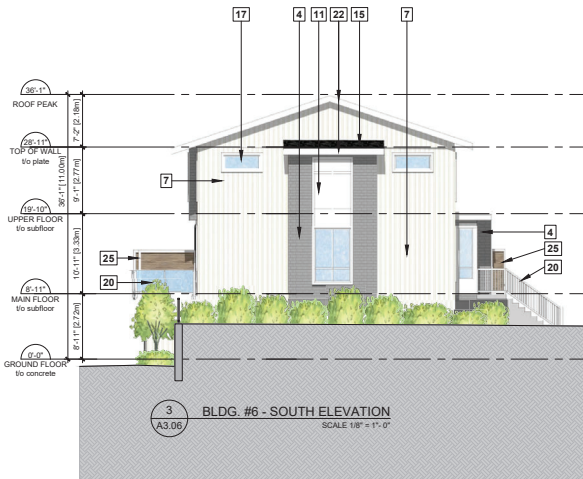
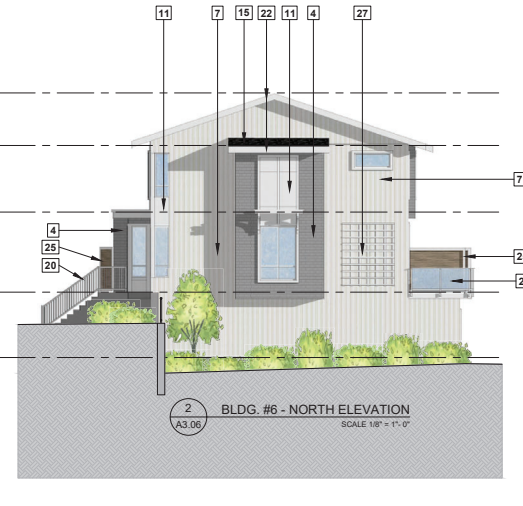
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
BUILDING #5 ELEVATIONS

DRAWING NO.
A3.05

MATERIAL LEGEND

| MATERIALS | COLOUR |
|-----------|---------------------------------------|
| 1 | WOOD SHINGLES - CHARCOAL GRAY TONES |
| 2 | WOOD SHINGLES - WHITE TONES |
| 3 | HARDIE SHINGLES - CHARCOAL GRAY |
| 4 | HARDIE SHINGLES - GRAY |
| 5 | HARDIE SHINGLES - WHITE |
| 6 | HARDIE BOARD & BATTEN - GRAY |
| 7 | HARDIE BOARD & BATTEN - WHITE |
| 8 | HARDIE SHIRLAP - GRAY |
| 9 | HARDIE SHIRLAP - WHITE |
| 10 | WOOD SHIRLAP - WHITE |
| 11 | HARDIE PANEL - WHITE |
| 12 | HARDIE PANEL - GRAY |
| 13 | PREFIN METAL SIDING - WHITE |
| 14 | BRICK - GRAY |
| 15 | ASPHALT SHINGLES - |
| 16 | WOOD SOFFIT - |
| 17 | WIND GLAZING UNITS - WHITE |
| 18 | WOOD DOOR - |
| 19 | METAL OH GARAGE DOOR - WHITE |
| 20 | GLASS GUARDRAILS - |
| 21 | METAL GUARDRAILS - WHITE |
| 22 | WOOD FASCIA - WHITE |
| 23 | PREFIN METAL FLASHING - CHARCOAL GRAY |
| 24 | PREFIN METAL FLASHING - WHITE |
| 25 | METAL PRIVACY SCREEN w/ WOOD SLATS |
| 26 | WOOD TRELLIS - WHITE |
| 27 | WOOD LATTICE - WHITE |



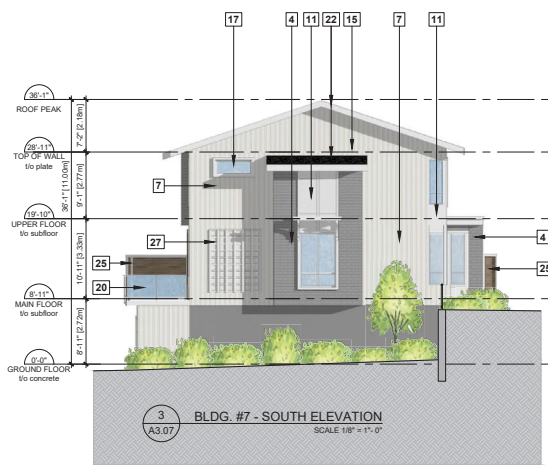
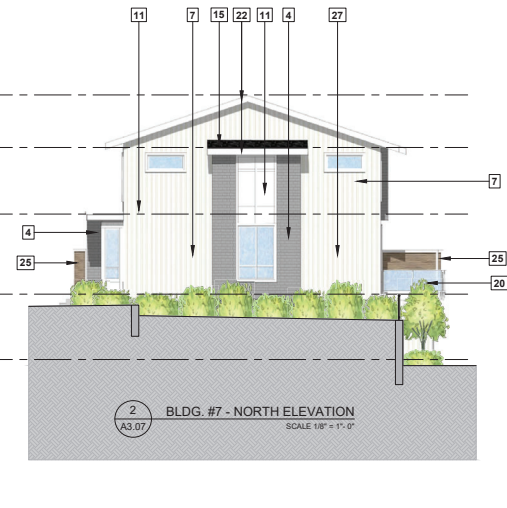
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| PROJECT NUMBER | CD-87 |
| DRAWN BY | R/R/R/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
BUILDING #6
ELEVATIONS

DRAWING NO.
A3.06



MATERIAL LEGEND

| MATERIALS | COLOUR |
|---------------------------------------|-----------------------|
| 1 WOOD SHINGLES | - CHARCOAL GRAY TONES |
| 2 WOOD SHINGLES | - WHITE TONES |
| 3 HARDIE SHINGLES | - CHARCOAL GRAY |
| 4 HARDIE SHINGLES | - GRAY |
| 5 HARDIE SHINGLES | - WHITE |
| 6 HARDIE BOARD & BATTEN | - GRAY |
| 7 HARDIE BOARD & BATTEN | - WHITE |
| 8 HARDIE SHIPLAP | - GRAY |
| 9 HARDIE SHIPLAP | - WHITE |
| 10 WOOD SHIPLAP | - |
| 11 HARDIE PANEL | - WHITE |
| 12 HARDIE PANEL | - GRAY |
| 13 PREFIN. METAL SIDING | - WHITE |
| 14 BRICK | - GRAY |
| 15 ASPHALT SHINGLES | - |
| 16 WOOD SOFFIT | - |
| 17 WINK. GLAZING UNITS | - WHITE |
| 18 WOOD DOOR | - |
| 19 METAL OH GARAGE DOOR | - WHITE |
| 20 GLASS GUARDRAILS | - |
| 21 METAL GUARDRAILS | - WHITE |
| 22 WOOD FASCIA | - WHITE |
| 23 PREFIN. METAL FLASHING | - CHARCOAL GRAY |
| 24 PREFIN. METAL FLASHING | - WHITE |
| 25 METAL PRIVACY SCREEN w/ WOOD SLATS | - |
| 26 WOOD TRELLIS | - WHITE |
| 27 WOOD LATTICE | - WHITE |

| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

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| PROJECT NUMBER | CD-07 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

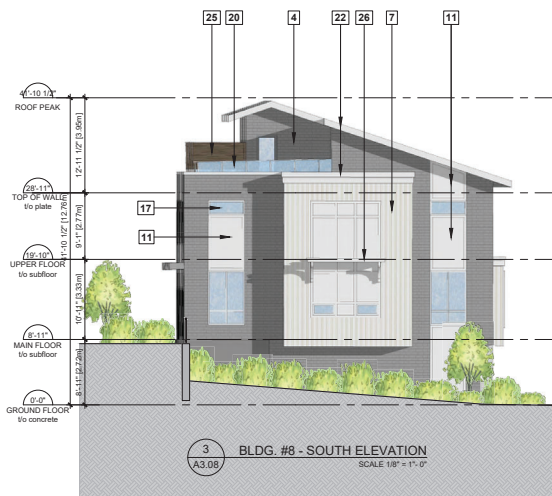
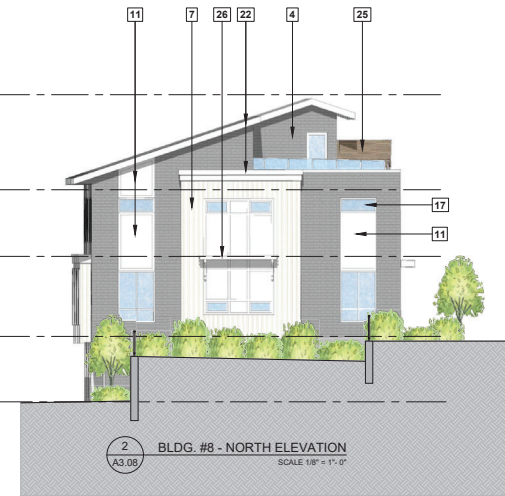
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
BUILDING #7 ELEVATIONS

DRAWING NO.
A3.07

MATERIAL LEGEND

| MATERIALS | COLOUR |
|-----------|---------------------------------------|
| 1 | WOOD SHINGLES - CHARCOAL GRAY TONES |
| 2 | WOOD SHINGLES - WHITE TONES |
| 3 | HARDIE SHINGLES - CHARCOAL GRAY |
| 4 | HARDIE SHINGLES - GRAY |
| 5 | HARDIE SHINGLES - WHITE |
| 6 | HARDIE BOARD & BATTEN - GRAY |
| 7 | HARDIE BOARD & BATTEN - WHITE |
| 8 | HARDIE SHIPLAP - GRAY |
| 9 | HARDIE SHIPLAP - WHITE |
| 10 | WOOD SHIPLAP - WHITE |
| 11 | HARDIE PANEL - GRAY |
| 12 | HARDIE PANEL - WHITE |
| 13 | PREFIN METAL SIDING - WHITE |
| 14 | BRICK - GRAY |
| 15 | ASPHALT SHINGLES - |
| 16 | WOOD SOFFIT - |
| 17 | WIND GLAZING UNITS - WHITE |
| 18 | WOOD DOOR - |
| 19 | METAL OH GARAGE DOOR - WHITE |
| 20 | GLASS GUARDRAILS - |
| 21 | METAL GUARDRAILS - WHITE |
| 22 | WOOD FASCIA - WHITE |
| 23 | PREFIN METAL FLASHING - CHARCOAL GRAY |
| 24 | PREFIN METAL FLASHING - WHITE |
| 25 | METAL PRIVACY SCREEN w/ WOOD SLATS |
| 26 | WOOD TRELLIS - WHITE |
| 27 | WOOD LATTICE - WHITE |



| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

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| PROJECT NUMBER | CD-37 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
BUILDING #8
ELEVATIONS

DRAWING NO.

A3.08

MATERIAL LEGEND

| MATERIALS | COLOUR | | |
|-------------------------|---------------------|---------------------------------------|---------------|
| 1 WOOD SHINGLES | CHARCOAL GRAY TONES | 17 HARDIE SHIPLAP | WHITE |
| 2 WOOD SHINGLES | WHITE TONES | 18 WOOD SHIPLAP | WHITE |
| 3 HARDIE SHINGLES | CHARCOAL GRAY | 19 HARDIE PANEL | GRAY |
| 4 HARDIE SHINGLES | GRAY | 20 PREFIN PANEL | GRAY |
| 5 HARDIE SHINGLES | WHITE | 21 PREFIN METAL SIDING | WHITE |
| 6 HARDIE BOARD & BATTEN | GRAY | 22 BRICK | GRAY |
| 7 HARDIE BOARD & BATTEN | WHITE | 23 ASPHALT SHINGLES | WHITE |
| 8 HARDIE SHIPLAP | GRAY | 24 WOOD SOFFIT | WHITE |
| | | 25 VINYL GLAZING UNITS | WHITE |
| | | 26 WOOD DOOR | WHITE |
| | | 27 METAL OH GARAGE DOOR | WHITE |
| | | 28 GLASS GUARDRAILS | WHITE |
| | | 29 METAL GUARDRAILS | WHITE |
| | | 30 WOOD FASCIA | WHITE |
| | | 31 PREFIN METAL FLASHING | CHARCOAL GRAY |
| | | 32 PREFIN METAL FLASHING | WHITE |
| | | 33 METAL PRIVACY SCREEN w/ WOOD SLATS | WHITE |
| | | 34 WOOD TRELLIS | WHITE |
| | | 35 WOOD LATTICE | WHITE |

EKISTICS
Architecture

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Canada V6T 3C1

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www.ekistics.com



2 NORTH ELEVATION
SCALE 1/16" = 1'-0"



1 EAST ELEVATION
SCALE 1/16" = 1'-0"

| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

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|----------------|----------|
| PROJECT NUMBER | ED-87 |
| DRAWN BY | RR/RW/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
APARTMENT BUILDING ELEVATIONS

DRAWING NO.

A3.21

MATERIAL LEGEND

| MATERIALS | COLOUR | | | | |
|-------------------------|-----------------------|------------------------|---------|---------------------------------------|-----------------|
| 1 WOOD SHINGLES | - CHARCOAL GRAY TONES | 1 HARDBE SHIPLAP | - WHITE | 23 METAL OH GARAGE DOOR | - WHITE |
| 2 WOOD SHINGLES | - WHITE TONES | 2 WOOD SHIPLAP | - WHITE | 24 GLASS GUARDRAILS | - WHITE |
| 3 HARDBE SHINGLES | - CHARCOAL GRAY | 3 HARDBE PANEL | - WHITE | 25 METAL GUARDRAILS | - WHITE |
| 4 HARDBE SHINGLES | - GRAY | 4 HARDBE PANEL | - GRAY | 26 WOOD FASCIA | - WHITE |
| 5 HARDBE SHINGLES | - WHITE | 5 PREFIN. METAL SIDING | - WHITE | 27 PREFIN. METAL FLASHING | - CHARCOAL GRAY |
| 6 HARDBE BOARD & BATTEN | - GRAY | 6 BRICK | - GRAY | 28 PREFIN. METAL FLASHING | - WHITE |
| 7 HARDBE BOARD & BATTEN | - WHITE | 7 ASPHALT SHINGLES | - | 29 METAL PRIVACY SCREEN w/ WOOD SLATS | - |
| 8 HARDBE BOARD & BATTEN | - GRAY | 8 WOOD SHOFFY | - | 30 METAL TRELLIS | - WHITE |
| 9 HARDBE BOARD & BATTEN | - WHITE | 9 VINYL GLAZING UNITS | - WHITE | 31 WOOD LATTICE | - WHITE |
| 10 HARDBE SHIPLAP | - GRAY | 10 WOOD DOOR | - | | |



2 SOUTH ELEVATION
SCALE 1/16" = 1'-0"



1 WEST ELEVATION
SCALE 1/16" = 1'-0"

EKISTICS
Architecture

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| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

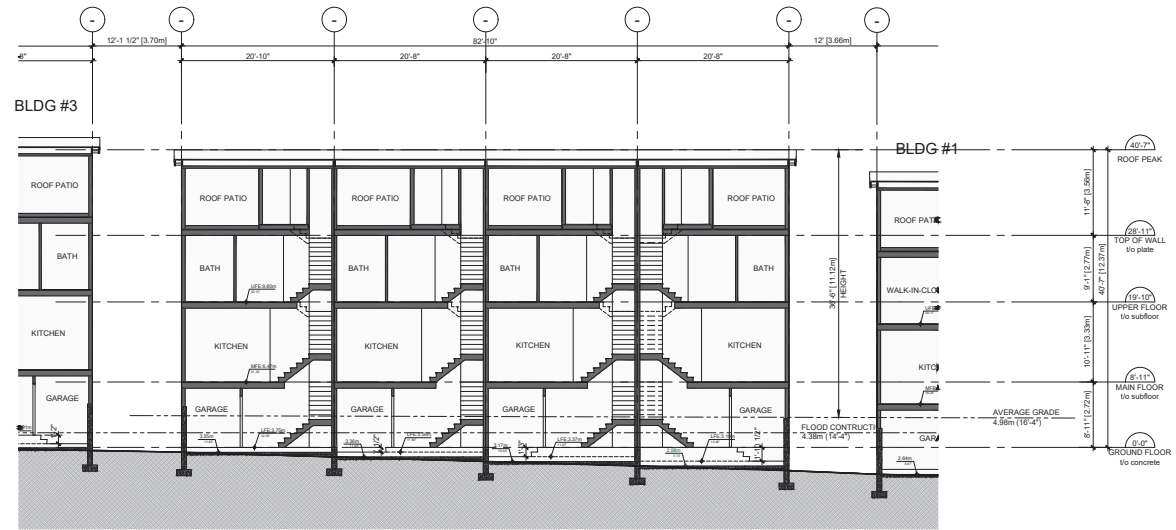
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| PROJECT NUMBER | ED-87 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT

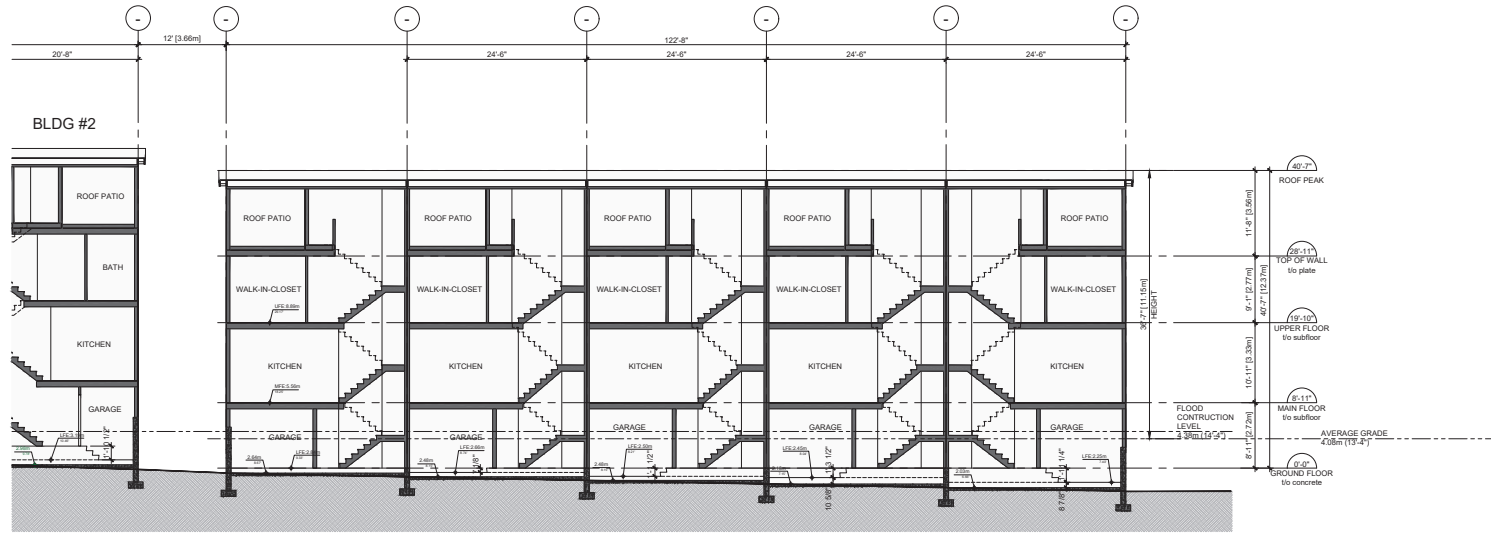
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
APARTMENT BUILDING ELEVATIONS

DRAWING NO.
A3.22



2 SECTION - BLDG. #2
SCALE 1/8" = 1'-0"



1 SECTION - BLDG. #1
SCALE 1/8" = 1'-0"

| ISSUES | DATE |
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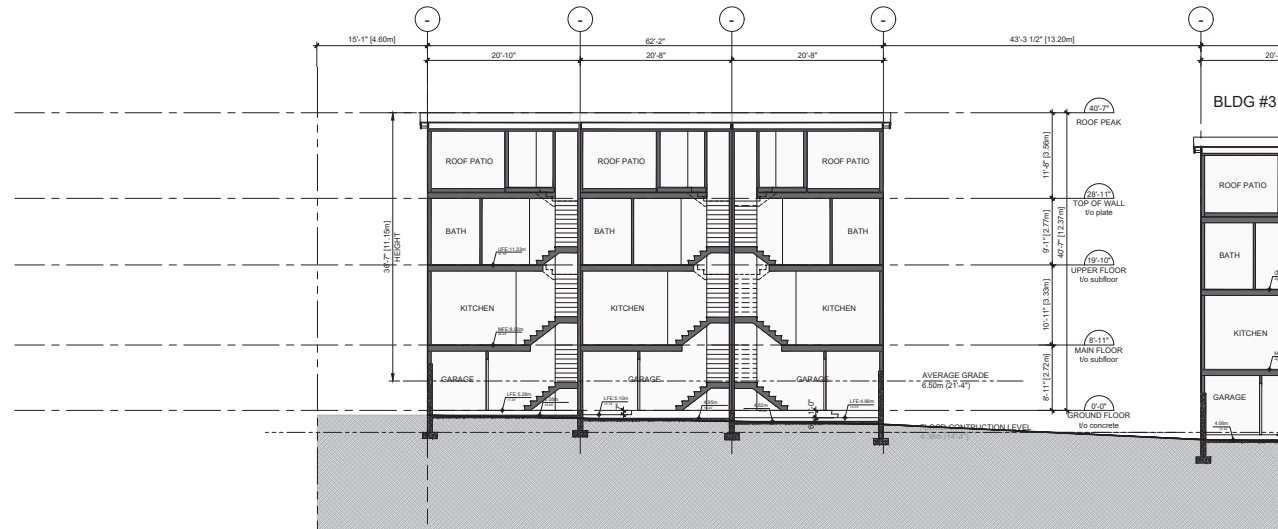
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|----------------|--------------|
| PROJECT NUMBER | CD-37 |
| DRAWN BY | RR / RV / PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
BUILDING SECTIONS

DRAWING NO.

A3.31



4 SECTION - BLDG. #4
A3.32 SCALE 1/8" = 1'-0"



3 SECTION - BLDG. #3
A3.32 SCALE 1/8" = 1'-0"

| ISSUES | DATE |
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| PROJECT NUMBER | CD-37 |
| DRAWN BY | RR/ RW/ PM |
| QCF-CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

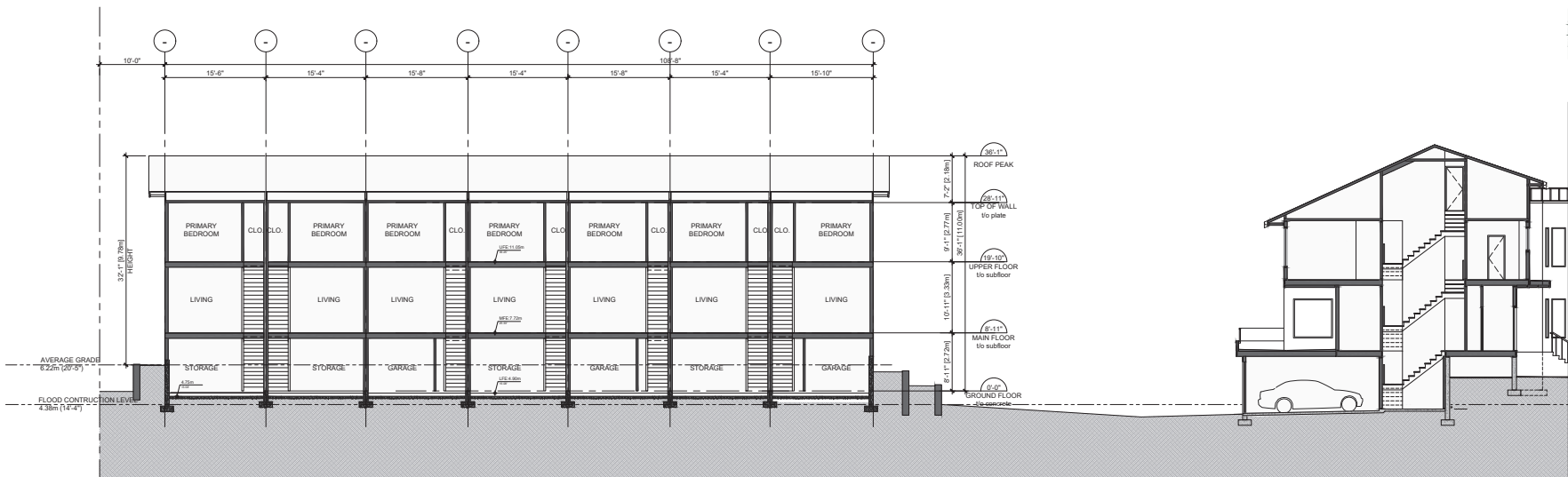
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE

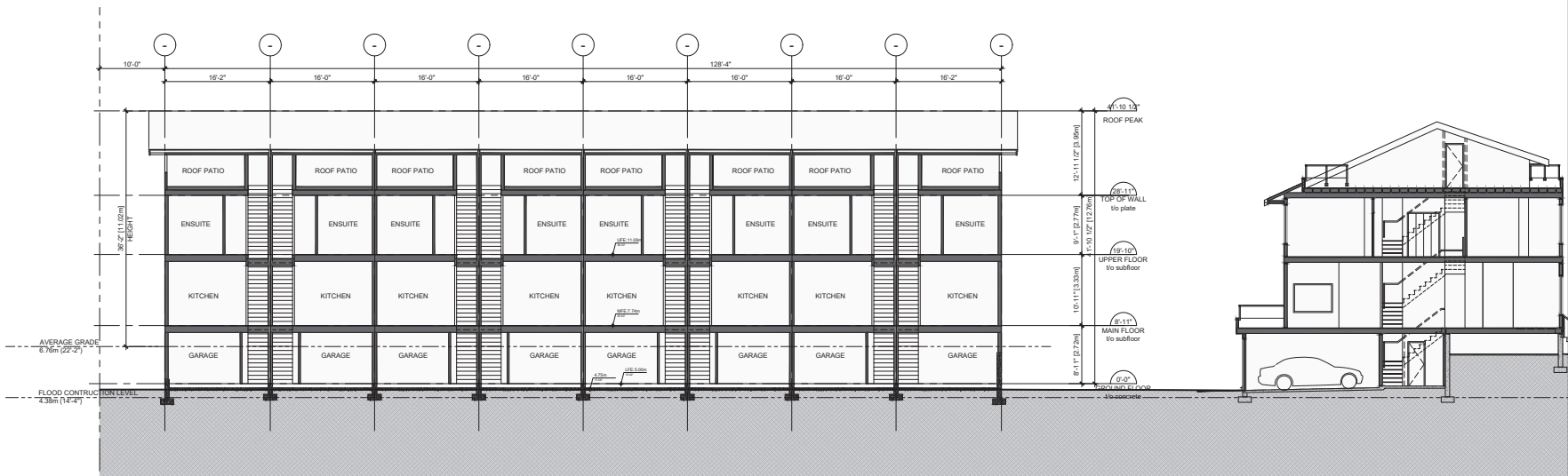
BUILDING SECTIONS

DRAWING NO.

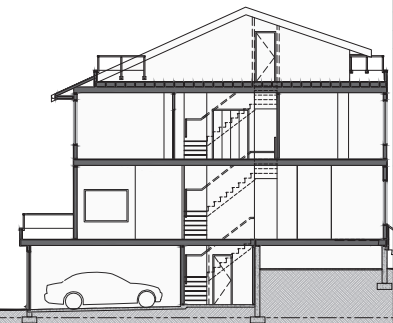
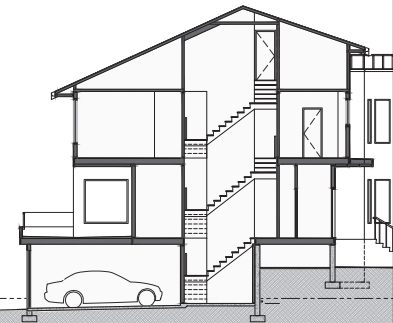
A3.32



6 SECTION - BLDG. #6
SCALE 1/8" = 1'-0"



5 SECTION - BLDG. #5
SCALE 1/8" = 1'-0"



| ISSUES | DATE |
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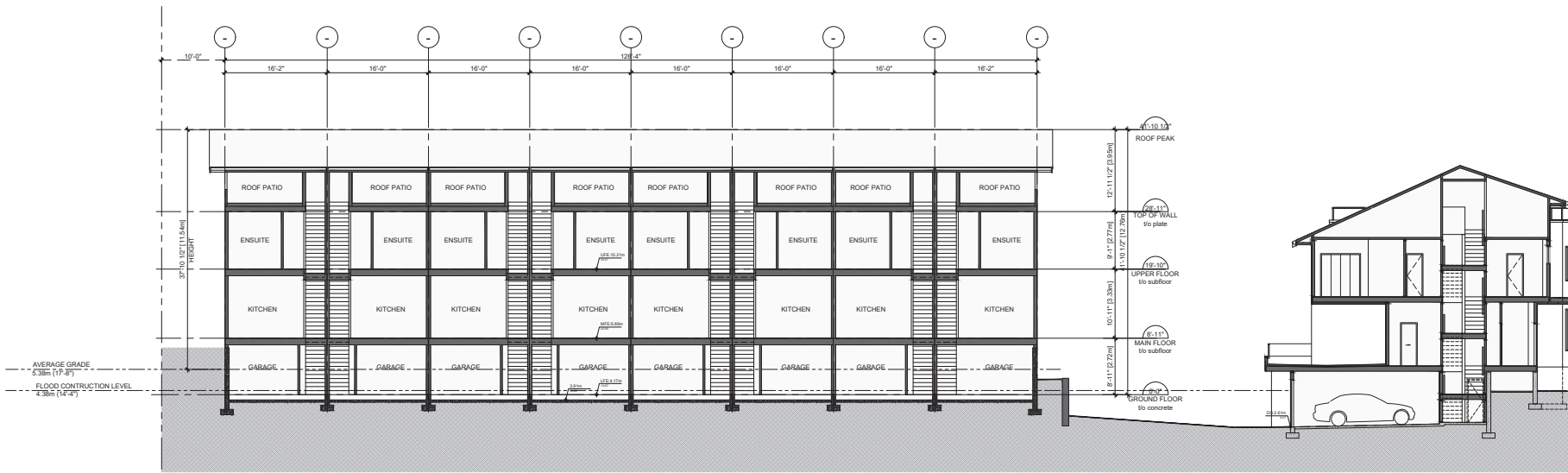
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| PROJECT NUMBER | CD-37 |
| DRAWN BY | RR/ RW/ PM |
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| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

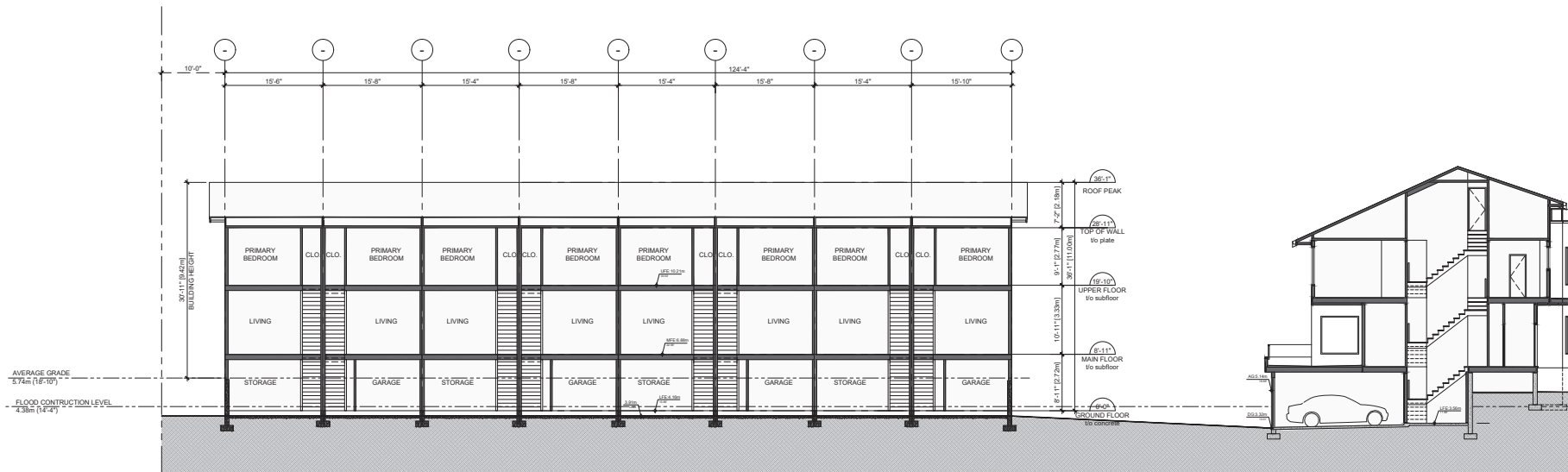
DRAWING TITLE
BUILDING SECTIONS

DRAWING NO.

A3.33



8 SECTION - BLDG. #8
SCALE 1/8" = 1'-0"



7 SECTION - BLDG. #7
SCALE 1/8" = 1'-0"

| ISSUES | DATE |
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PROJECT NUMBER: CD-37
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 CHECKED BY: MB
 DATE CHECKED:
 CONSULTANT:

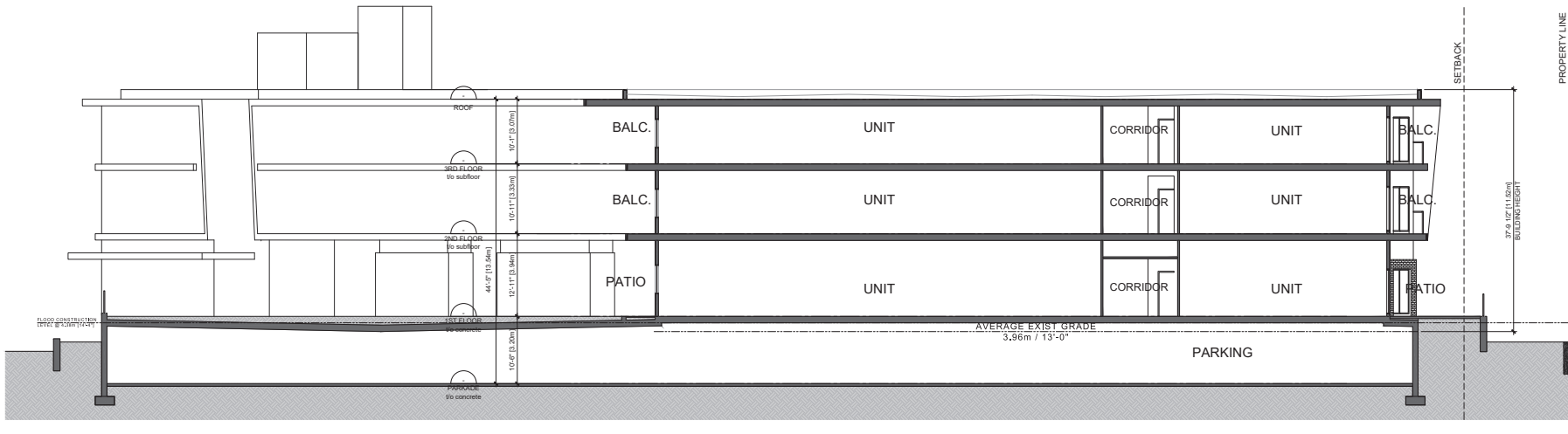
PROJECT: **CEDARWOOD**
MULTI-FAMILY DEVELOPMENT

9522 LOCHSIDE DRIVE
SIDNEY, BC

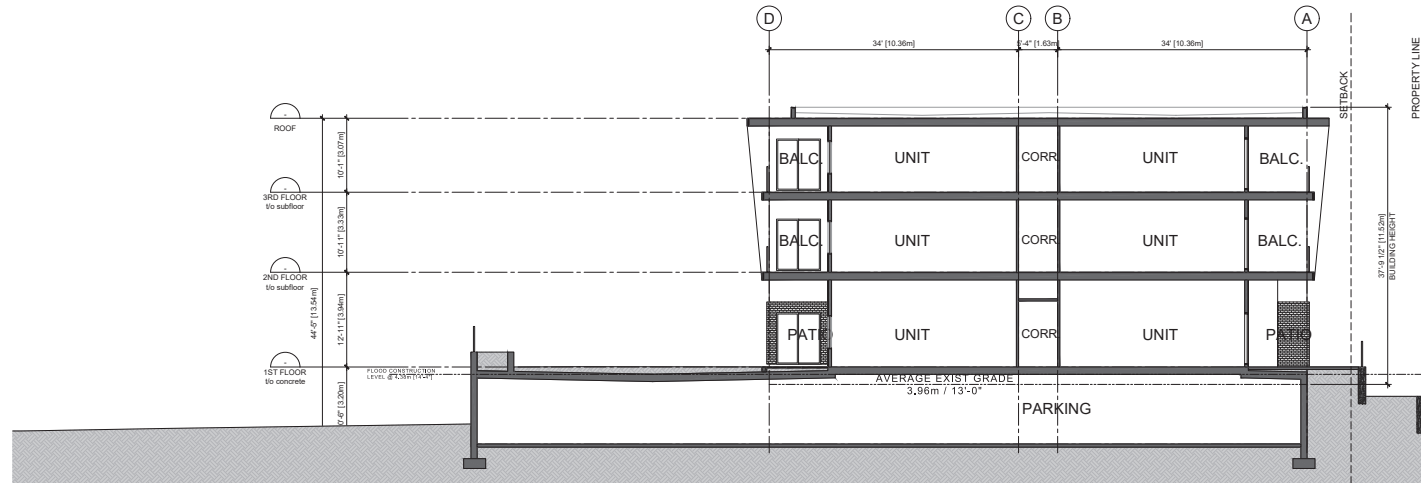
DRAWING TITLE: **BUILDING SECTIONS**

DRAWING NO.:

A3.34



2
A3.41 BUILDING SECTION
SCALE 1/16" = 1'-0"



1
A3.41 BUILDING SECTION
SCALE 1/16" = 1'-0"

| ISSUES | DATE |
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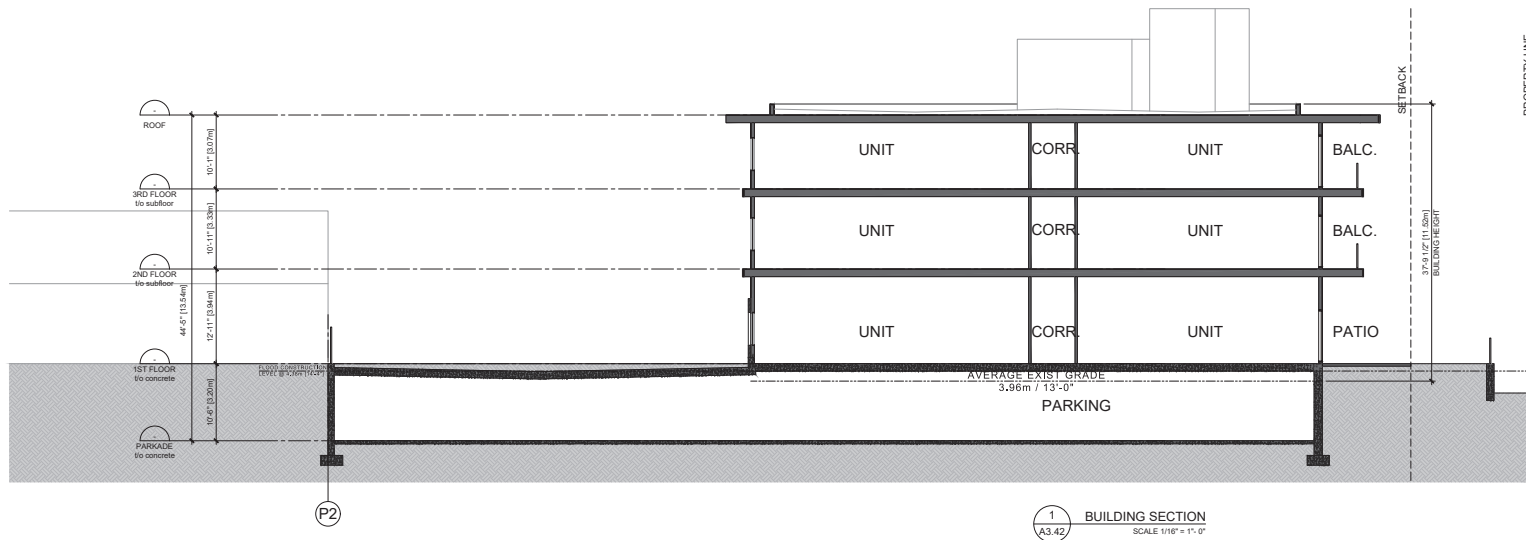
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| PROJECT NUMBER | CD-87 |
| DRAWN BY | RR/RVI/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

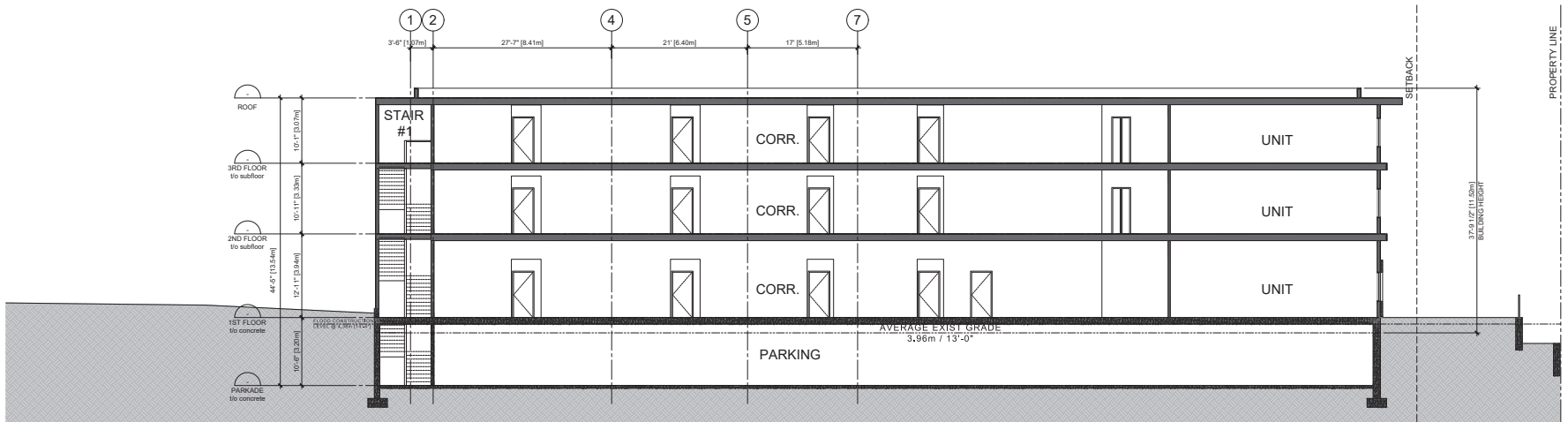
DRAWING TITLE
APARTMENT BUILDING ROOF PLAN

DRAWING NO.

A3.41



1 BUILDING SECTION
A3.42 SCALE: 1/16" = 1'-0"



A BUILDING SECTION
A3.42 SCALE: 1/16" = 1'-0"

| ISSUES | DATE |
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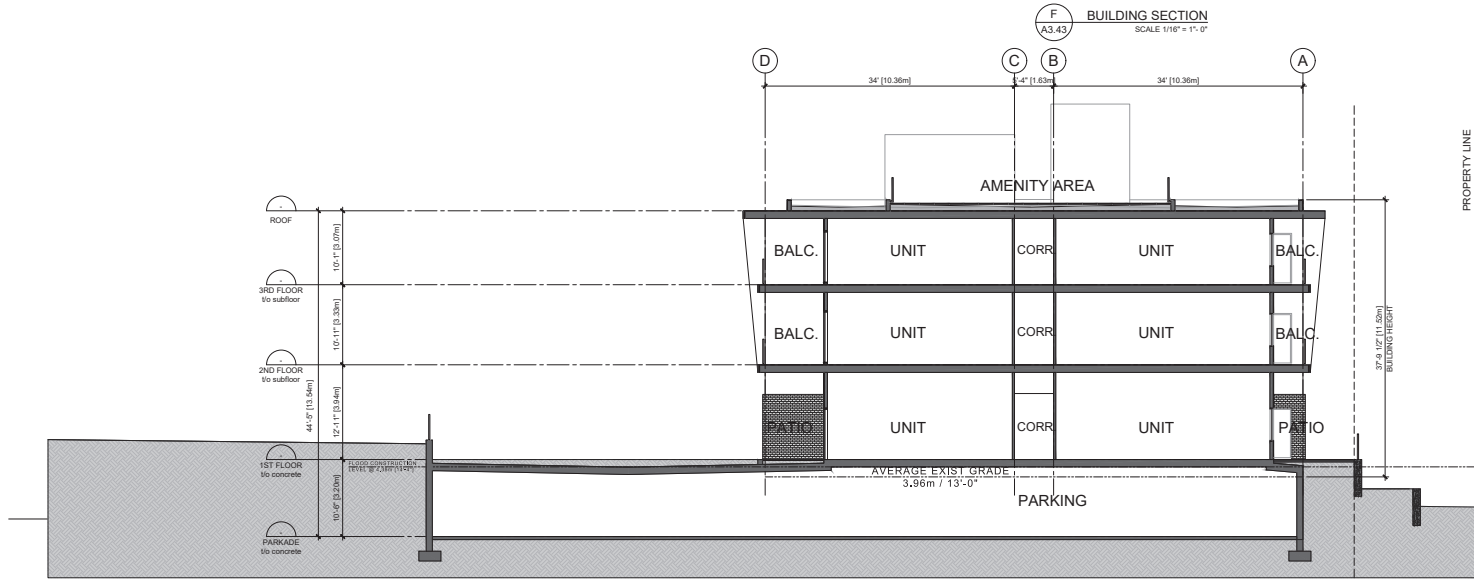
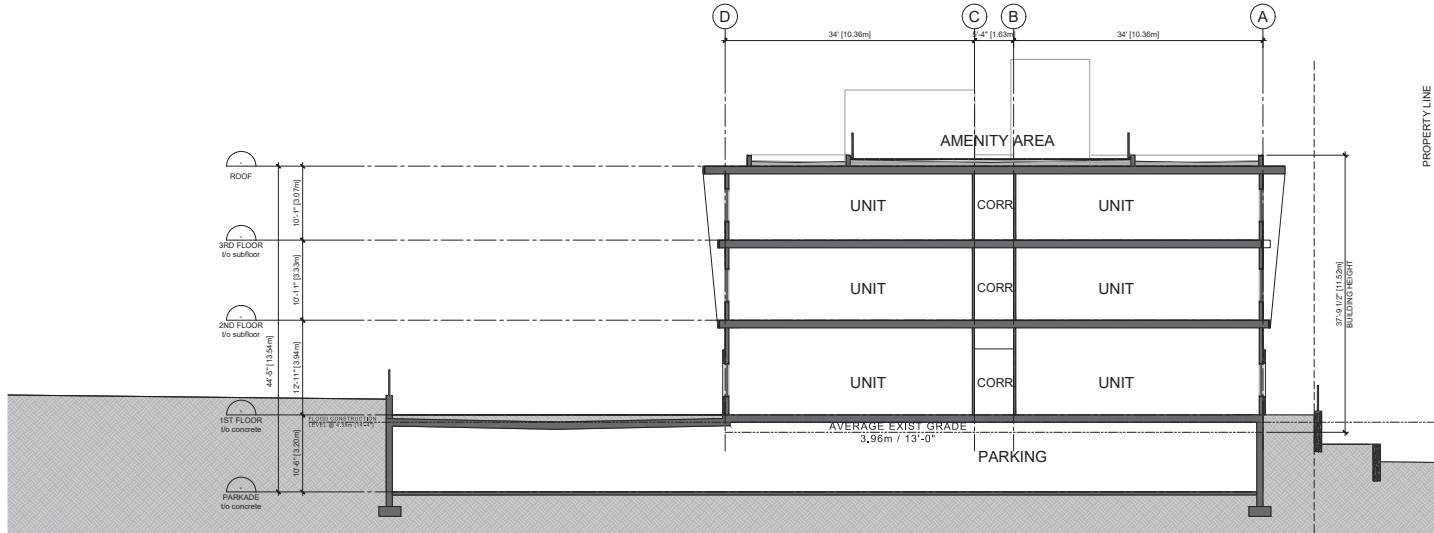
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| PROJECT NUMBER | ED-07 |
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PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
APARTMENT BUILDING ROOF PLAN

DRAWING NO.

A3.42



E BUILDING SECTION
A3.43
SCALE: 1/16" = 1'-0"

| ISSUES | DATE |
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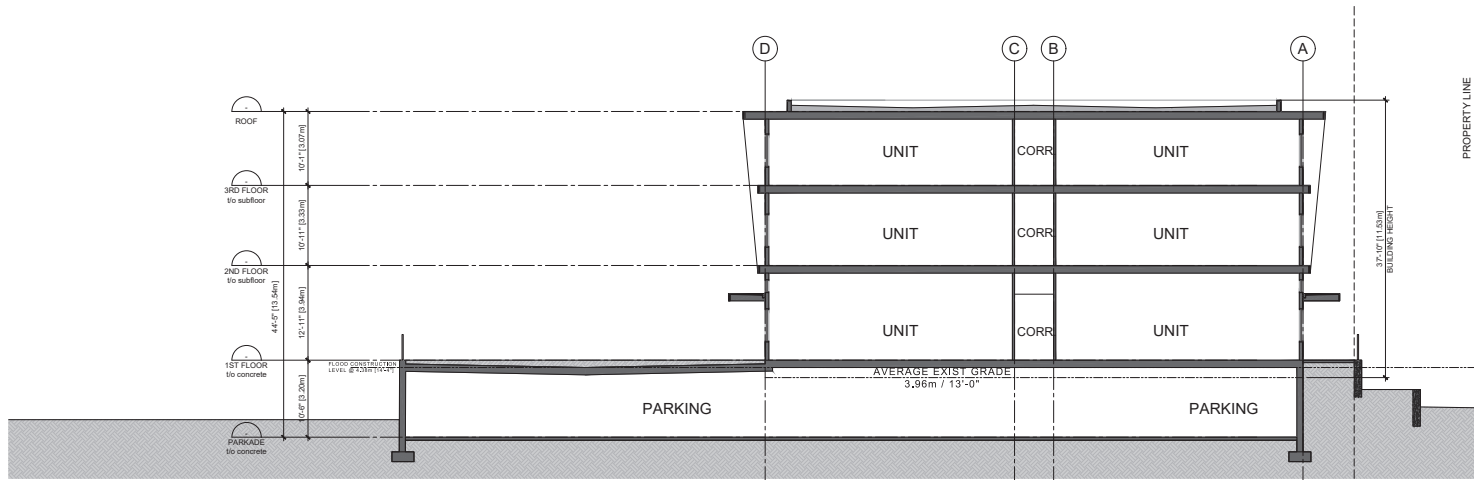
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| PROJECT NUMBER | ED-37 |
| DRAWN BY | RR/RV/PM |
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| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

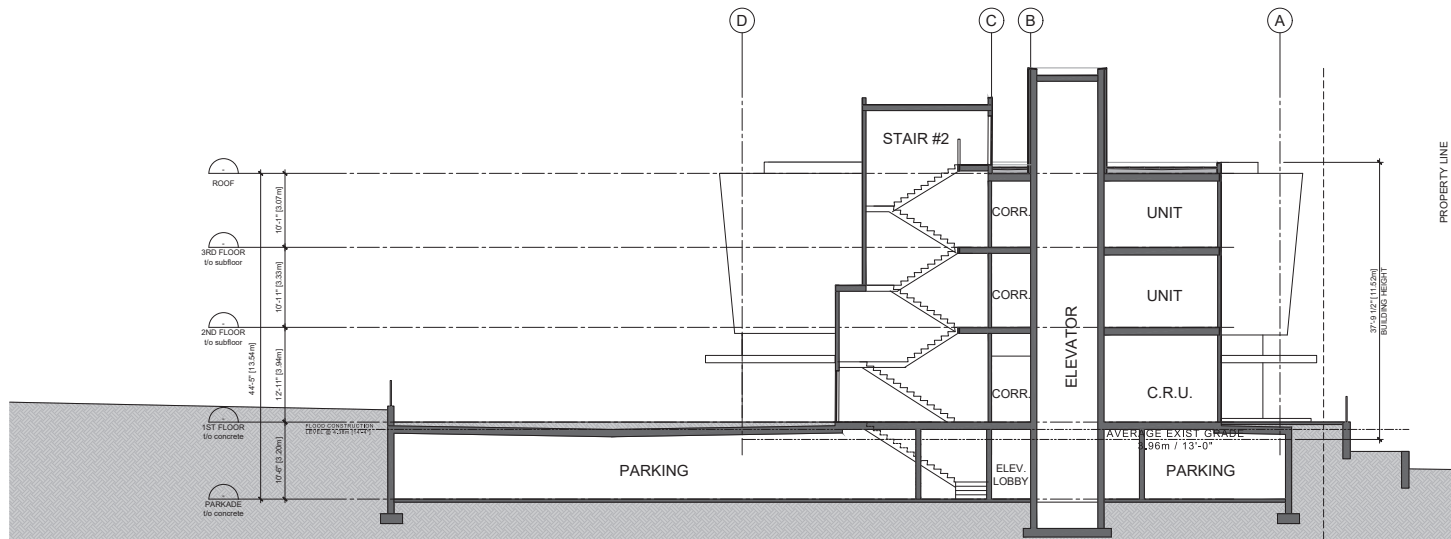
DRAWING TITLE
APARTMENT BUILDING ROOF PLAN

DRAWING NO.

A3.43



H
A3.44 BUILDING SECTION
SCALE 1/16" = 1'-0"



G
A3.44 BUILDING SECTION
SCALE 1/16" = 1'-0"

| ISSUES | DATE |
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| | 2023 / 07 / 14 |

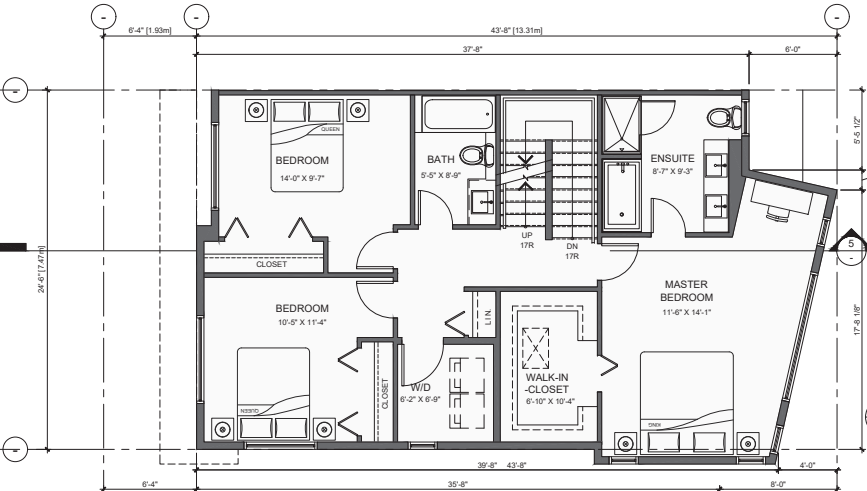
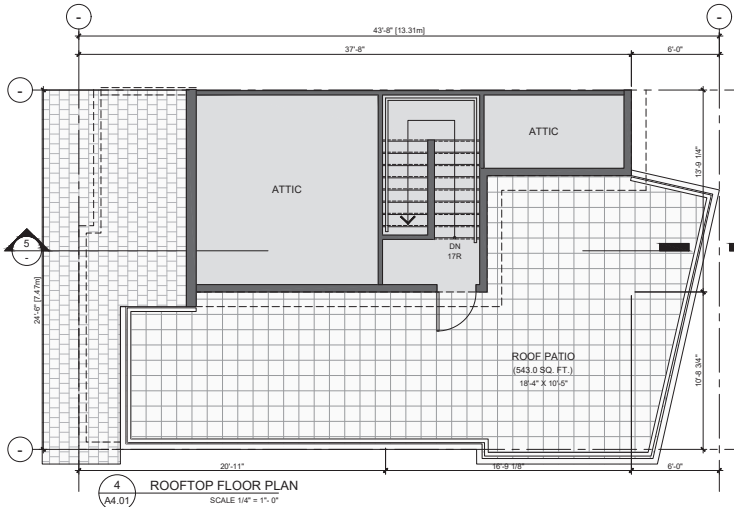
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| PROJECT NUMBER | ED-87 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

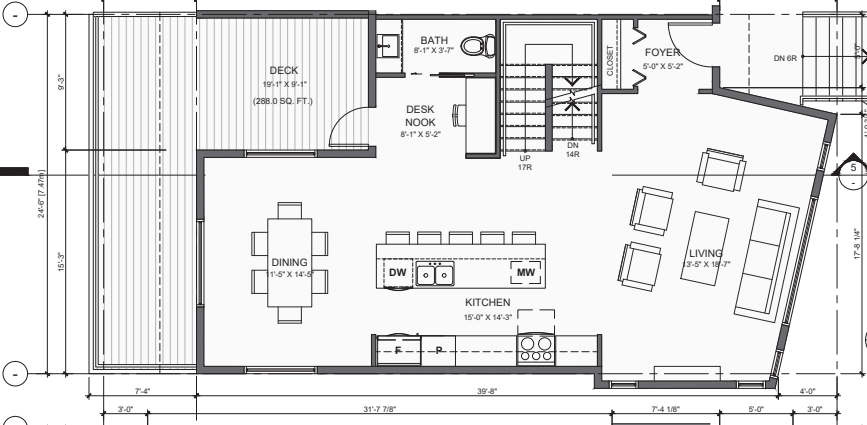
DRAWING TITLE
APARTMENT BUILDING SECTIONS

DRAWING NO.

A3.44



| UNIT A1 AREAS: | S.F. | S.M. |
|----------------------------|----------------|--------------|
| - GROUND FLOOR | 101.7 | 9.45 |
| - MAIN FLOOR | 891.3 | 82.81 |
| - UPPER FLOOR | 1000.8 | 92.98 |
| - AREA TOTAL (GROSS) = | 1,993.8 | 185.2 |
| - GARAGE | 736.0 | 68.37 |
| - AREA TOTAL (w/ GARAGE) = | 2,729.8 | 253.6 |
| - DECK | 288.0 | 26.75 |
| - ROOF DECK | 543.0 | 50.45 |

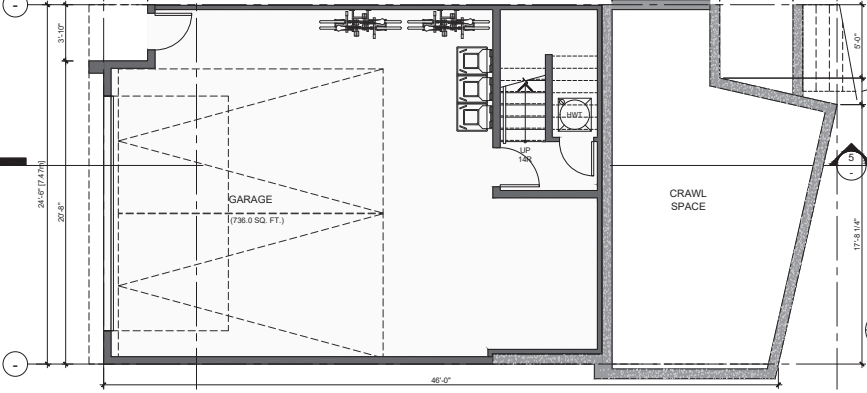


STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7 1/2" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7 1/2" [181.2mm]
RUN: 14 @ 10" [255.0mm]



| ISSUES | DATE |
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| PROJECT NUMBER | ED-07 |
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| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT

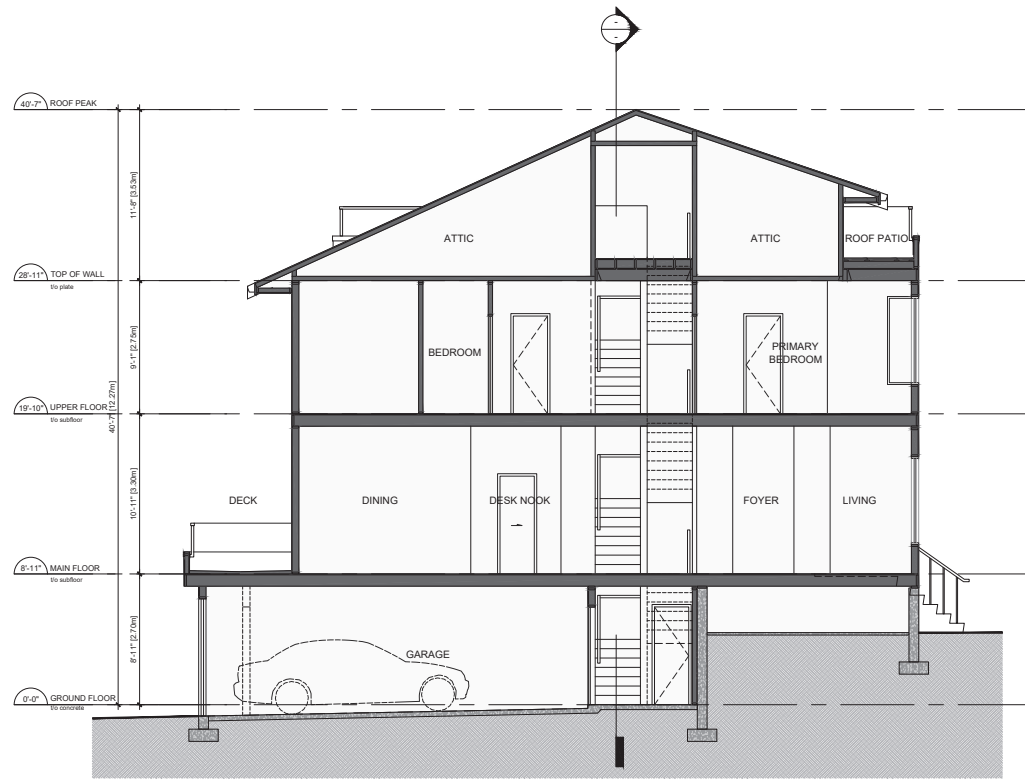
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
UNIT A1 FLOOR PLANS

DRAWING NO.
A4.01

STAIR CALCULATION
LEVEL 2 - LEVEL 3
HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7 1/2" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2
HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7 1/2" [181.2mm]
RUN: 14 @ 10" [255.0mm]



| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP |
| | 2023 / 07 / 14 |

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| PROJECT NUMBER | ED-07 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

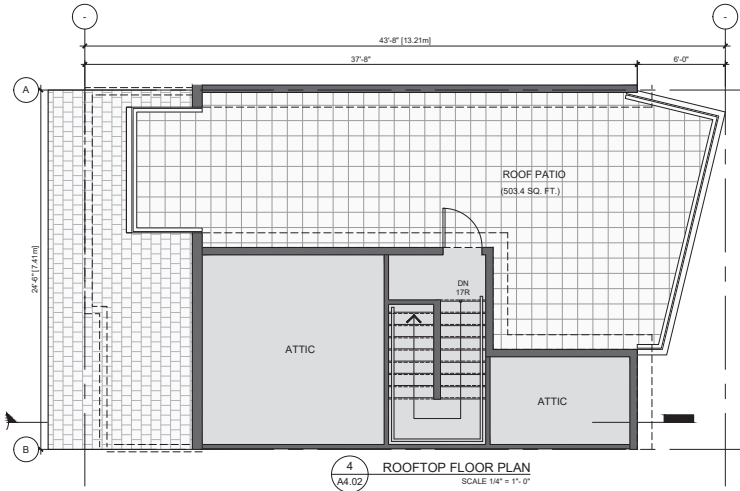
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CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
UNIT A1 SECTION

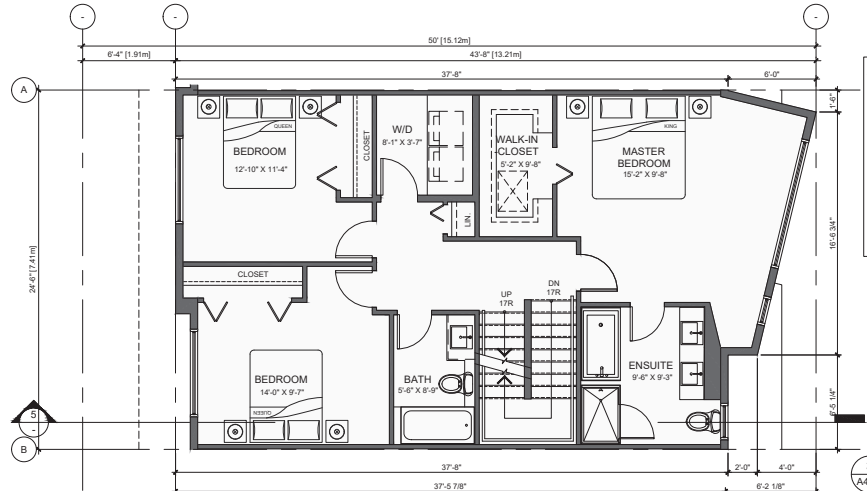
DRAWING NO.

SECTION
A4.01a SCALE 1/4" = 1'-0"

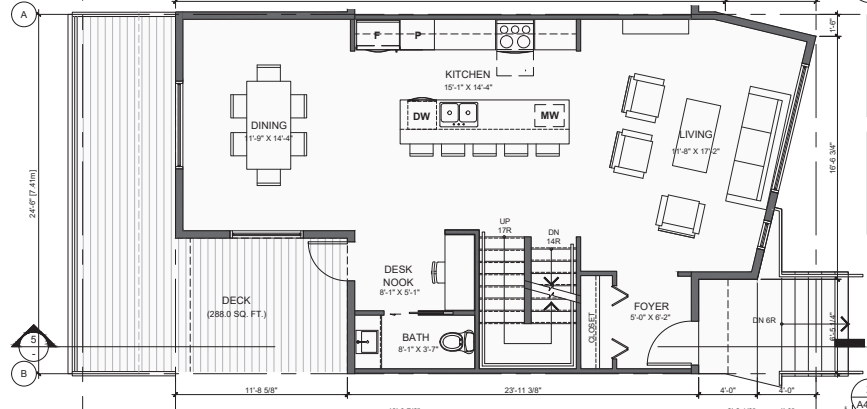
A4.01a



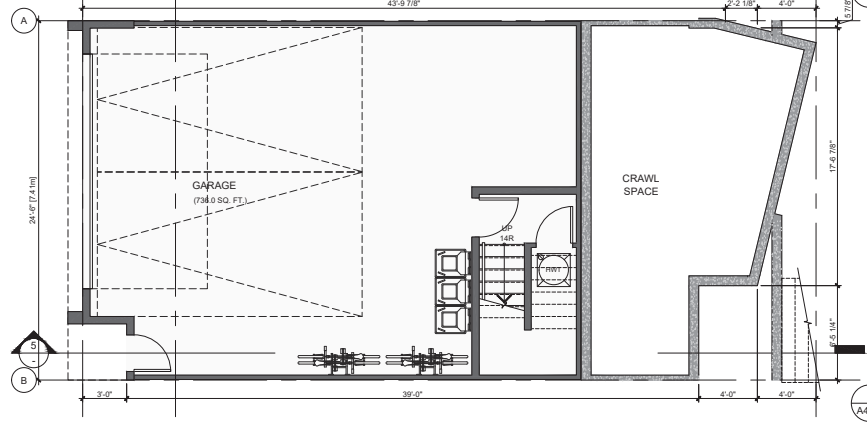
4 ROOFTOP FLOOR PLAN
SCALE 1/4" = 1'-0"



3 UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"



2 MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"



1 GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"

| UNIT A2 AREAS: | S.F. | S.M. |
|----------------------------|----------------|--------------|
| - GROUND FLOOR | 101.7 | 9.45 |
| - MAIN FLOOR | 872.2 | 81.03 |
| - UPPER FLOOR | 983.9 | 91.41 |
| - AREA TOTAL (GROSS) = | 1,957.8 | 181.9 |
| - GARAGE | 736.0 | 68.37 |
| - AREA TOTAL (W/ GARAGE) = | 2,693.8 | 250.3 |
| | | |
| - DECK | 288.0 | 26.75 |
| - ROOF DECK | 503.4 | 46.77 |

| STAIR CALCULATION | |
|-------------------|-----------------------|
| LEVEL 2 - LEVEL 3 | |
| HEIGHT: | 10'-11" [3.30m] |
| RISE: | 17 @ 7 1/2" [195.7mm] |
| RUN: | 16 @ 10" [255.0mm] |

| STAIR CALCULATION | |
|-------------------|-----------------------|
| LEVEL 1 - LEVEL 2 | |
| HEIGHT: | 8'-11" [2.70m] |
| RISE: | 15 @ 7 1/2" [181.2mm] |
| RUN: | 14 @ 10" [255.0mm] |

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| PROJECT NUMBER | ED-37 |
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PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT

9522 LOCHSIDE DRIVE
SIDNEY, BC

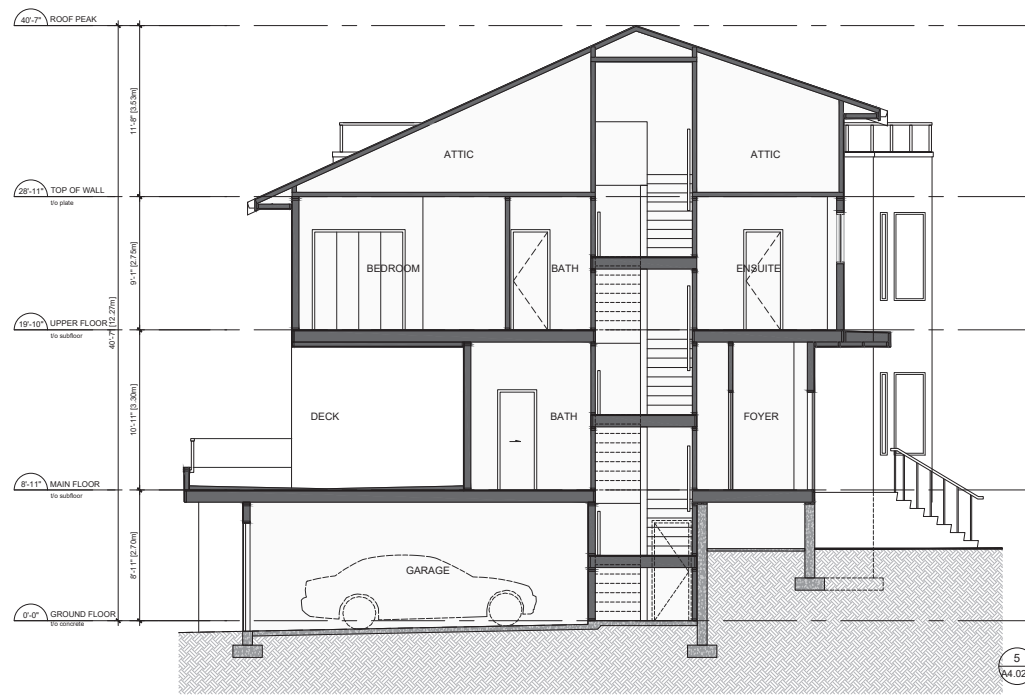
DRAWING TITLE
UNIT A2 FLOOR PLANS

DRAWING NO.

A4.02

STAIR CALCULATION
LEVEL 2 - LEVEL 3
HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7 1/2" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2
HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7 1/2" [181.2mm]
RUN: 14 @ 10" [255.0mm]



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| PROJECT NUMBER | CD-87 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
8522 LOCHSIDE DRIVE
SIDNEY, BC

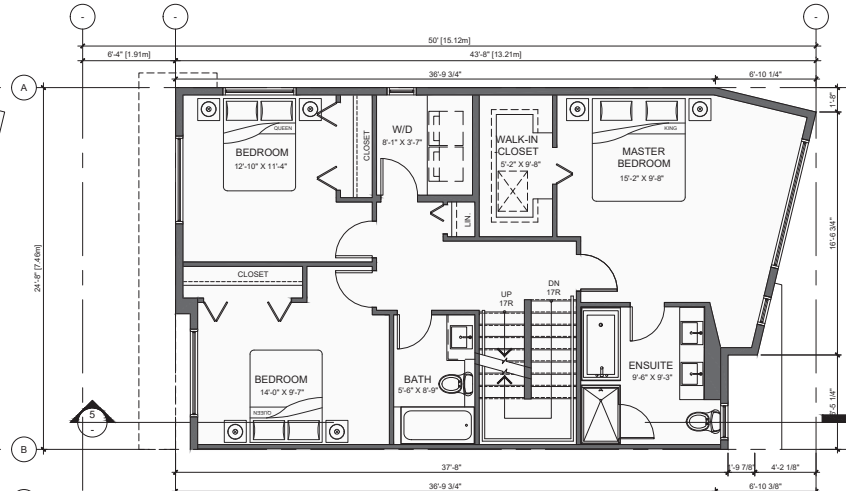
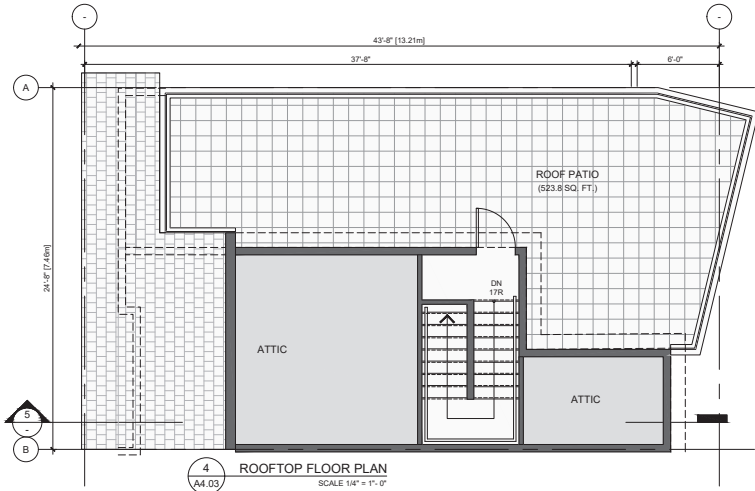
DRAWING TITLE
UNIT A2 SECTION

DRAWING NO.

A4.02a

5 SECTION
A4.02a SCALE 1/4" = 1'-0"

| UNIT A2e AREAS: | S.F. | S.M. |
|----------------------------|----------------|--------------|
| - GROUND FLOOR | 101.7 | 9.45 |
| - MAIN FLOOR | 878.3 | 81.60 |
| - UPPER FLOOR | 990.3 | 92.00 |
| - AREA TOTAL (GROSS) = | 1,970.3 | 183.0 |
| - GARAGE | 741.7 | 68.91 |
| - AREA TOTAL (w/ GARAGE) = | 2,712.1 | 252.0 |
| - DECK | 289.2 | 26.87 |
| - ROOF DECK | 523.8 | 48.66 |



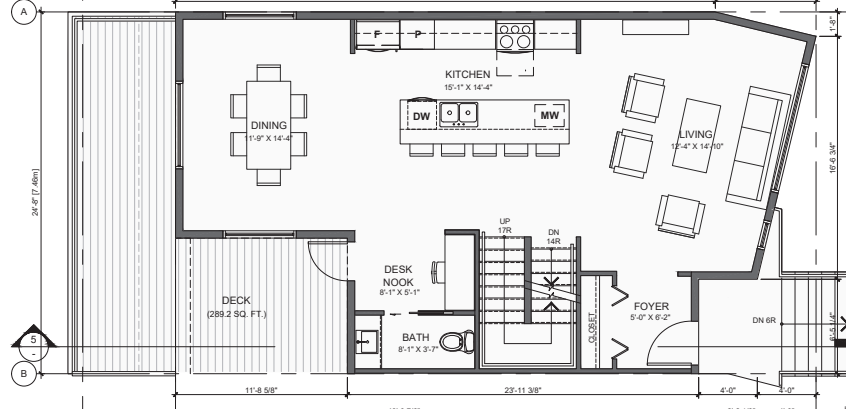
3 UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"

STAIR CALCULATION
LEVEL 2 - LEVEL 3

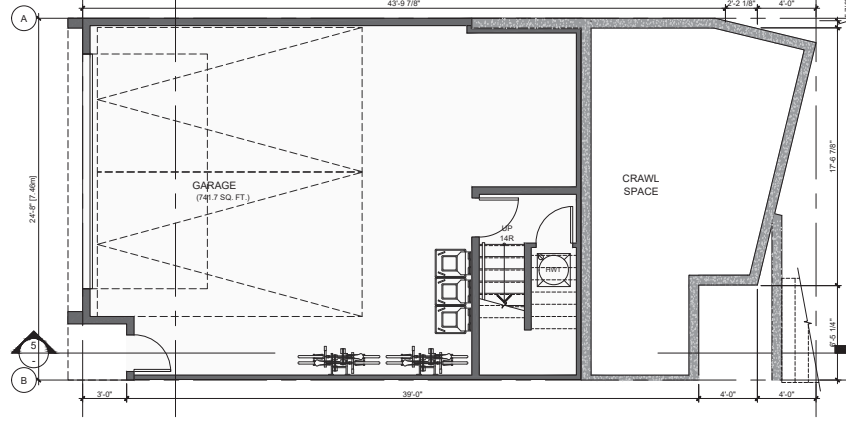
HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7 1/2" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7 1/2" [181.2mm]
RUN: 14 @ 10" [255.0mm]



2 MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"



1 GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"

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| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT

9522 LOCHSIDE DRIVE
SIDNEY, BC

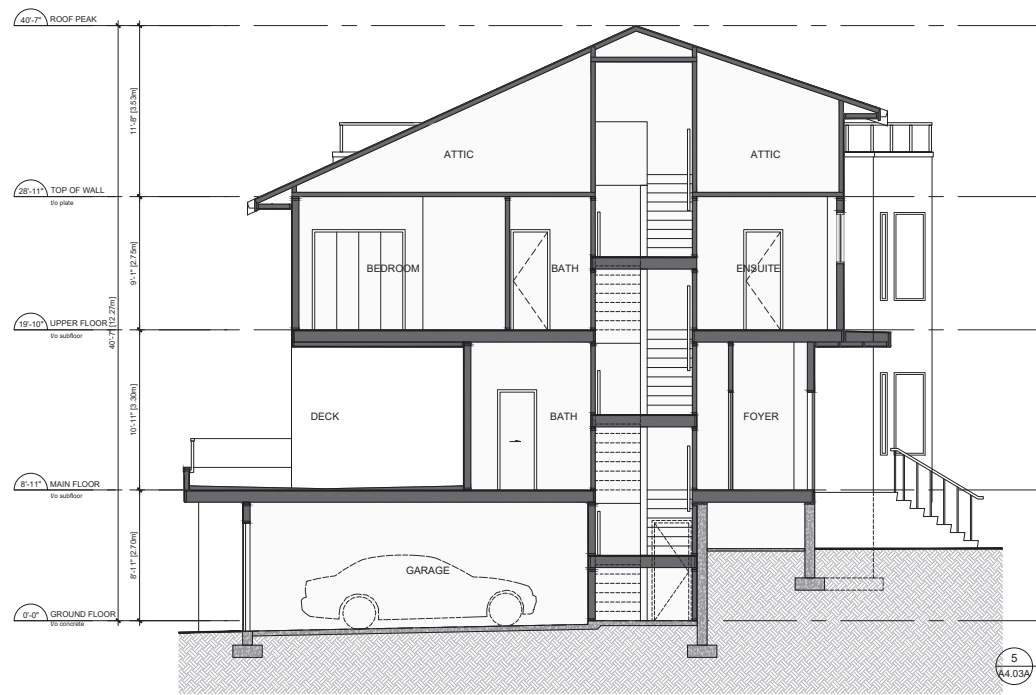
DRAWING TITLE
UNIT A2e
FLOOR PLANS

DRAWING NO.

A4.03

STAIR CALCULATION
LEVEL 2 - LEVEL 3
HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7 1/2" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2
HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7 1/2" [181.2mm]
RUN: 14 @ 10" [255.0mm]



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| PROJECT NUMBER | CD-27 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
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| CONSULTANT | |

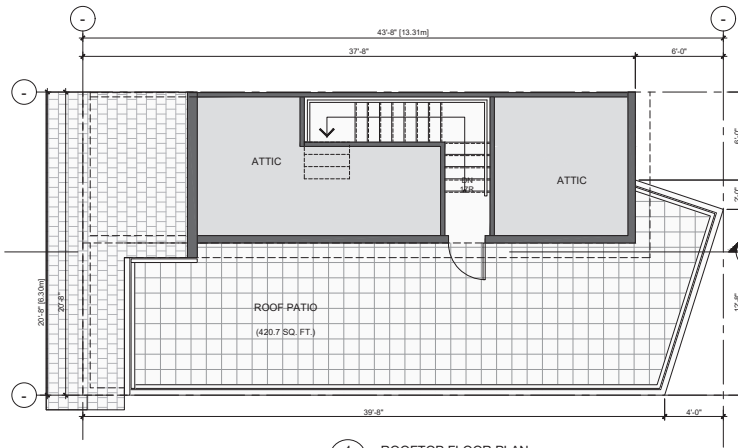
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
8522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
UNIT A2e
SECTIONS

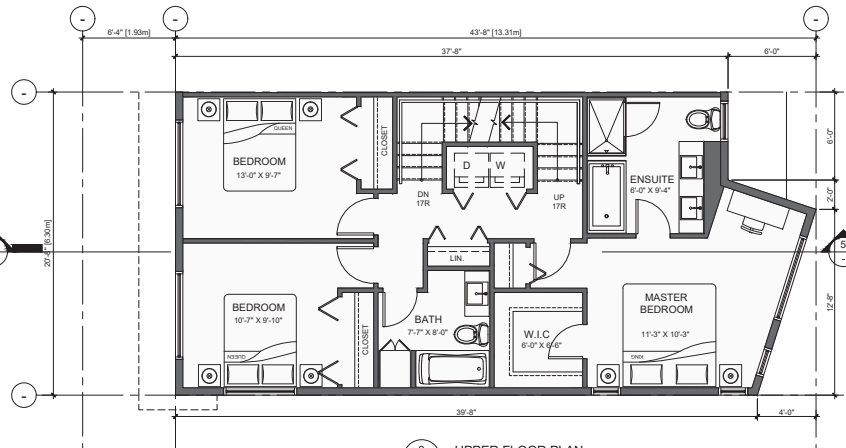
DRAWING NO.

A4.03a

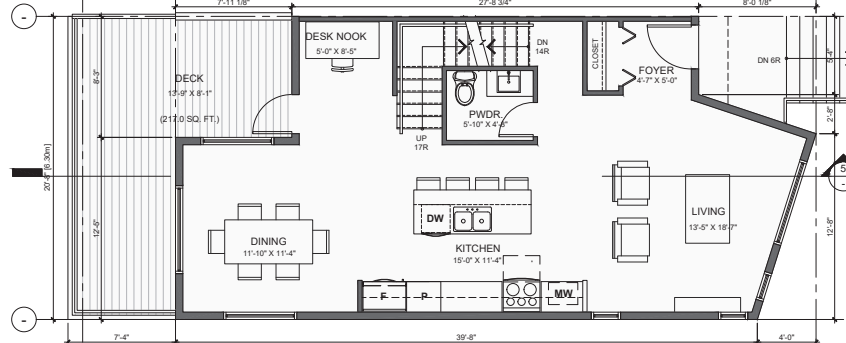
5 SECTION
A4.03a SCALE 1/4" = 1'-0"



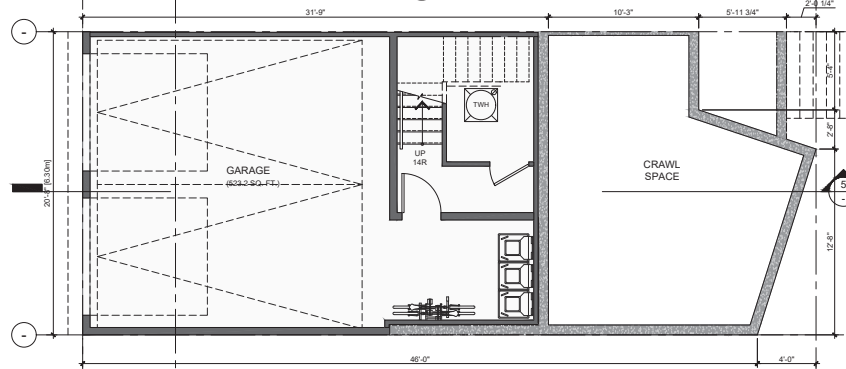
4 ROOFTOP FLOOR PLAN
SCALE 1/4" = 1'-0"
A4.04



3 UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"
A4.04



2 MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"
A4.04



1 GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"
A4.04

| UNIT A3 AREAS: | S.F. | S.M. |
|----------------------------|---------|-------|
| - GROUND FLOOR | 133.1 | 12.36 |
| - MAIN FLOOR | 758.4 | 70.45 |
| - UPPER FLOOR | 835.1 | 77.58 |
| - AREA TOTAL (GROSS) = | 1,726.6 | 160.4 |
| - GARAGE | 523.2 | 48.61 |
| - AREA TOTAL (w/ GARAGE) = | 2,249.7 | 209.0 |
| - DECK | 217.0 | 20.16 |
| - ROOF DECK | 420.7 | 39.09 |

| STAIR CALCULATION LEVEL 2 - LEVEL 3 | |
|--|-----------------------|
| HEIGHT: | 10'-11" [3.30m] |
| RISE: | 17 @ 7 3/8" [195.7mm] |
| RUN: | 16 @ 10" [255.0mm] |

| STAIR CALCULATION LEVEL 1 - LEVEL 2 | |
|--|-----------------------|
| HEIGHT: | 8'-11" [2.70m] |
| RISE: | 15 @ 7 3/8" [181.2mm] |
| RUN: | 14 @ 10" [255.0mm] |

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PROJECT
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9522 LOCHSIDE DRIVE
SIDNEY, BC

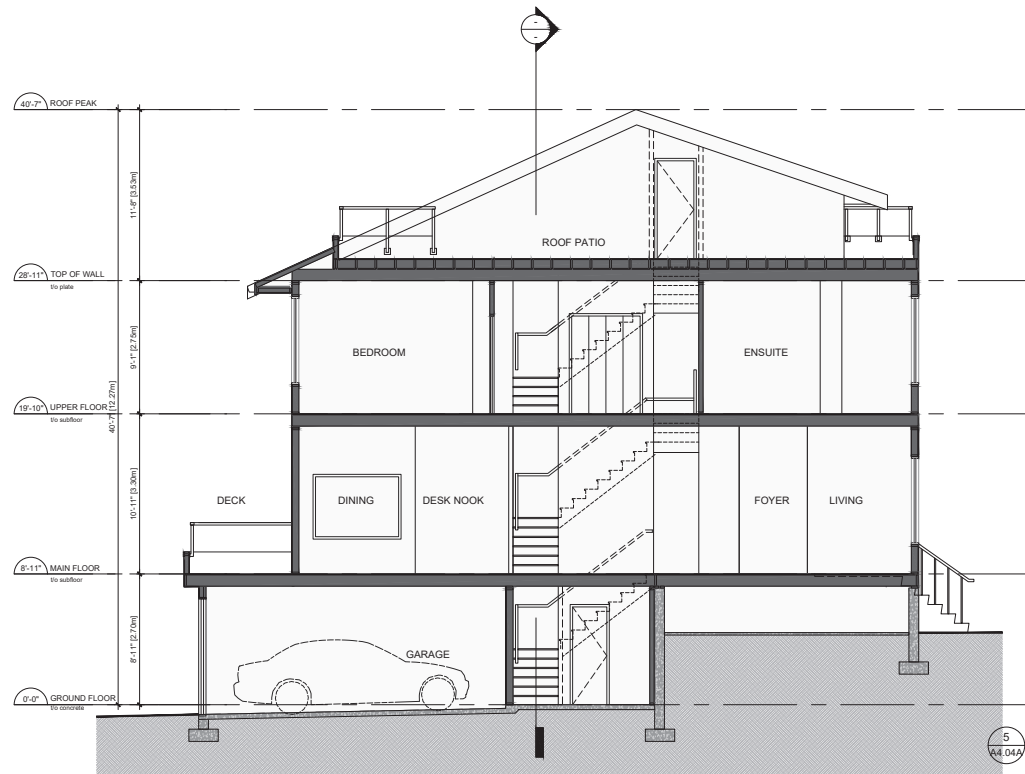
DRAWING TITLE
**UNIT A3
FLOOR PLANS**

DRAWING NO.

A4.04

STAIR CALCULATION
LEVEL 2 - LEVEL 3
HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2
HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7" [181.2mm]
RUN: 14 @ 10" [255.0mm]



5 SECTION
SCALE 1/4" = 1'-0"

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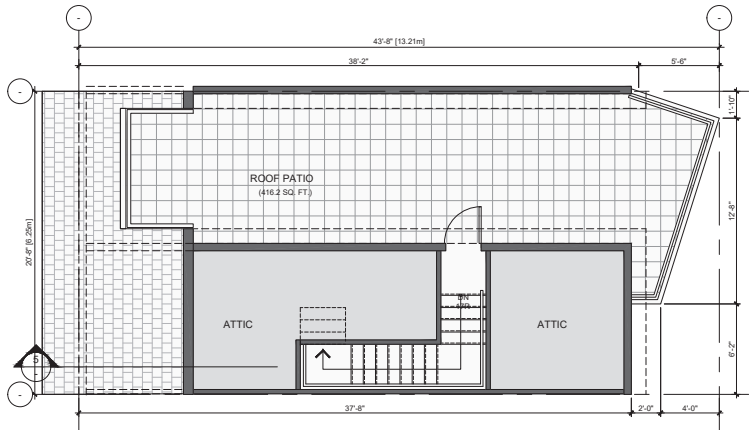
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PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
8522 LOCHSIDE DRIVE
SIDNEY, BC

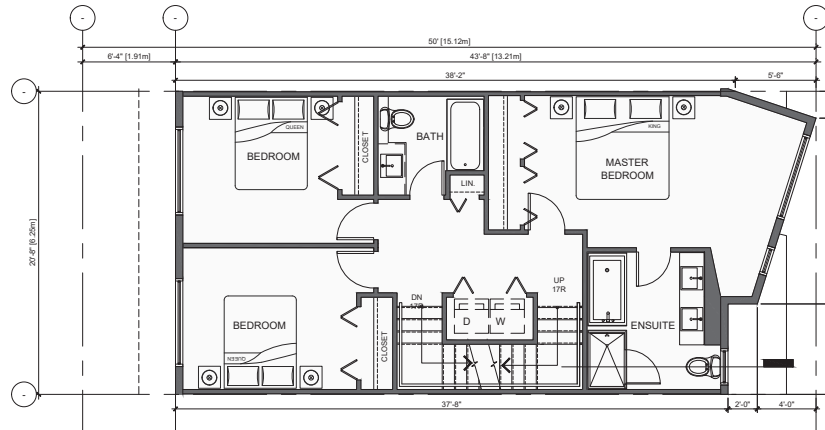
DRAWING TITLE
UNIT A3 SECTION

DRAWING NO.

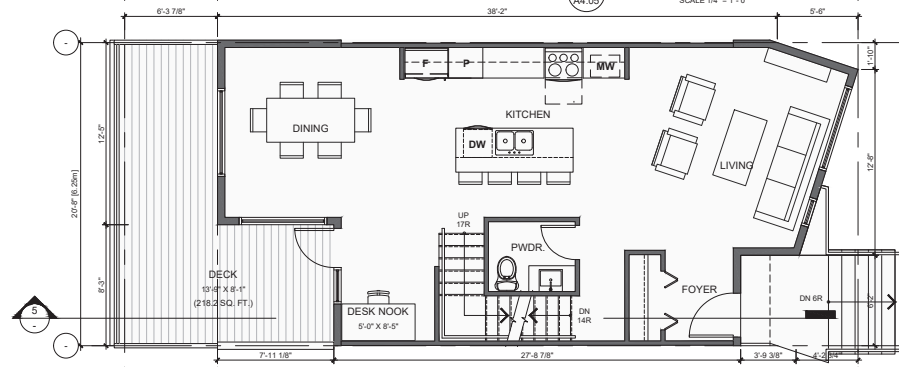
A4.04a



4 ROOFTOP PLAN - UNIT B1
A4.05 SCALE 1/4" = 1'-0"

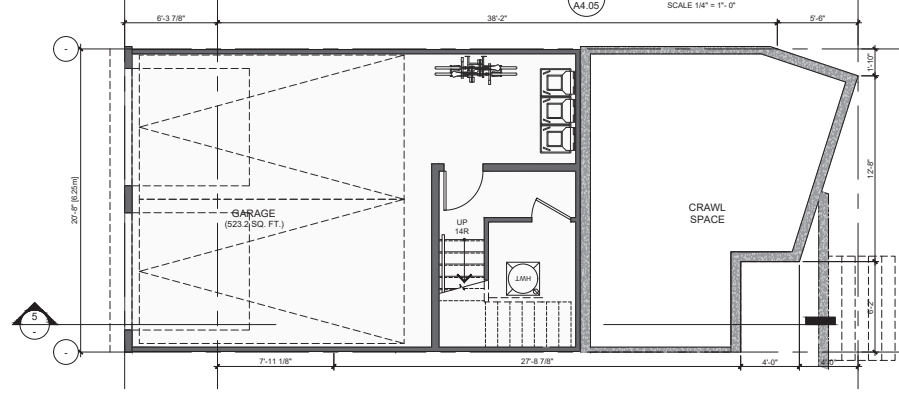


3 UPPER FLOOR PLAN
A4.05 SCALE 1/4" = 1'-0"



2 MAIN FLOOR PLAN
A4.05 SCALE 1/4" = 1'-0"

5 ROOFTOP PLAN - UNIT B1a
A4.05 SCALE 1/4" = 1'-0"



1 GROUND FLOOR PLAN
A4.05 SCALE 1/4" = 1'-0"

UNIT A4 AREAS:

| | S.F. | S.M. |
|---------------------------|---------|-------|
| - GROUND FLOOR | 133.1 | 12.36 |
| - MAIN FLOOR | 757.3 | 70.36 |
| - UPPER FLOOR | 835.4 | 77.61 |
| - AREA TOTAL (GROSS) = | 1,725.7 | 160.3 |
| - GARAGE | 523.2 | 48.61 |
| - AREA TOTAL (W GARAGE) = | 2,248.9 | 208.9 |
| - DECK | 218.2 | 20.27 |
| - ROOF DECK | 416.2 | 38.66 |

STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7 3/8" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7 3/8" [181.2mm]
RUN: 14 @ 10" [255.0mm]

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PROJECT
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MULTI-FAMILY DEVELOPMENT

9522 LOCHSIDE DRIVE
SIDNEY, BC

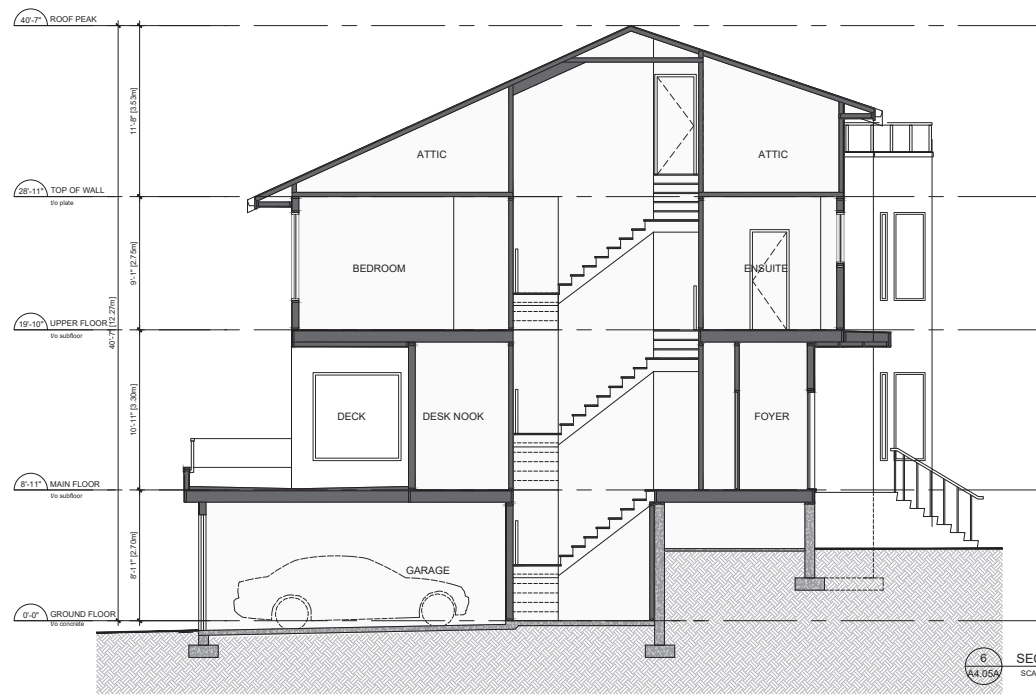
DRAWING TITLE
UNIT A4 FLOOR PLANS

DRAWING NO.

A4.05

STAIR CALCULATION
LEVEL 2 - LEVEL 3
HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7 1/2" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2
HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7 1/2" [181.2mm]
RUN: 14 @ 10" [255.0mm]



SECTION
A4.05a
SCALE 1/4" = 1'-0"

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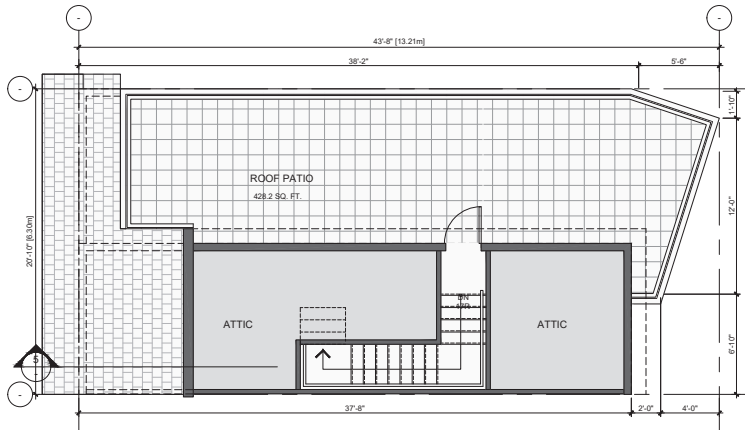
PROJECT NUMBER: CD-87
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DATE CHECKED:
CONSULTANT:

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

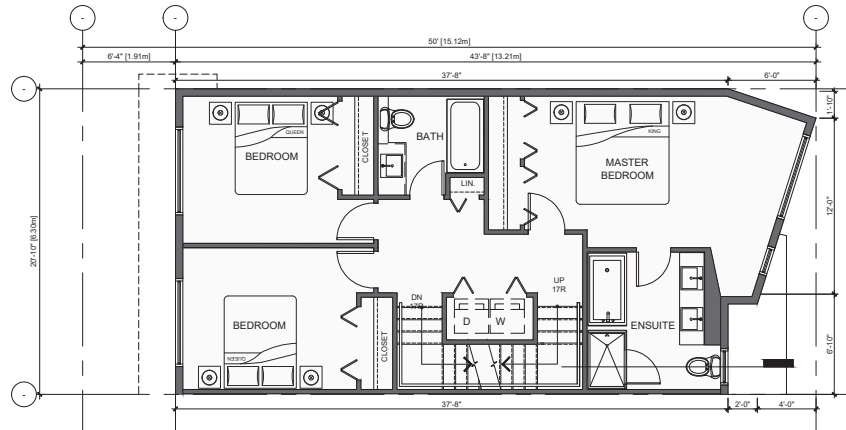
DRAWING TITLE
UNIT A4 SECTION

DRAWING NO.

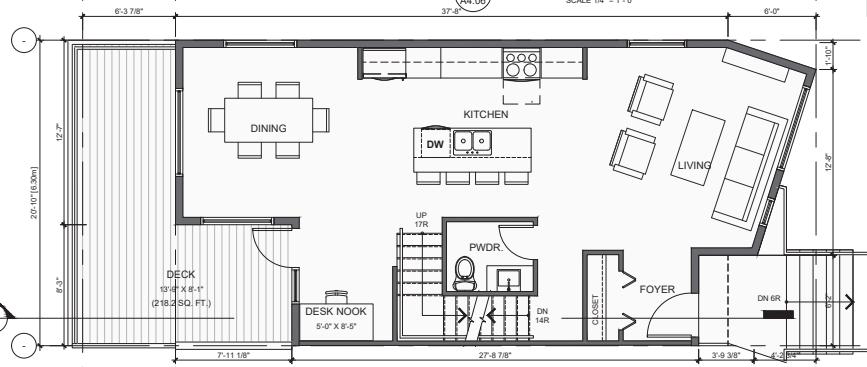
A4.05a



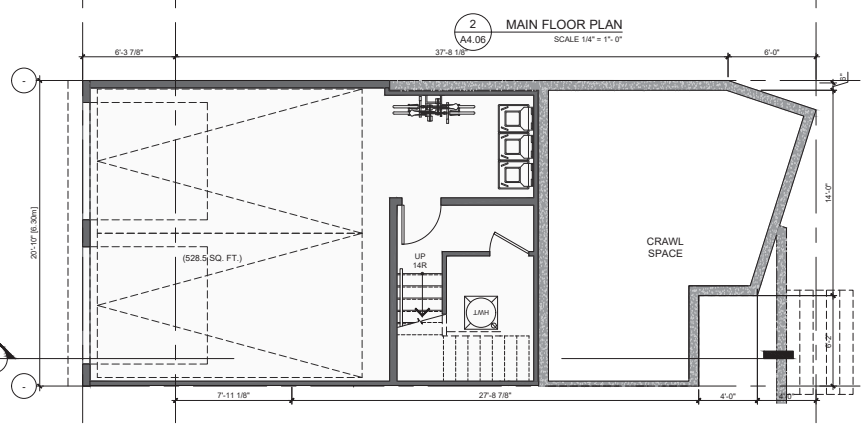
4 ROOFTOP PLAN
SCALE 1/4" = 1'-0"



3 UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"



2 MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"



1 GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"

UNIT A4e AREAS:

| | S.F. | S.M. |
|----------------------------------|----------------|--------------|
| - GROUND FLOOR | 133.1 | 12.36 |
| - MAIN FLOOR | 763.6 | 70.94 |
| - UPPER FLOOR | 841.7 | 78.20 |
| - AREA TOTAL (GROSS) = | 1,738.4 | 161.5 |
| - GARAGE | 528.5 | 49.10 |
| - AREA TOTAL (W GARAGE) = | 2,266.9 | 210.6 |
| - DECK | 218.2 | 20.27 |
| - ROOF DECK | 428.2 | 39.78 |

STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7 3/4" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7 3/4" [181.2mm]
RUN: 14 @ 10" [255.0mm]

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PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT

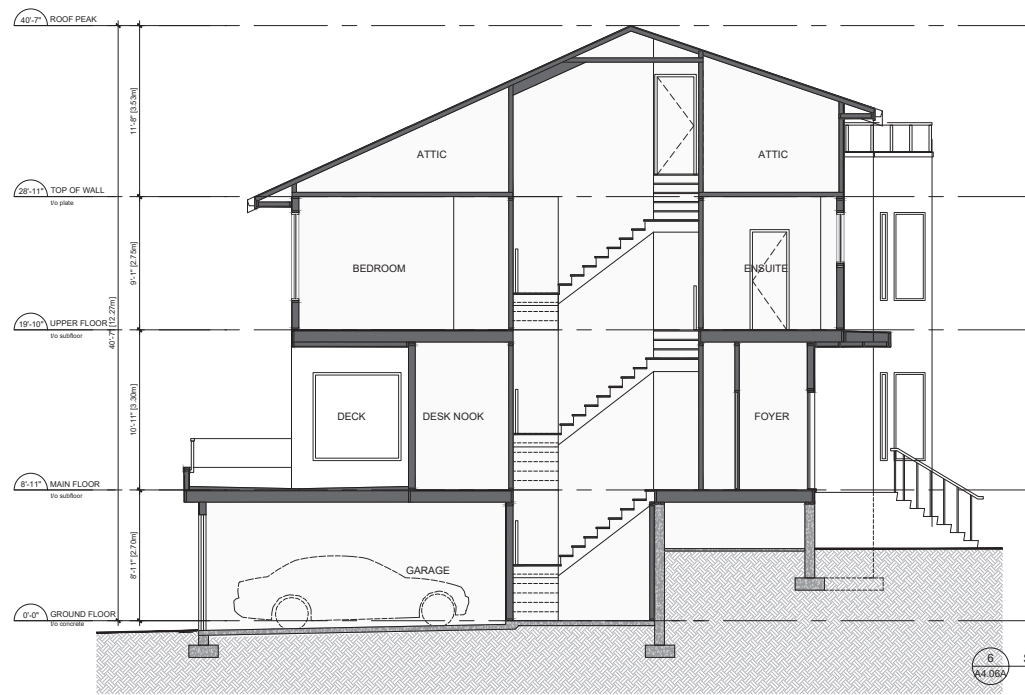
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
UNIT A4e
FLOOR PLANS

DRAWING NO.

A4.06

| | |
|--------------------------|-----------------------|
| STAIR CALCULATION | |
| LEVEL 2 - LEVEL 3 | |
| HEIGHT: | 10'-11" [3.30m] |
| RISE: | 17 @ 7 1/2" [195.7mm] |
| RUN: | 16 @ 10" [255.0mm] |
| STAIR CALCULATION | |
| LEVEL 1 - LEVEL 2 | |
| HEIGHT: | 8'-11" [2.70m] |
| RISE: | 15 @ 7 1/2" [181.2mm] |
| RUN: | 14 @ 10" [255.0mm] |



B
SECTION - UNIT A4e
SCALE: 1/4" = 1'-0"

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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

PROJECT NUMBER: CD-87
 DRAWN BY: RW/RV/PM
 CHECKED BY: MB
 DATE CHECKED:
 CONSULTANT:

PROJECT
CEDARWOOD
 MULTI-FAMILY DEVELOPMENT
 9522 LOCHSIDE DRIVE
 SIDNEY, BC

DRAWING TITLE
UNIT A4e
SECTION

DRAWING NO.

A4.06a

| UNIT B1 AREAS: | S.F. | S.M. |
|---------------------------|----------------|--------------|
| - GROUND FLOOR | 107.4 | 9.98 |
| - MAIN FLOOR | 675.1 | 62.72 |
| - UPPER FLOOR | 663.3 | 61.63 |
| - AREA TOTAL (GROSS) = | 1,445.8 | 134.3 |
| - GARAGE | 524.3 | 48.71 |
| - AREA TOTAL (W GARAGE) = | 1,970.1 | 183.0 |
| - ROOF DECK | 470.2 | 43.68 |

| STAIR CALCULATION LEVEL 2 - LEVEL 3 | | |
|--|-----------------------|--|
| HEIGHT: | 10'-11" [3.30m] | |
| RISE: | 17 @ 7 7/8" [195.7mm] | |
| RUN: | 16 @ 10" [255.0mm] | |

| STAIR CALCULATION LEVEL 1 - LEVEL 2 | | |
|--|-----------------------|--|
| HEIGHT: | 8'-11" [2.70m] | |
| RISE: | 15 @ 7 7/8" [181.2mm] | |
| RUN: | 14 @ 10" [255.0mm] | |

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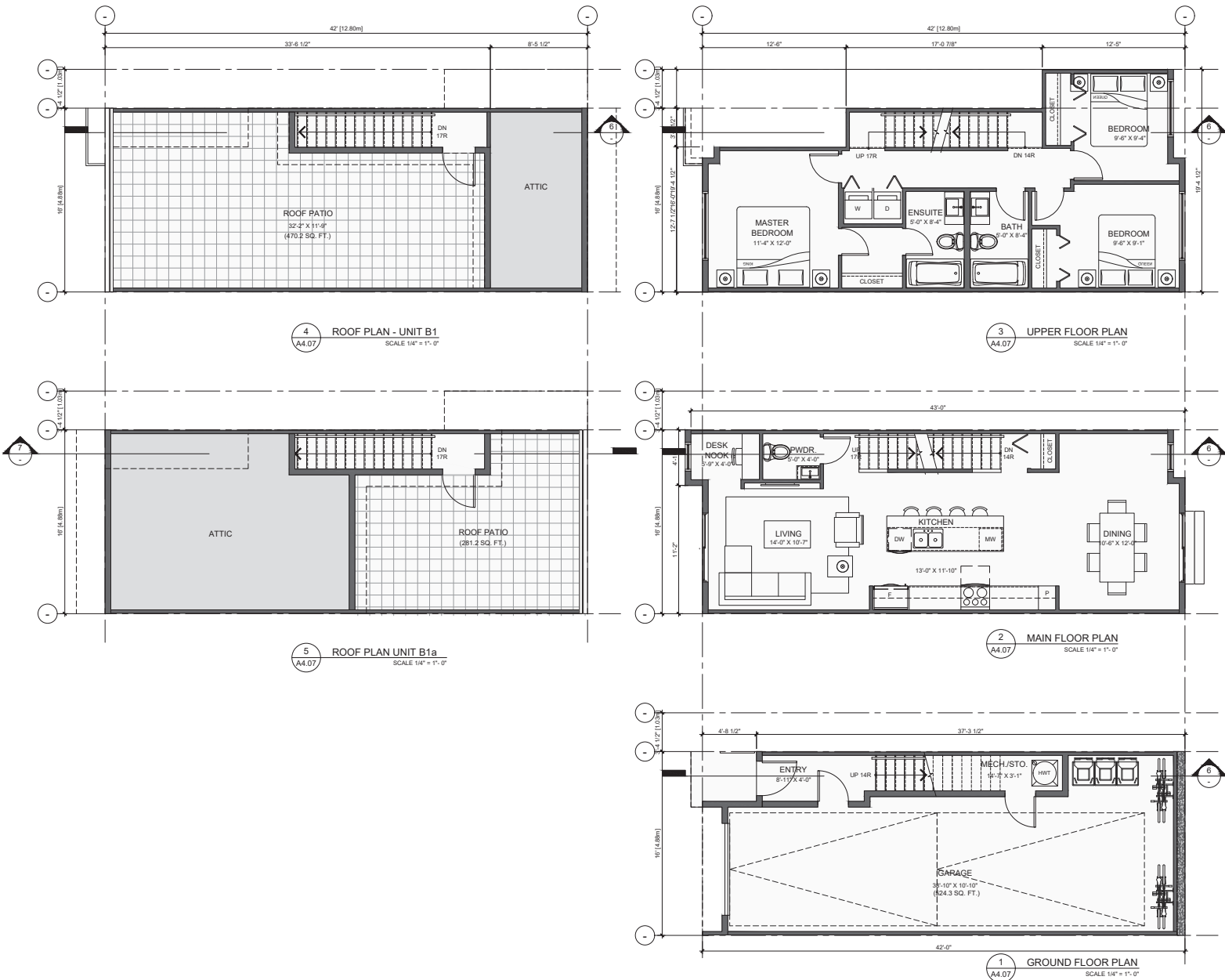
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| PROJECT NUMBER | ED-07 |
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| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

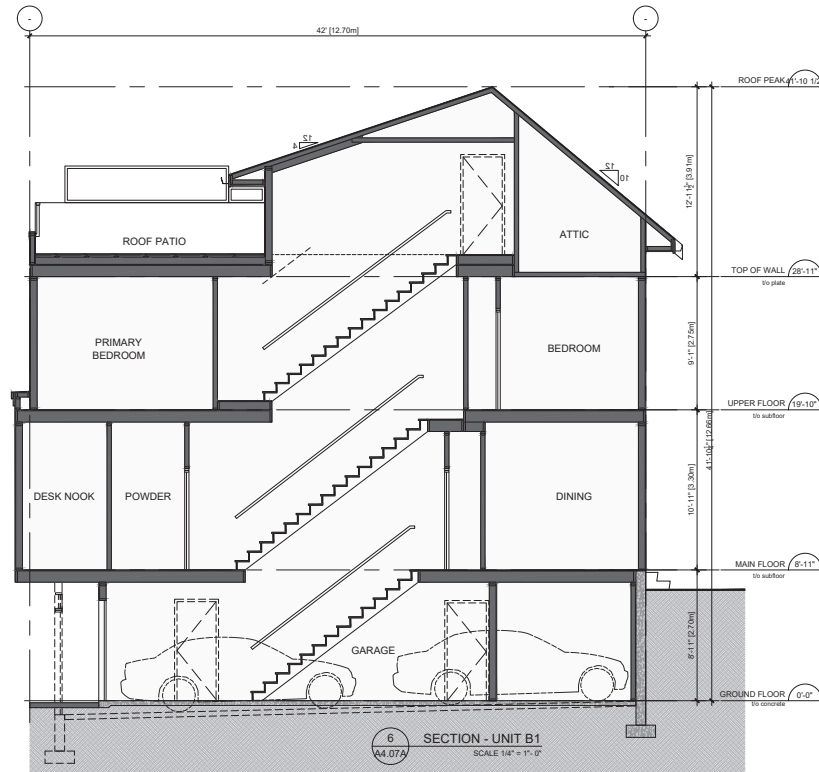
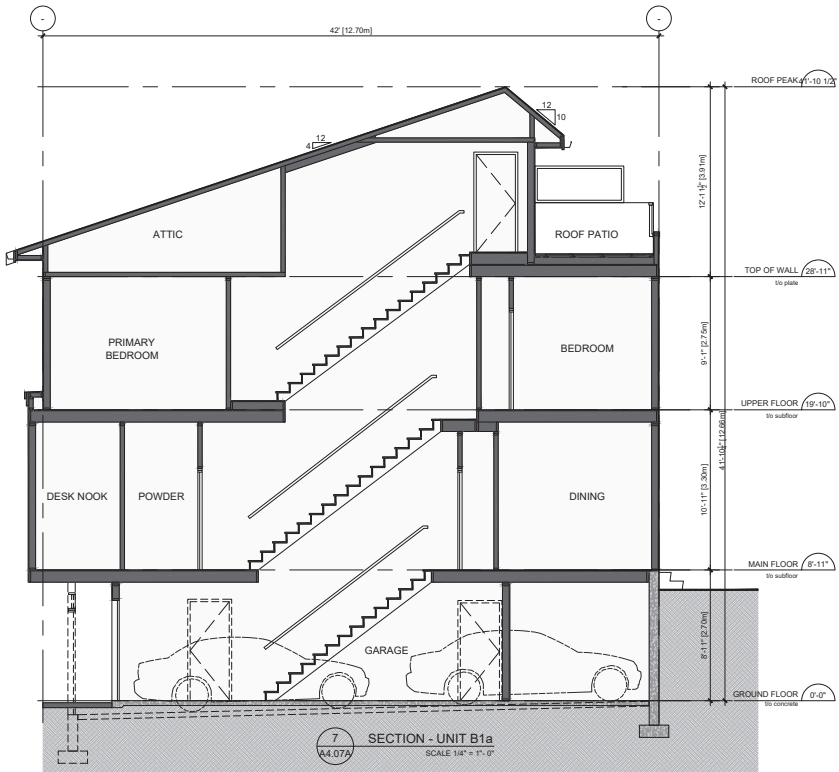
DRAWING TITLE
**UNIT B1/B1a
FLOOR PLANS**

DRAWING NO.

A4.07



| | |
|--------------------------|-----------------------|
| STAIR CALCULATION | |
| LEVEL 2 - LEVEL 3 | |
| HEIGHT: | 10'-11" [3.30m] |
| RISE: | 17 @ 7 1/2" [195.7mm] |
| RUN: | 16 @ 10" [255.0mm] |
| STAIR CALCULATION | |
| LEVEL 1 - LEVEL 2 | |
| HEIGHT: | 8'-11" [2.70m] |
| RISE: | 15 @ 7 1/2" [181.2mm] |
| RUN: | 14 @ 10" [255.0mm] |



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PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
8522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
UNIT B1/B1a
SECTIONS

DRAWING NO.
A4.07a

UNIT B1e AREAS:

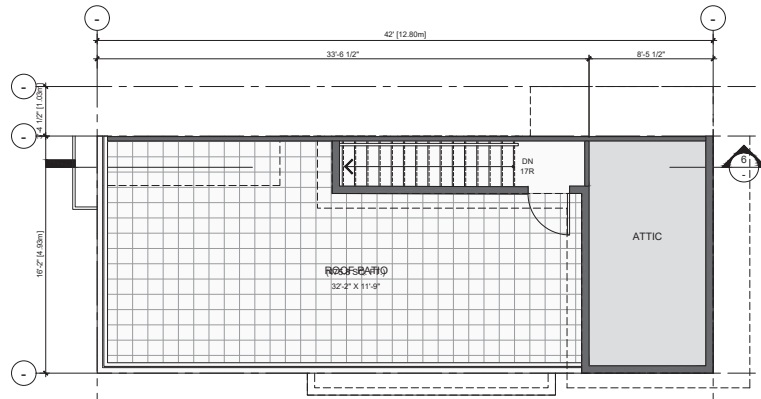
| | S.F. | S.M. |
|-----------------------------------|----------------|--------------|
| - GROUND FLOOR | 107.6 | 10.00 |
| - MAIN FLOOR | 705.0 | 65.50 |
| - UPPER FLOOR | 695.7 | 64.63 |
| - AREA TOTAL (GROSS) = | 1,508.3 | 140.1 |
| - GARAGE | 530.8 | 49.31 |
| - AREA TOTAL (w/ GARAGE) = | 2,039.1 | 189.4 |
| - ROOF DECK | 475.8 | 44.20 |

STAIR CALCULATION
LEVEL 2 - LEVEL 3

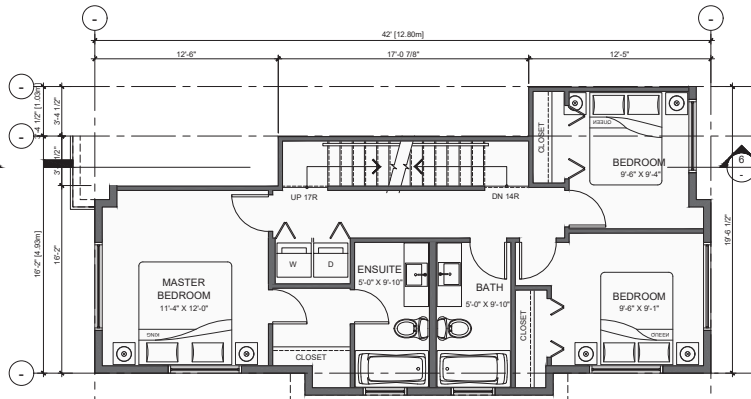
HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7 1/2" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

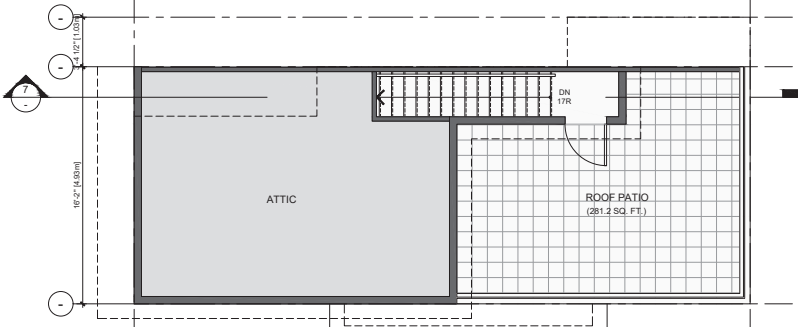
HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7 1/2" [181.2mm]
RUN: 14 @ 10" [255.0mm]



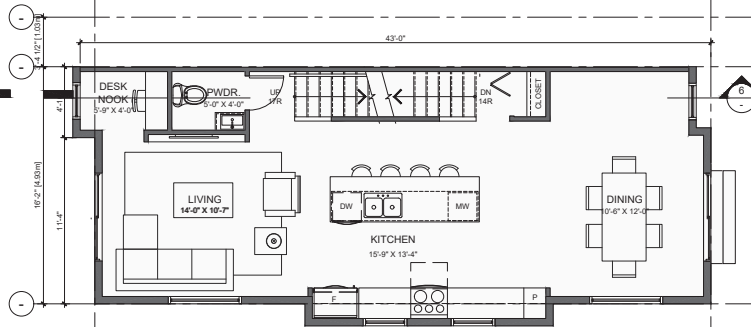
4 ROOF PLAN - UNIT B1e
SCALE 1/4" = 1'-0"



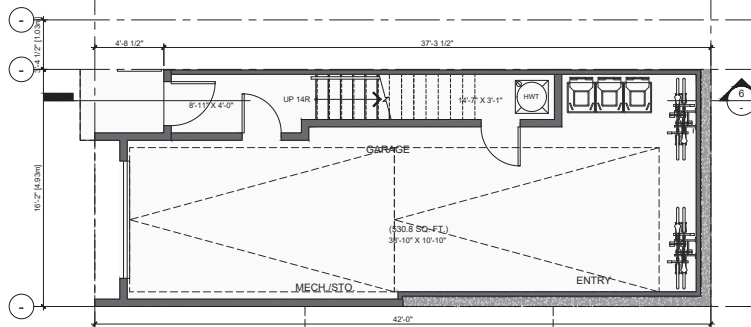
3 UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"



5 ROOF PLAN - UNIT B1ae
SCALE 1/4" = 1'-0"



2 MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"



1 GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"

| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

PROJECT NUMBER: ED-87
DRAWN BY: RW/RW/PM
CHECKED BY: MB
DATE CHECKED:
CONSULTANT:

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

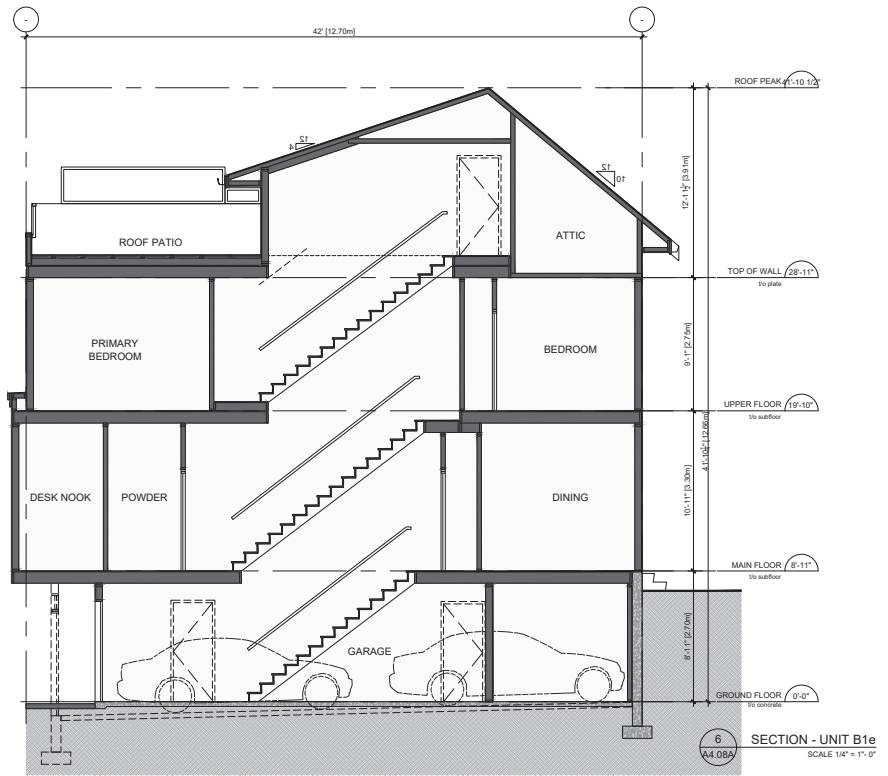
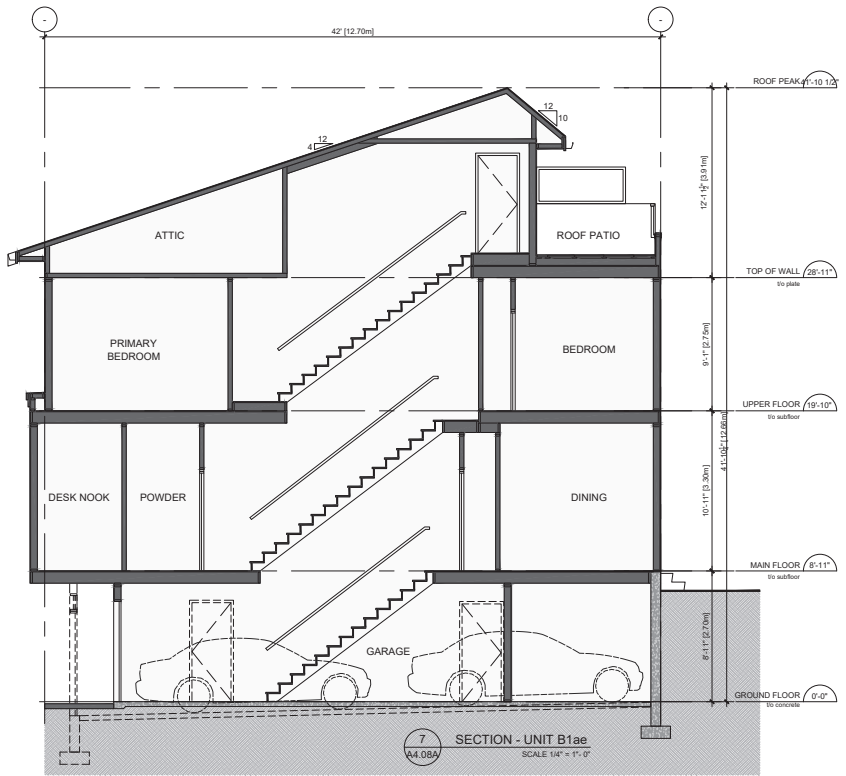
DRAWING TITLE
**UNIT B1e/B1ae
FLOOR PLANS**

DRAWING NO.

A4.08

STAIR CALCULATION
LEVEL 2 - LEVEL 3
HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7 1/2" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2
HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7 1/2" [181.2mm]
RUN: 14 @ 10" [255.0mm]



| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

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| PROJECT NUMBER | ED-07 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
8522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
UNIT B1e/B1ae
SECTIONS

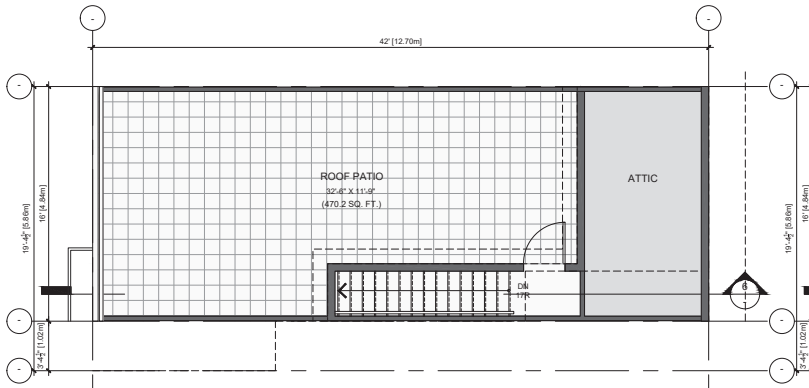
DRAWING NO.

A4.08a

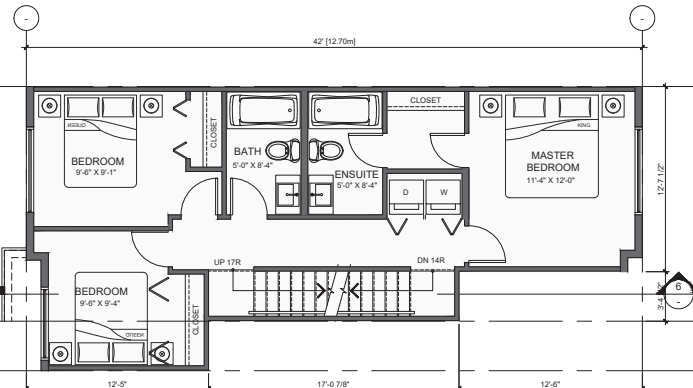
| UNIT B2 AREAS: | S.F. | S.M. |
|----------------------------|----------------|--------------|
| - GROUND FLOOR | 106.8 | 9.92 |
| - MAIN FLOOR | 674.5 | 62.67 |
| - UPPER FLOOR | 663.5 | 61.64 |
| - AREA TOTAL (GROSS) = | 1,444.9 | 134.2 |
| - GARAGE | 524.3 | 48.71 |
| - AREA TOTAL (w/ GARAGE) = | 1,969.2 | 182.9 |
| - ROOF DECK | 470.2 | 43.69 |

| STAIR CALCULATION LEVEL 2 - LEVEL 3 | | |
|--|-----------------------|--|
| HEIGHT: | 10'-11" [3.30m] | |
| RISE: | 17 @ 7 3/4" [195.7mm] | |
| RUN: | 16 @ 10" [255.0mm] | |

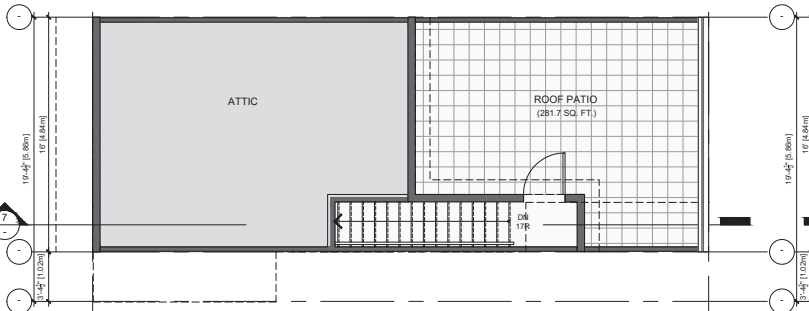
| STAIR CALCULATION LEVEL 1 - LEVEL 2 | | |
|--|-----------------------|--|
| HEIGHT: | 8'-11" [2.70m] | |
| RISE: | 15 @ 7 3/4" [181.2mm] | |
| RUN: | 14 @ 10" [255.0mm] | |



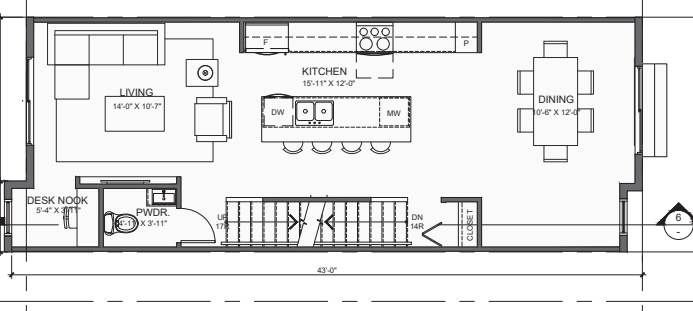
4 ROOF PLAN - UNIT B2
SCALE 1/4" = 1'-0"



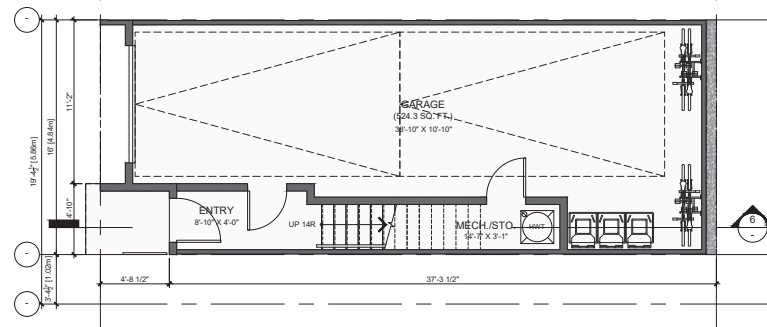
3 UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"



5 ROOF PLAN - UNIT B2a
SCALE 1/4" = 1'-0"



2 MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"



1 GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"

| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

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|----------------|----------|
| PROJECT NUMBER | ED-87 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

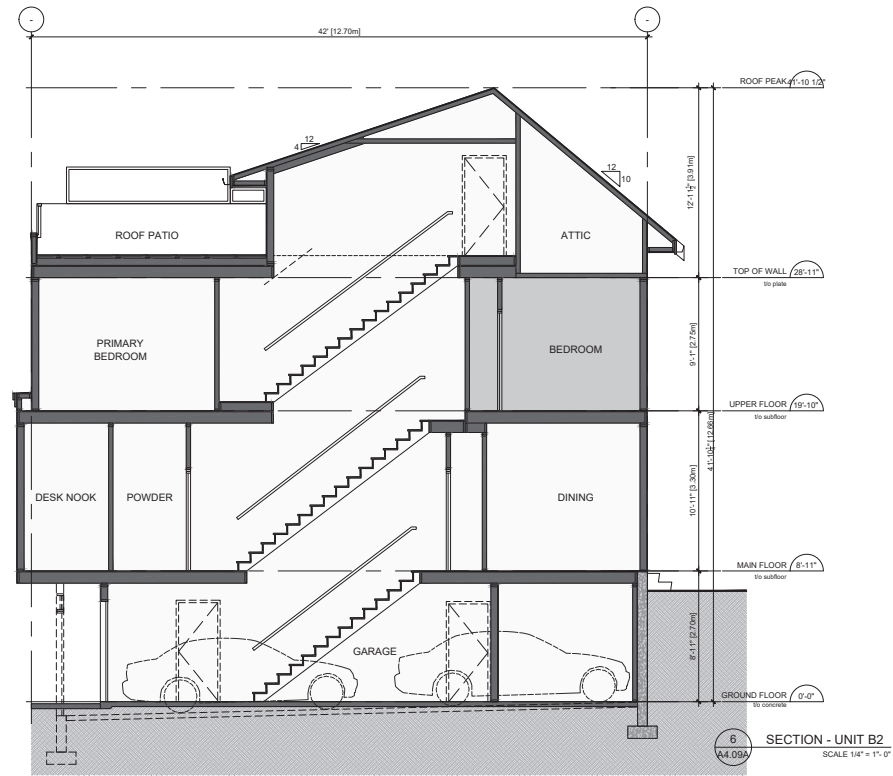
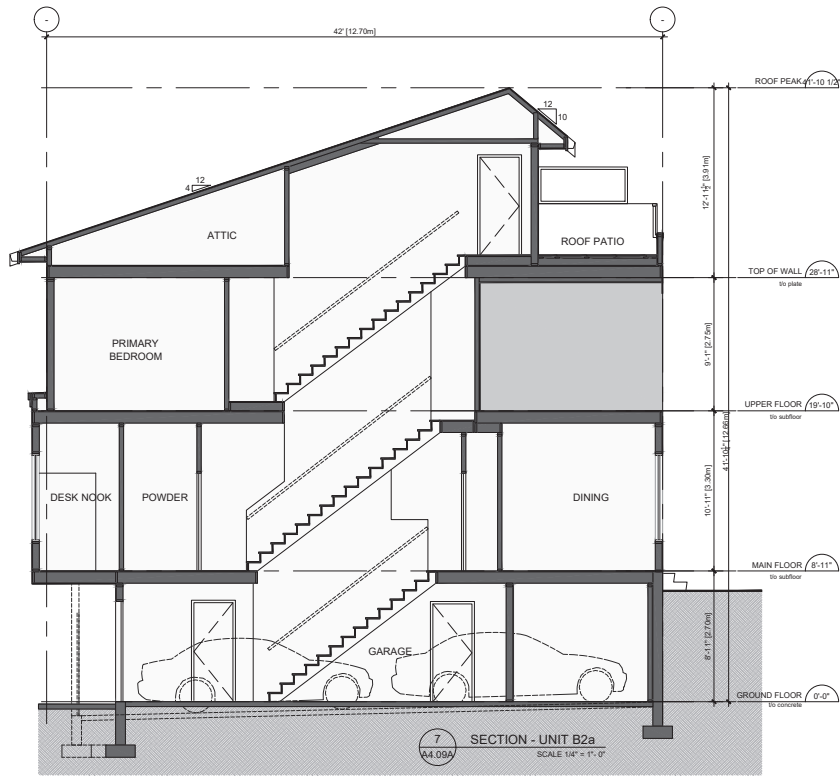
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
8522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
**UNIT B2/B2a
FLOOR PLANS**

DRAWING NO.

A4.09

| | |
|--------------------------|-----------------------|
| STAIR CALCULATION | |
| LEVEL 2 - LEVEL 3 | |
| HEIGHT: | 10'-11" [3.30m] |
| RISE: | 17 @ 7 1/2" [195.7mm] |
| RUN: | 16 @ 10" [255.0mm] |
| STAIR CALCULATION | |
| LEVEL 1 - LEVEL 2 | |
| HEIGHT: | 8'-11" [2.70m] |
| RISE: | 15 @ 7 1/2" [181.2mm] |
| RUN: | 14 @ 10" [255.0mm] |



| ISSUES | DATE |
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| PROJECT NUMBER | ED-87 |
| DRAWN BY | RR/RVI/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
8522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
UNIT B2/B2a
SECTIONS

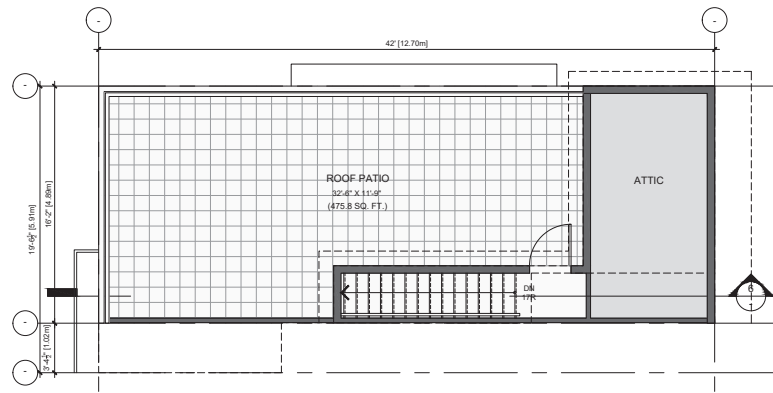
DRAWING NO.

A4.09a

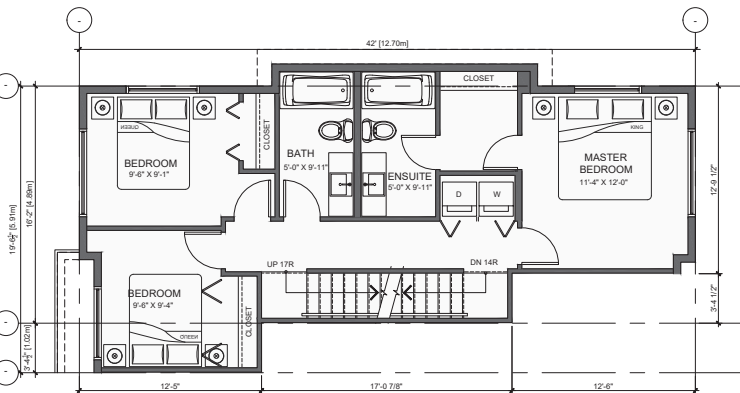
| UNIT B2e AREAS: | S.F. | S.M. |
|----------------------------|----------------|--------------|
| - GROUND FLOOR | 107.4 | 9.98 |
| - MAIN FLOOR | 709.2 | 65.89 |
| - UPPER FLOOR | 697.7 | 64.82 |
| - AREA TOTAL (GROSS) = | 1,514.3 | 140.7 |
| - GARAGE | 531.1 | 49.34 |
| - AREA TOTAL (w/ GARAGE) = | 2,045.4 | 190.0 |
| - ROOF DECK | 475.8 | 44.20 |

| STAIR CALCULATION LEVEL 2 - LEVEL 3 | | |
|--|-----------------------|--|
| HEIGHT: | 10'-11" [3.30m] | |
| RISE: | 17 @ 7 3/4" [195.7mm] | |
| RUN: | 16 @ 10" [255.0mm] | |

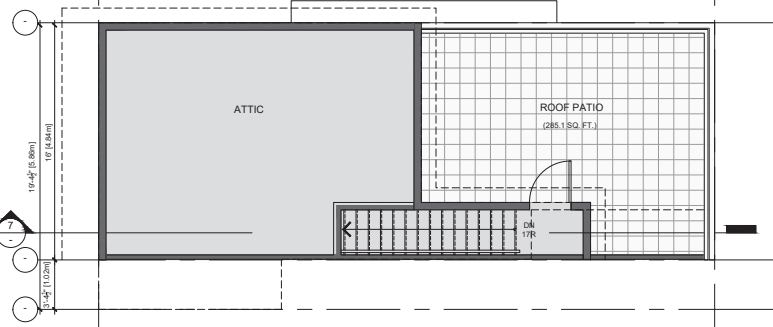
| STAIR CALCULATION LEVEL 1 - LEVEL 2 | | |
|--|-----------------------|--|
| HEIGHT: | 8'-11" [2.70m] | |
| RISE: | 15 @ 7 3/4" [181.2mm] | |
| RUN: | 14 @ 10" [255.0mm] | |



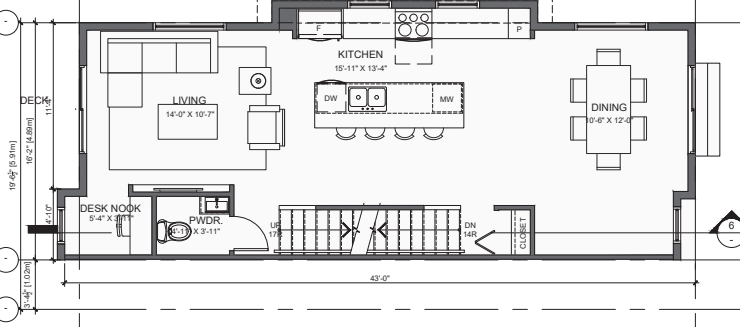
4 ROOF PLAN - UNIT B2e
SCALE 1/4" = 1'-0"



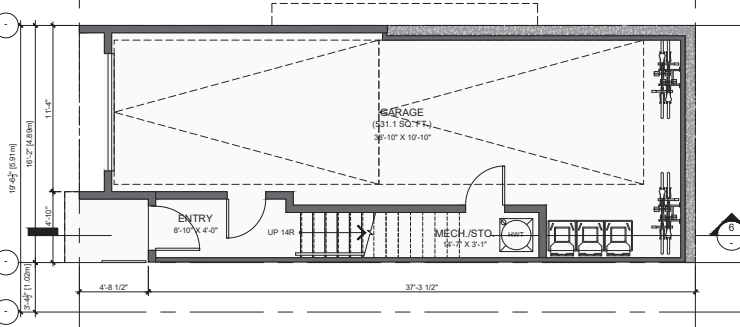
3 UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"



5 ROOF PLAN - UNIT B2ae
SCALE 1/4" = 1'-0"



2 MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"



1 GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"

| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

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|----------------|----------|
| PROJECT NUMBER | ED-87 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

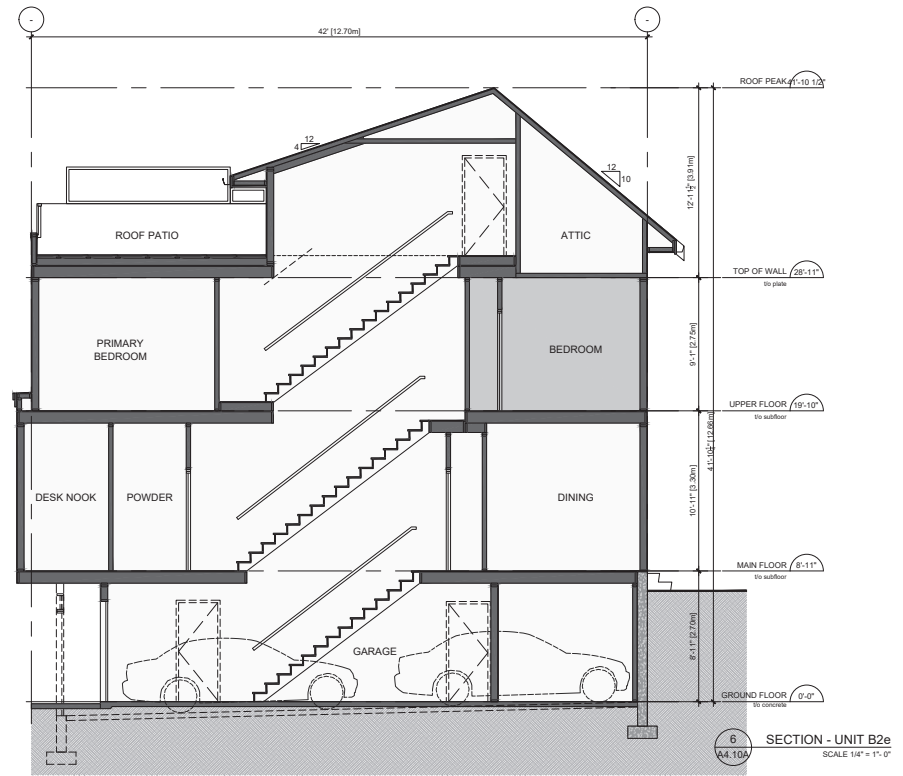
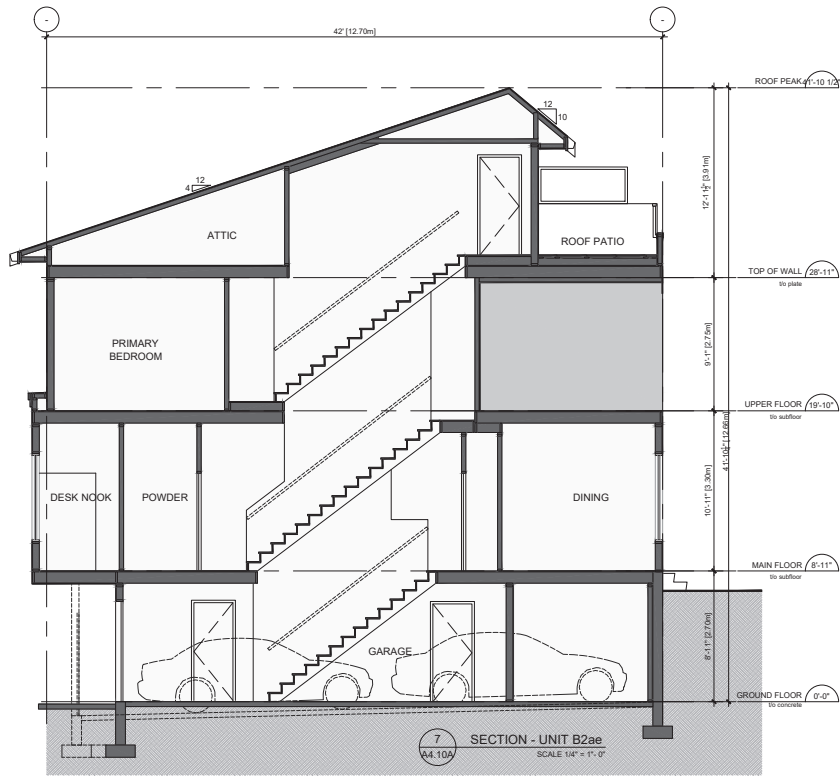
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
**UNIT B2e/B2ae
FLOOR PLANS**

DRAWING NO.

A4.10

| | |
|--------------------------|-----------------------|
| STAIR CALCULATION | |
| LEVEL 2 - LEVEL 3 | |
| HEIGHT: | 10'-11" [3.30m] |
| RISE: | 17 @ 7 1/2" [195.7mm] |
| RUN: | 16 @ 10" [255.0mm] |
| STAIR CALCULATION | |
| LEVEL 1 - LEVEL 2 | |
| HEIGHT: | 8'-11" [2.70m] |
| RISE: | 15 @ 7 1/2" [181.2mm] |
| RUN: | 14 @ 10" [255.0mm] |



| ISSUES | DATE |
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| PROJECT NUMBER | ED-37 |
| DRAWN BY | RR/RVI/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT

CEDARWOOD
MULTI-FAMILY DEVELOPMENT

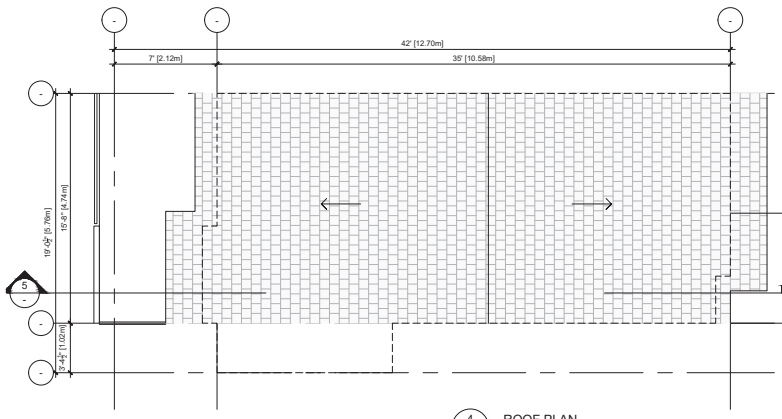
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE

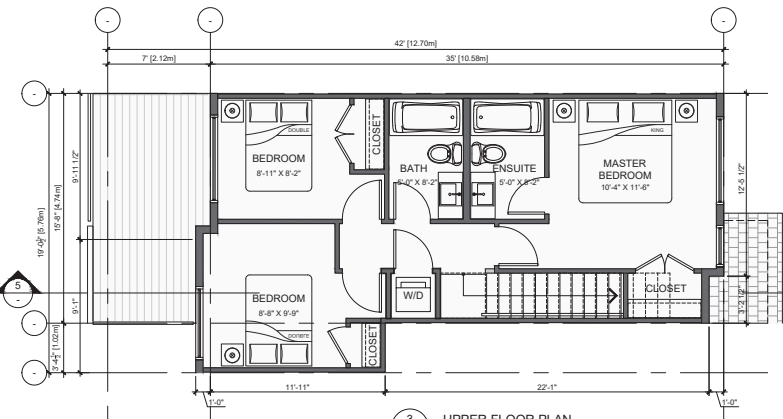
UNIT B2e/B2ae
SECTIONS

DRAWING NO.

A4.10a



4 ROOF PLAN
SCALE 1/4" = 1'-0"

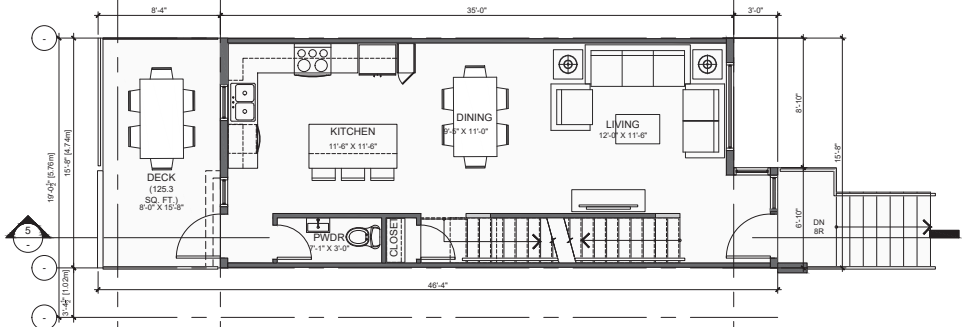


3 UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"

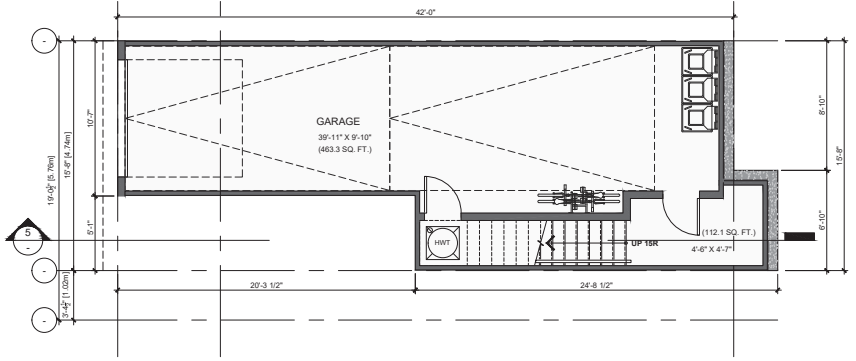
| UNIT C1 AREAS: | S.F. | S.M. |
|----------------------------|----------------|--------------|
| - GROUND FLOOR | 112.1 | 10.41 |
| - MAIN FLOOR | 568.8 | 52.85 |
| - UPPER FLOOR | 595.5 | 55.32 |
| - AREA TOTAL (GROSS) = | 1,276.4 | 118.6 |
| - GARAGE | 463.3 | 43.04 |
| - AREA TOTAL (W/ GARAGE) = | 1,739.7 | 161.6 |
| - DECK | 125.3 | 11.64 |
| - ROOF DECK | 0 | 0.00 |

| STAIR CALCULATION | |
|-------------------|-----------------------|
| LEVEL 2 - LEVEL 3 | |
| HEIGHT: | 10'-11" [3.30m] |
| RISE: | 17 @ 7 1/2" [195.7mm] |
| RUN: | 16 @ 10" [255.0mm] |

| STAIR CALCULATION | |
|-------------------|-----------------------|
| LEVEL 1 - LEVEL 2 | |
| HEIGHT: | 8'-11" [2.70m] |
| RISE: | 15 @ 7 1/2" [181.2mm] |
| RUN: | 14 @ 10" [255.0mm] |



2 MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"



1 GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"

| ISSUES | DATE |
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| PROJECT NUMBER | CD-37 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

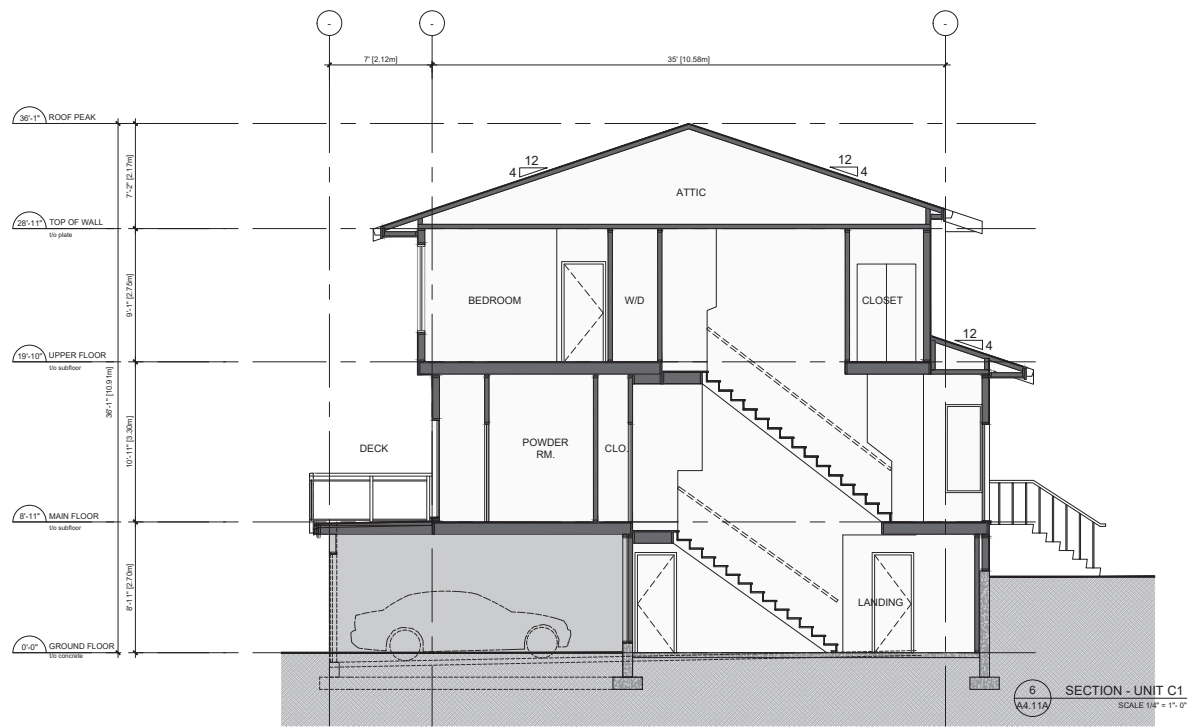
DRAWING TITLE
UNIT C1 FLOOR PLANS

DRAWING NO.

A4.11

STAIR CALCULATION
LEVEL 2 - LEVEL 3
HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7 1/2" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2
HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7 1/2" [181.2mm]
RUN: 14 @ 10" [255.0mm]



| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP |
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| PROJECT NUMBER | ED-87 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

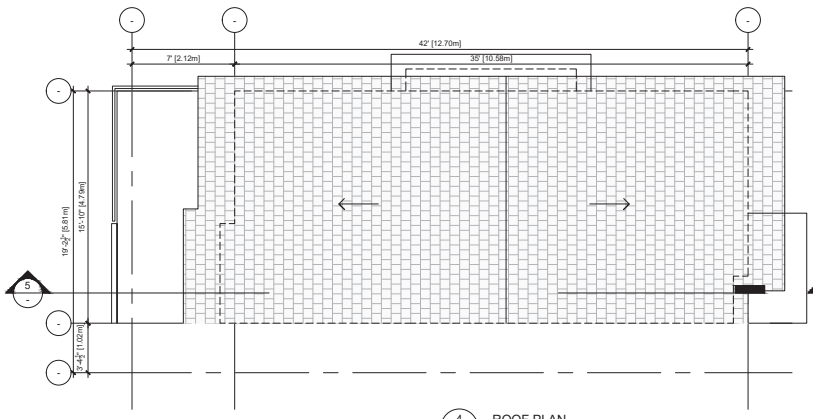
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
UNIT C1 SECTION

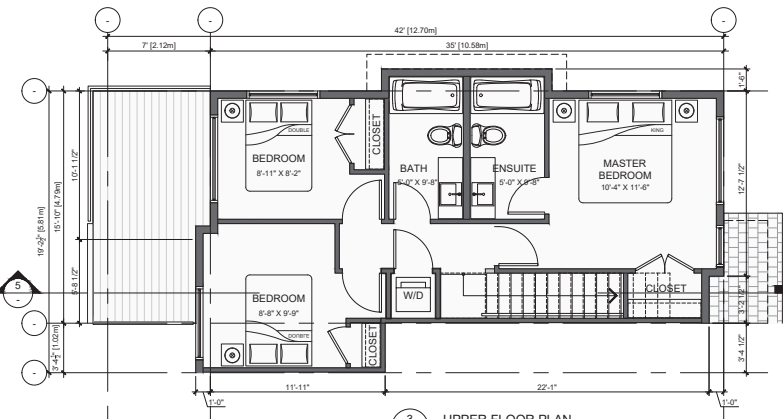
DRAWING NO.

A4.11a

6 SECTION - UNIT C1
A4.11a SCALE: 1/4" = 1'-0"



4 ROOF PLAN
SCALE 1/4" = 1'-0"



3 UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"

UNIT C1e AREAS:

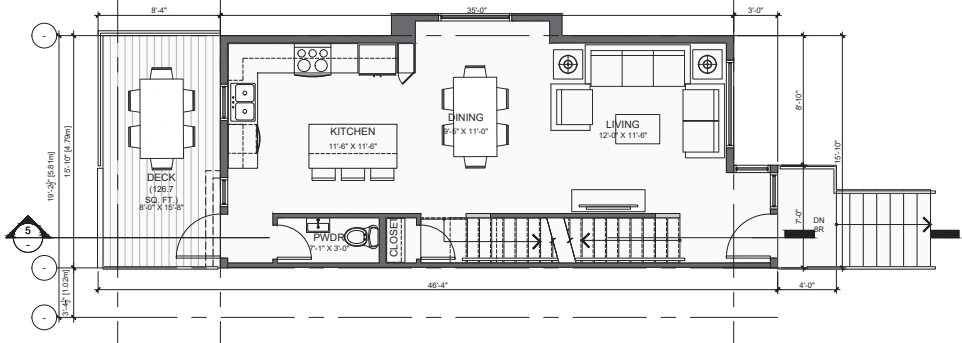
| | S.F. | S.M. |
|-----------------------------------|----------------|--------------|
| - GROUND FLOOR | 112.7 | 10.47 |
| - MAIN FLOOR | 592.6 | 55.05 |
| - UPPER FLOOR | 618.8 | 57.48 |
| - AREA TOTAL (GROSS) = | 1,324.1 | 123.0 |
| - GARAGE | 470.1 | 43.68 |
| - AREA TOTAL (w/ GARAGE) = | 1,794.2 | 166.7 |
| - DECK | 126.7 | 11.77 |
| - ROOF DECK | 0 | 0.00 |

STAIR CALCULATION
LEVEL 2 - LEVEL 3

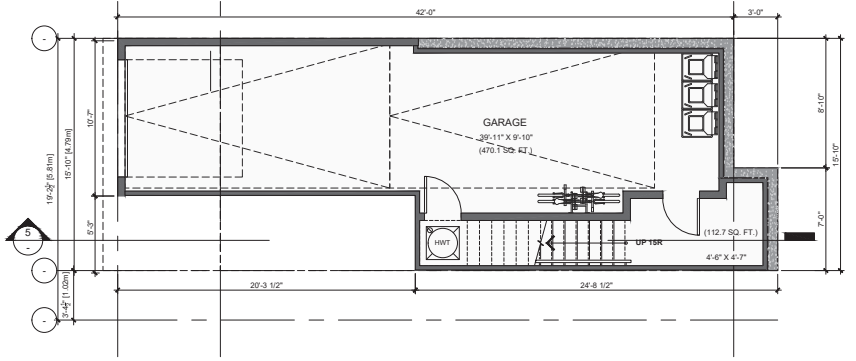
HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7 3/8" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7 3/8" [181.2mm]
RUN: 14 @ 10" [255.0mm]



2 MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"



1 GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"

| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP |
| | 2023 / 07 / 14 |

PROJECT NUMBER: DD-87
DRAWN BY: RR/RVI/PM
CHECKED BY: MB
DATE CHECKED:
CONSULTANT:

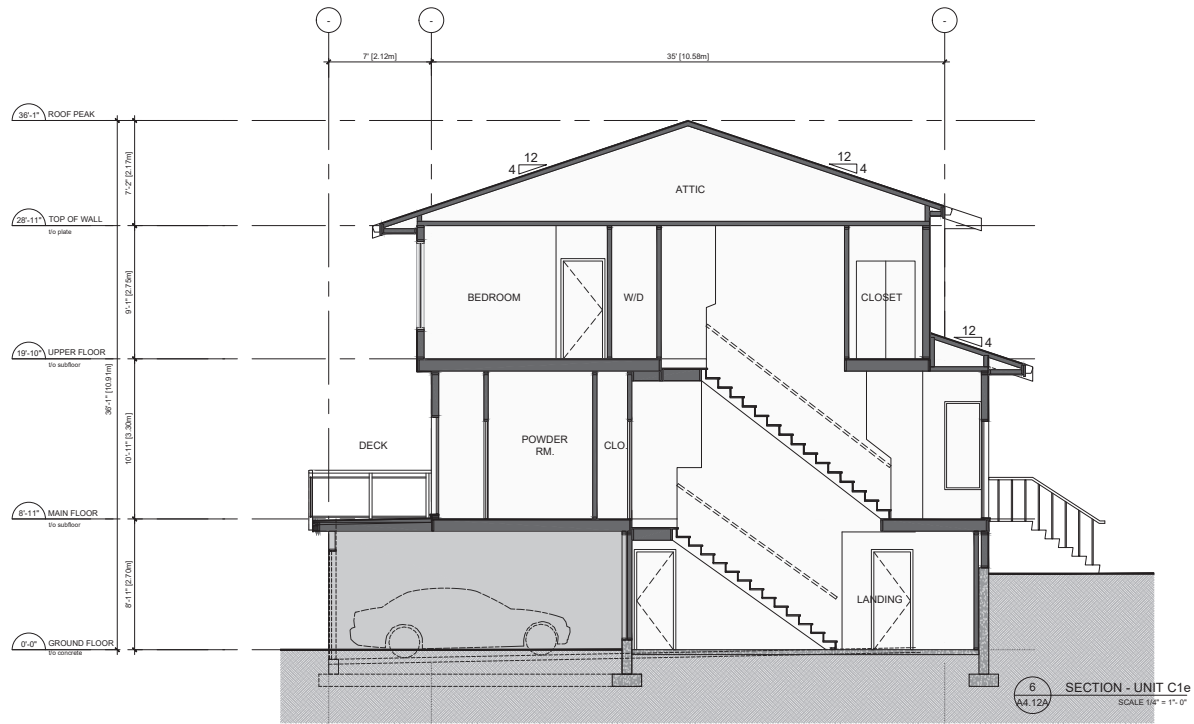
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT

9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
UNIT C1e
FLOOR PLANS

DRAWING NO.

| | |
|--------------------------|-----------------------|
| STAIR CALCULATION | |
| LEVEL 2 - LEVEL 3 | |
| HEIGHT: | 10'-11" [3.30m] |
| RISE: | 17 @ 7 1/2" [195.7mm] |
| RUN: | 16 @ 10" [255.0mm] |
| STAIR CALCULATION | |
| LEVEL 1 - LEVEL 2 | |
| HEIGHT: | 8'-11" [2.70m] |
| RISE: | 15 @ 7 1/2" [181.2mm] |
| RUN: | 14 @ 10" [255.0mm] |



| ISSUES | DATE |
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| 1 | ISSUED FOR RE-ZONING/DP |
| | 2023 / 07 / 14 |

| | |
|----------------|----------|
| PROJECT NUMBER | ED-87 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

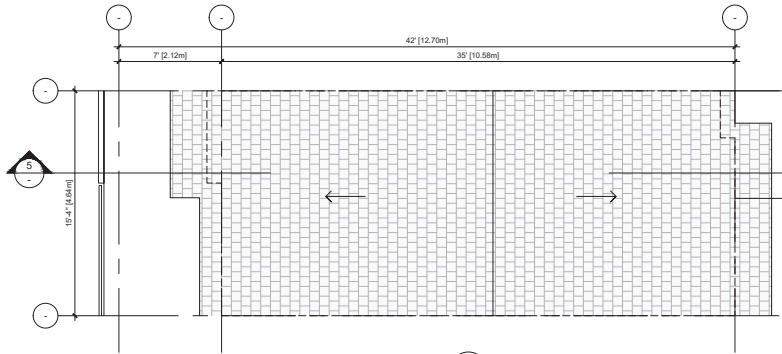
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
UNIT C1e
SECTION

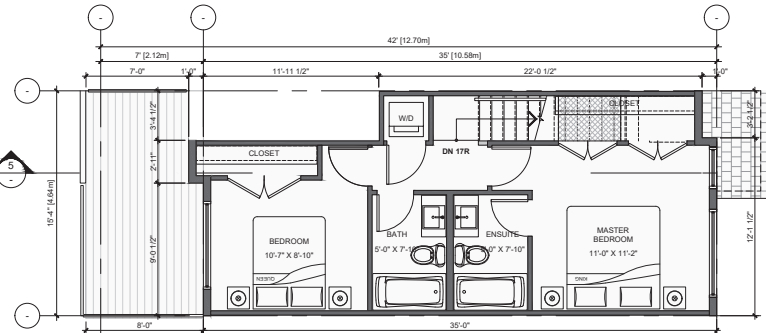
DRAWING NO.

A4.12a

6 SECTION - UNIT C1e
A4.12a SCALE: 1/4" = 1'-0"



4 ROOF PLAN
SCALE 1/4" = 1'-0"

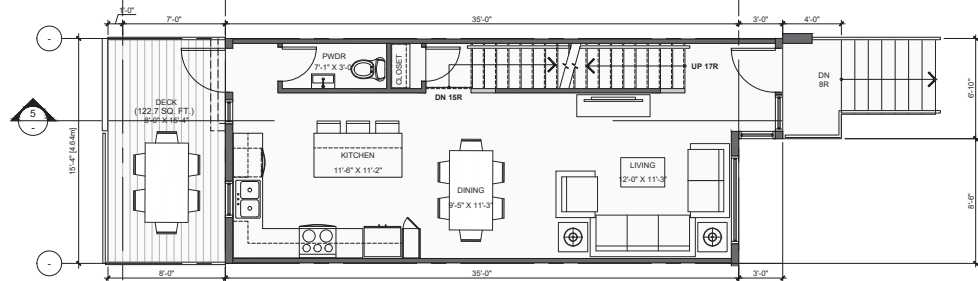


3 UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"

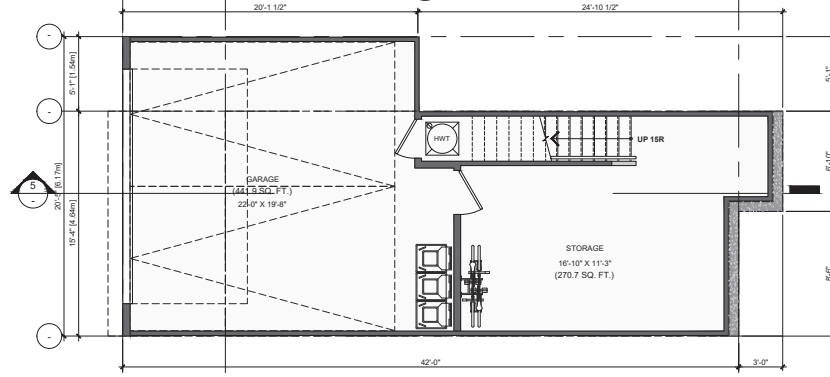
| UNIT C2 AREAS: | S.F. | S.M. |
|---------------------------|----------------|--------------|
| - GROUND FLOOR | 324.7 | 30.17 |
| - MAIN FLOOR | 557.2 | 51.76 |
| - UPPER FLOOR | 496.0 | 46.08 |
| - AREA TOTAL (GROSS) = | 1,377.9 | 128.0 |
| - GARAGE | 441.9 | 41.05 |
| - AREA TOTAL (W/GARAGE) = | 1,819.8 | 169.1 |
| - DECK | 122.7 | 11.40 |
| - ROOF DECK | 0 | 0.00 |

| STAIR CALCULATION | |
|-------------------|-----------------------|
| LEVEL 2 - LEVEL 3 | |
| HEIGHT: | 10'-11" [3.30m] |
| RISE: | 17 @ 7 3/8" [195.7mm] |
| RUN: | 16 @ 10" [255.0mm] |

| STAIR CALCULATION | |
|-------------------|-----------------------|
| LEVEL 1 - LEVEL 2 | |
| HEIGHT: | 8'-11" [2.70m] |
| RISE: | 15 @ 7 3/8" [181.2mm] |
| RUN: | 14 @ 10" [255.0mm] |



2 MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"



1 GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"

| ISSUES | DATE |
|--------|--|
| 8 | |
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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

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| PROJECT NUMBER | CD-87 |
| DRAWN BY | RR/RVI/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

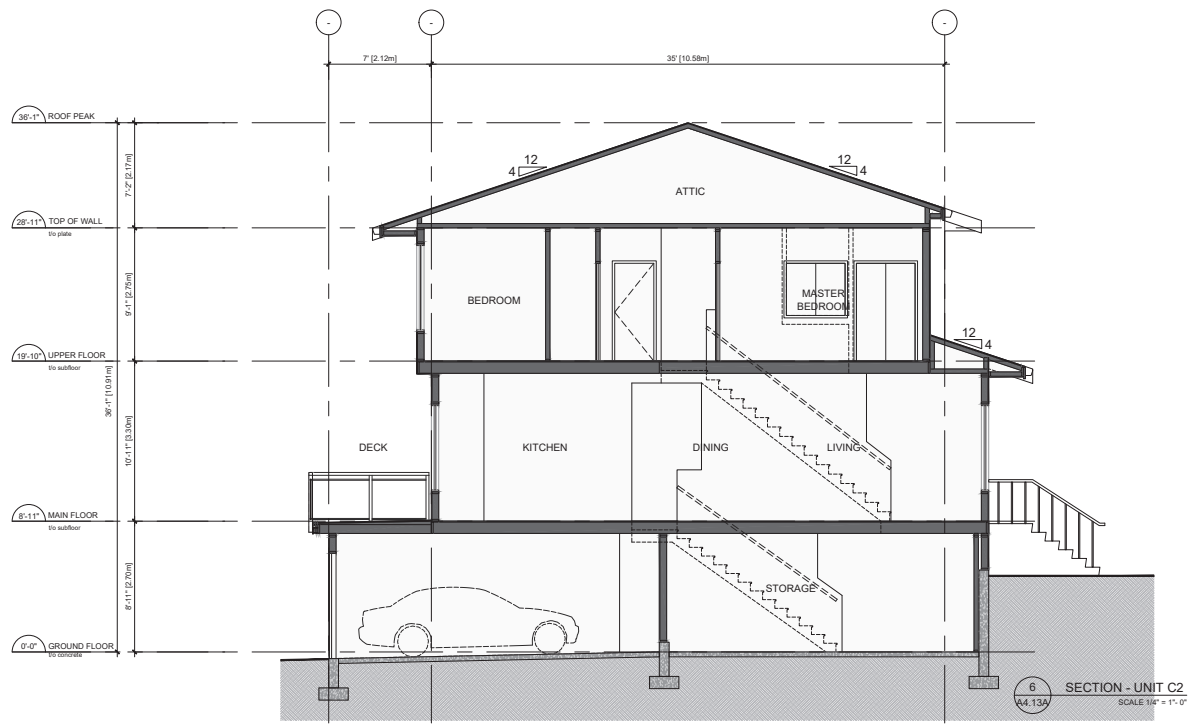
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
UNIT C2 FLOOR PLANS

DRAWING NO.

A4.13

| | |
|--------------------------|-----------------------|
| STAIR CALCULATION | |
| LEVEL 2 - LEVEL 3 | |
| HEIGHT: | 10'-11" [3.30m] |
| RISE: | 17 @ 7 1/2" [195.7mm] |
| RUN: | 16 @ 10" [255.0mm] |
| STAIR CALCULATION | |
| LEVEL 1 - LEVEL 2 | |
| HEIGHT: | 8'-11" [2.70m] |
| RISE: | 15 @ 7 1/2" [181.2mm] |
| RUN: | 14 @ 10" [255.0mm] |



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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

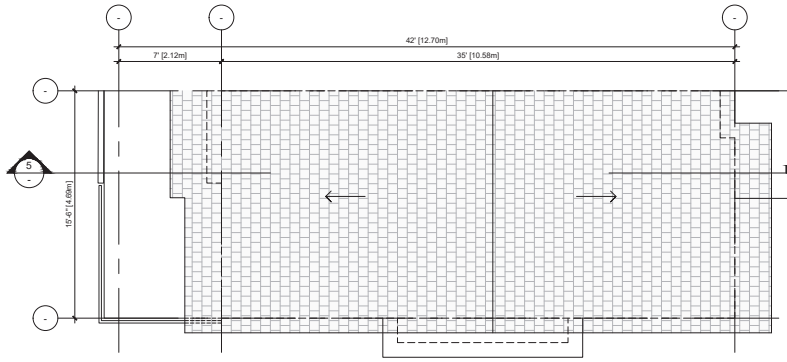
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|----------------|----------|
| PROJECT NUMBER | ED-87 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

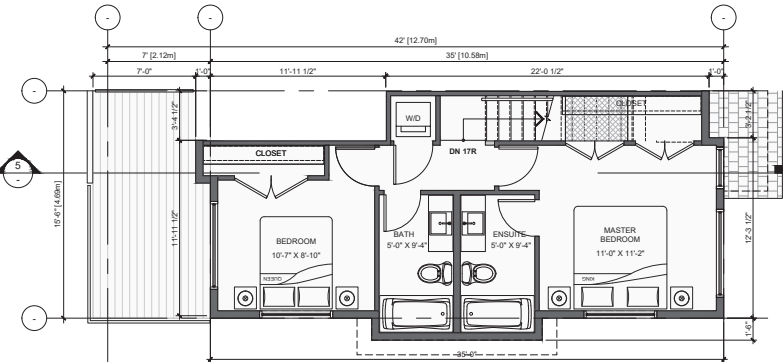
DRAWING TITLE
UNIT C2 SECTION

DRAWING NO.

A4.13a



4 ROOF PLAN
SCALE 1/4" = 1'-0"



3 UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"

UNIT C2e AREAS:

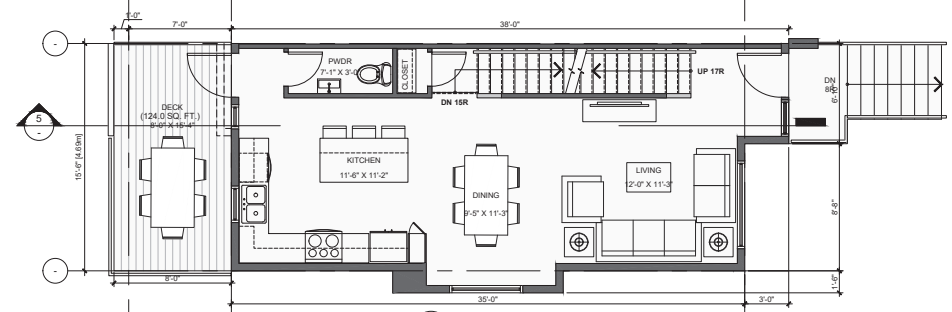
| | S.F. | S.M. |
|----------------------------|----------------|--------------|
| - GROUND FLOOR | 327.9 | 30.47 |
| - MAIN FLOOR | 580.4 | 53.92 |
| - UPPER FLOOR | 519.3 | 48.24 |
| - AREA TOTAL (GROSS) = | 1,427.7 | 132.6 |
| - GARAGE | 445.7 | 41.40 |
| - AREA TOTAL (w/ GARAGE) = | 1,873.3 | 174.0 |
| - DECK | 124.0 | 11.52 |
| - ROOF DECK | 0 | 0.00 |

STAIR CALCULATION
LEVEL 2 - LEVEL 3

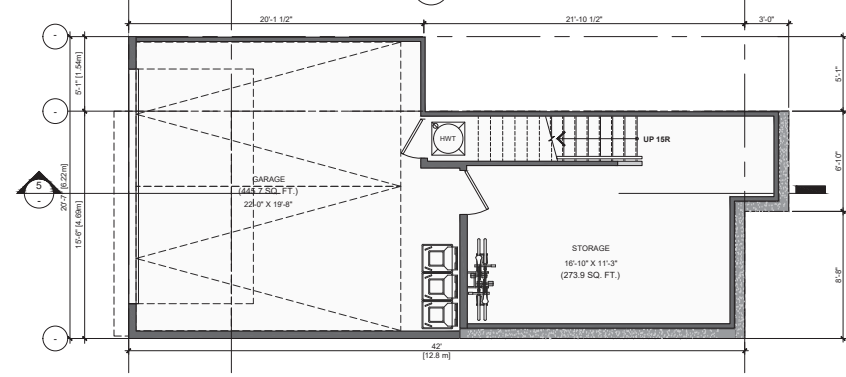
HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7 3/4" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7 3/4" [181.2mm]
RUN: 14 @ 10" [255.0mm]



2 MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"



1 GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"

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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

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|----------------|----------|
| PROJECT NUMBER | CD-37 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
8522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
UNIT C2e
FLOOR PLANS

DRAWING NO.

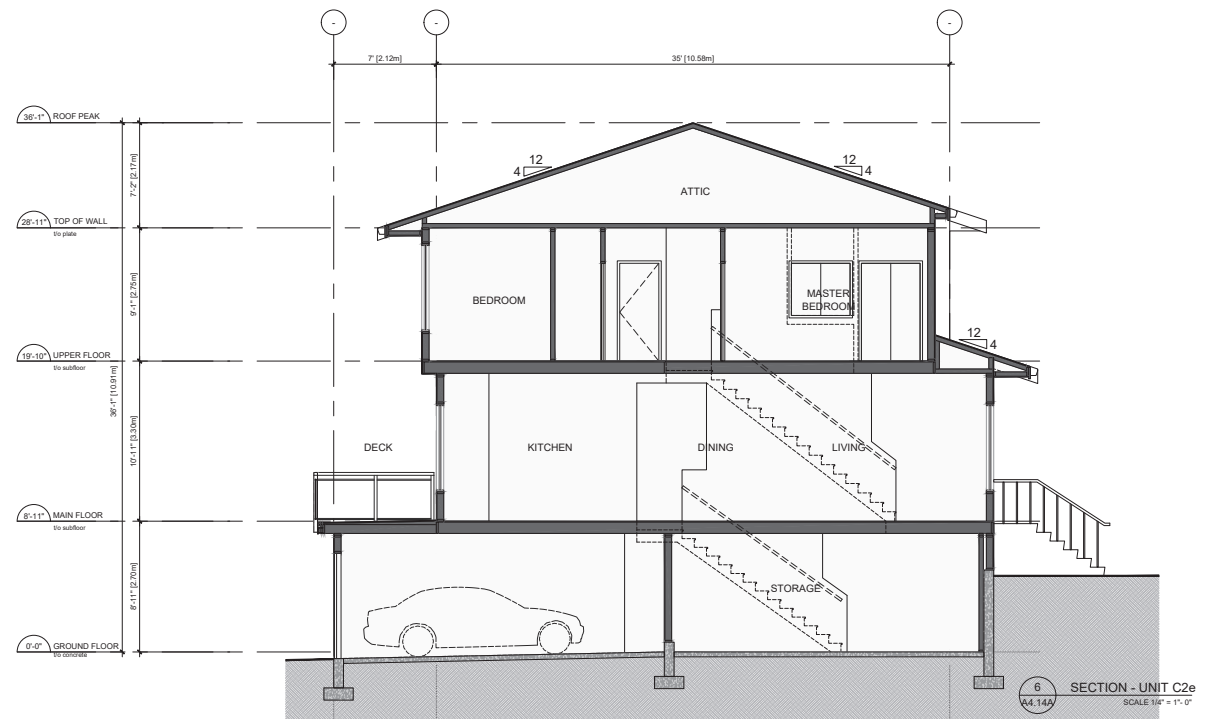
A4.14

STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 10'-11" [3.30m]
RISE: 17 @ 7 1/2" [195.7mm]
RUN: 16 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [2.70m]
RISE: 15 @ 7 1/2" [181.2mm]
RUN: 14 @ 10" [255.0mm]



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| | 2023 / 07 / 14 |

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| PROJECT NUMBER | CD-87 |
| DRAWN BY | RR/RV/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

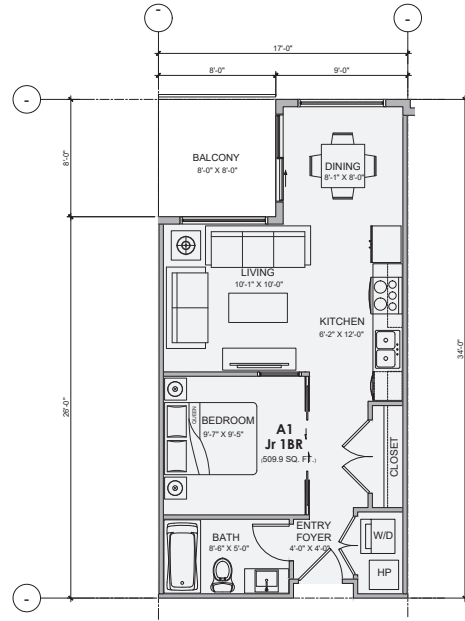
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
UNIT C2e
SECTION

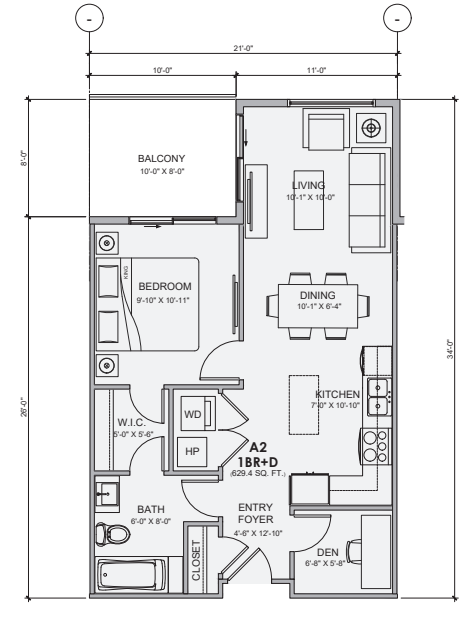
DRAWING NO.

A4.14a

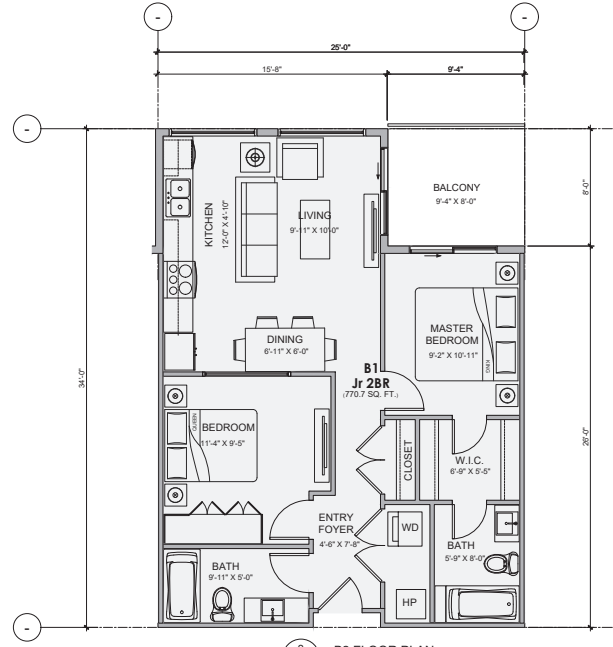
6
A4.14a
SECTION - UNIT C2e
SCALE: 1/4" = 1'-0"



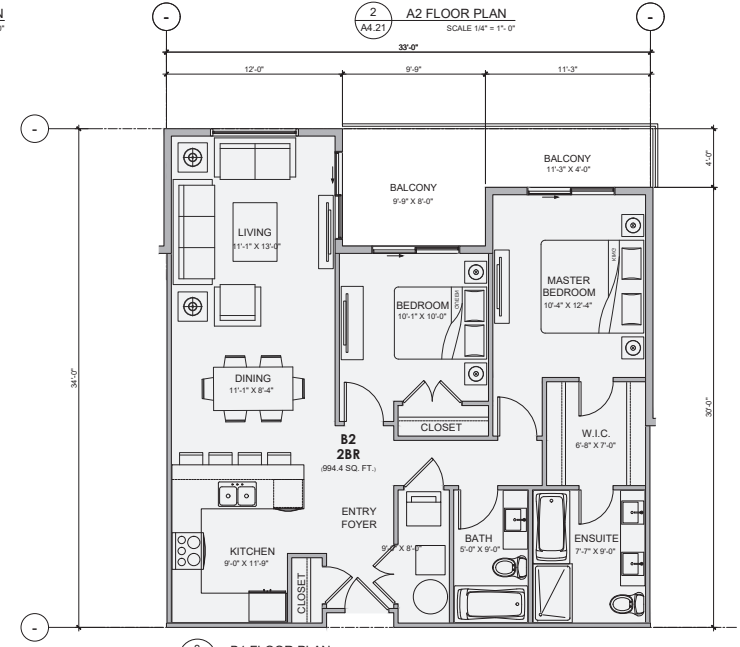
1 A1 FLOOR PLAN
A4.21 SCALE 1/4" = 1'-0"



2 A2 FLOOR PLAN
A4.21 SCALE 1/4" = 1'-0"



3 B2 FLOOR PLAN
A4.21 SCALE 1/4" = 1'-0"



3 B1 FLOOR PLAN
A4.21 SCALE 1/4" = 1'-0"

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| 1 | ISSUED FOR RE-ZONING/DP 2023 / 07 / 14 |

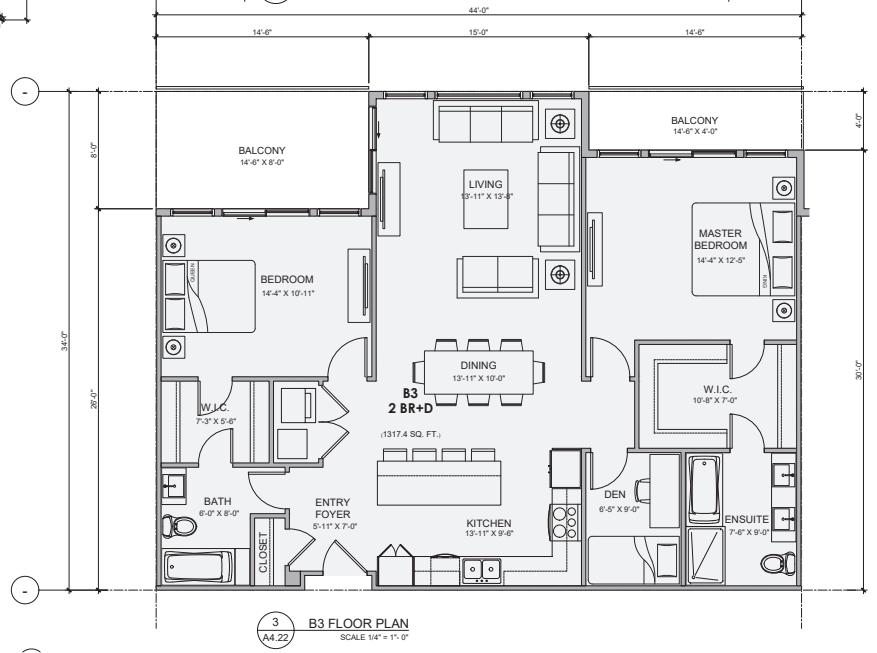
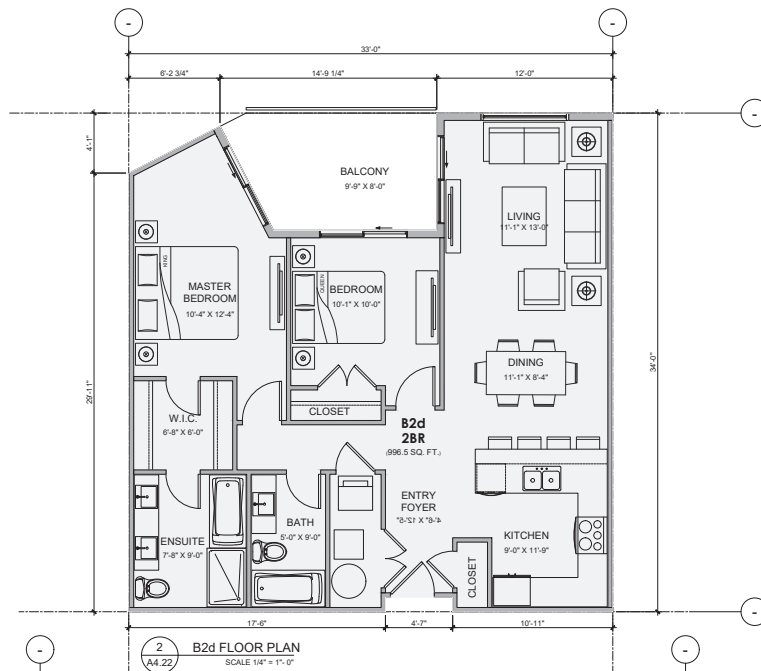
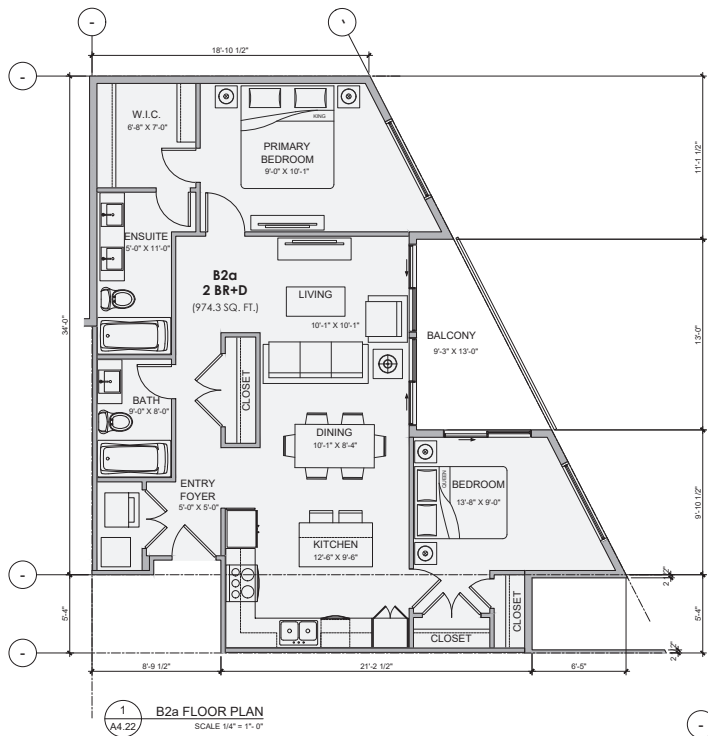
PROJECT NUMBER: CD-37
 DRAWN BY: RW/RW/PM
 CHECKED BY: MB
 DATE CHECKED:
 CONSULTANT:

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

UNITS
A1, A2, B1 & B2
FLOOR PLANS

DRAWING NO.

A4.21



| ISSUES | DATE |
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PROJECT NUMBER: CD-37
 DRAWN BY: RW/RV/PM
 CHECKED BY: MB
 DATE CHECKED:
 CONSULTANT:

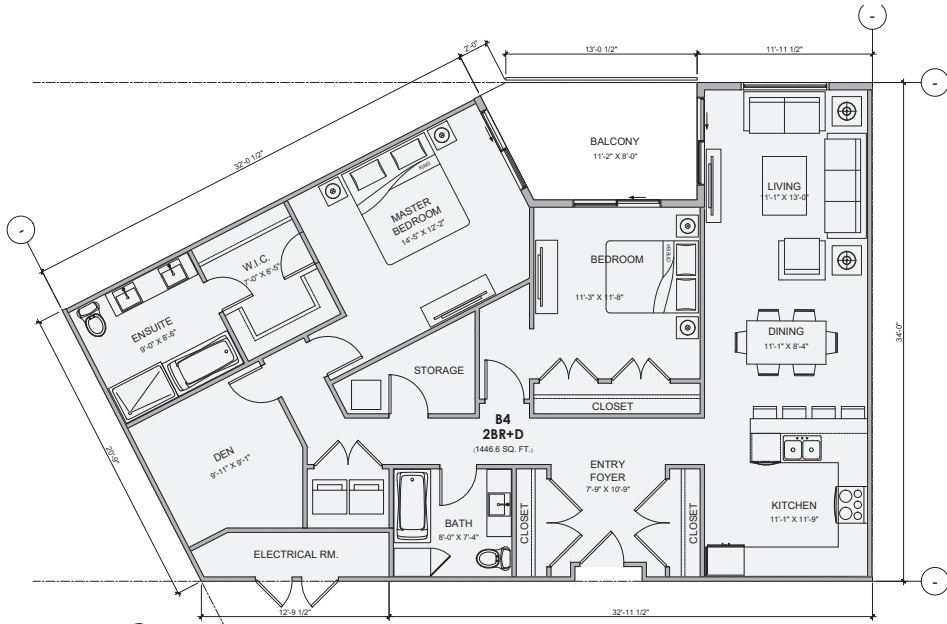
PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT

9522 LOCHSIDE DRIVE
SIDNEY, BC

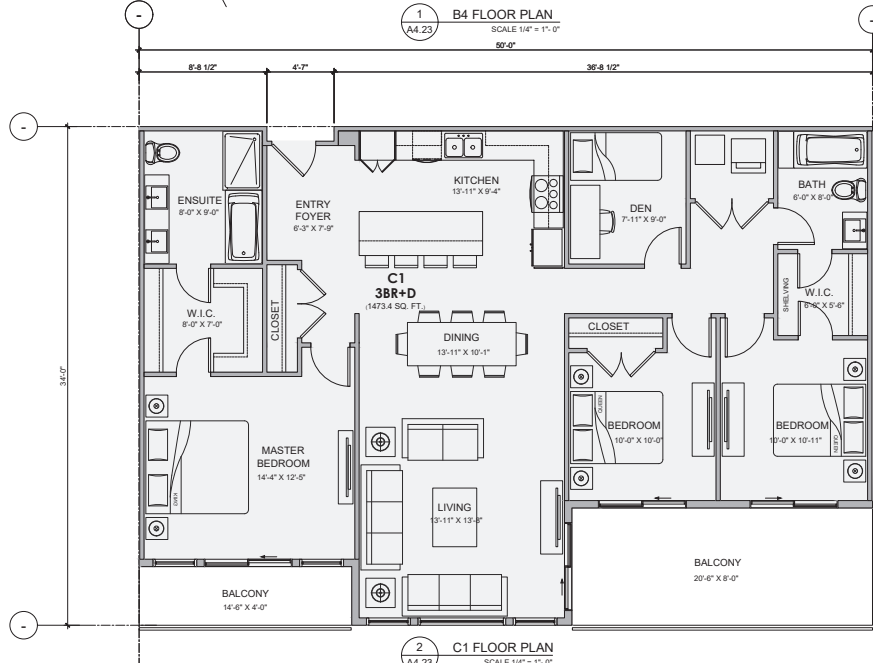
DRAWING TITLE
UNITS
B2a, B2d & B3
FLOOR PLANS

DRAWING NO.

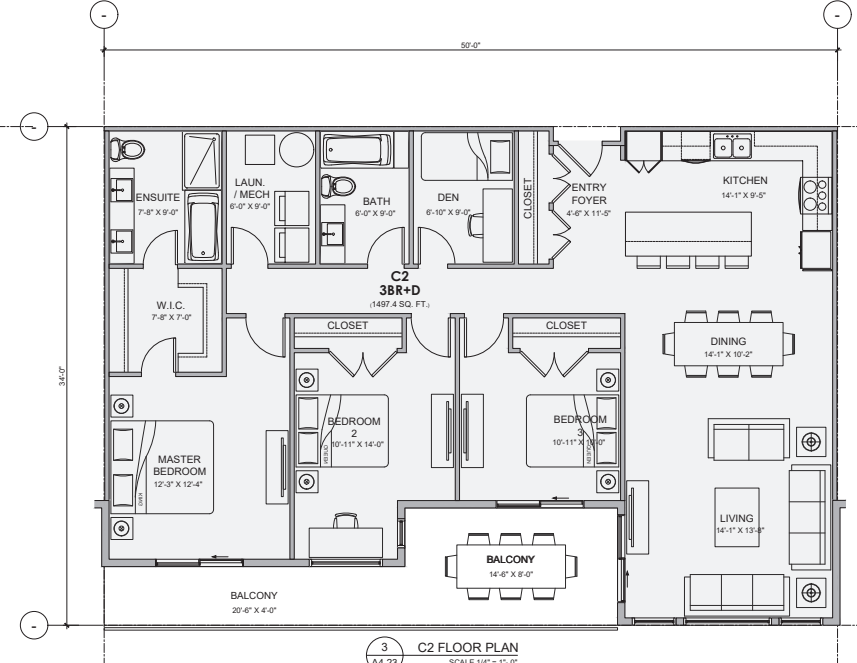
A4.22



1 B4 FLOOR PLAN
SCALE 1/4" = 1'-0"
A4.23



2 C1 FLOOR PLAN
SCALE 1/4" = 1'-0"
A4.23



3 C2 FLOOR PLAN
SCALE 1/4" = 1'-0"
A4.23

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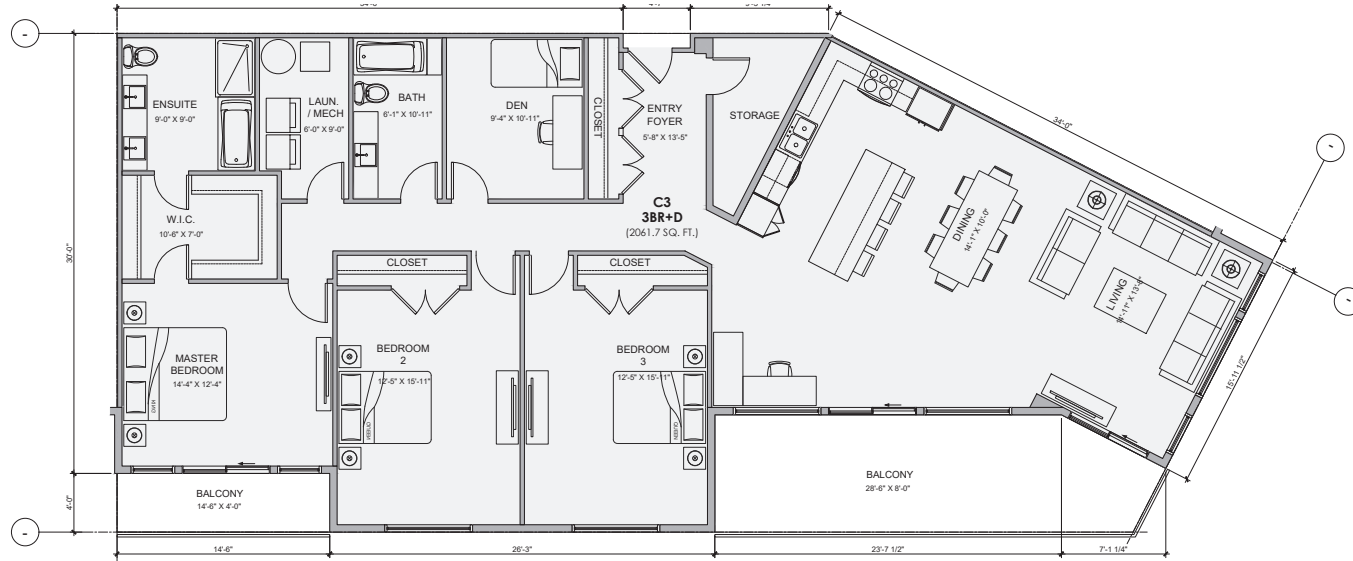
| | |
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| PROJECT NUMBER | CD-07 |
| DRAWN BY | RR/RVI/PM |
| CHECKED BY | MB |
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| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
**UNIT B4, C1 & C2
FLOOR PLAN**

DRAWING NO.

A4.23



| ISSUES | DATE |
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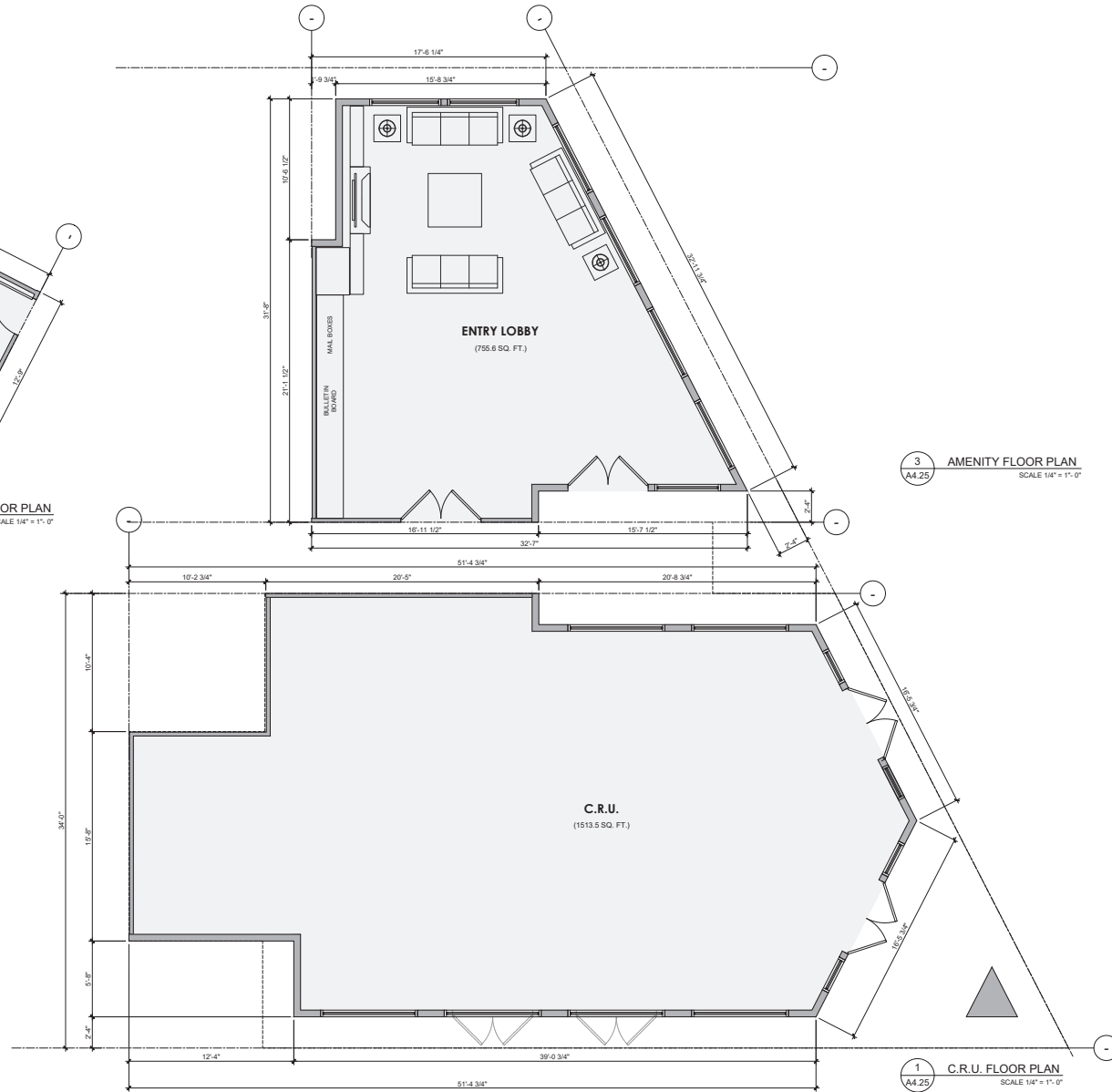
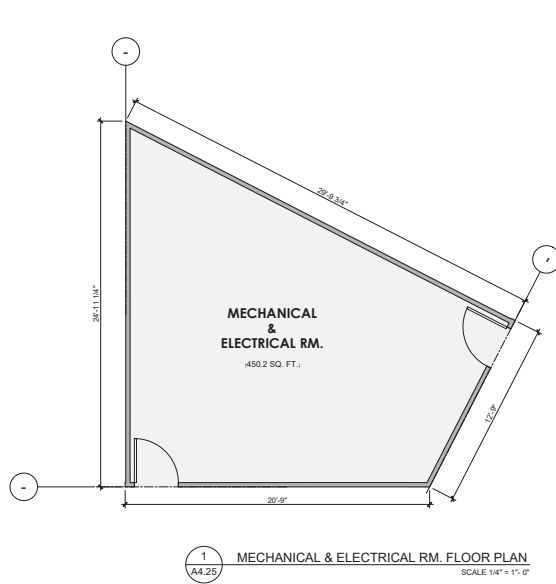
| | |
|----------------|-----------|
| PROJECT NUMBER | CD-37 |
| DRAWN BY | RR/RVI/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
**UNIT C3 & C4
FLOOR PLANS**

DRAWING NO.

A4.24



| ISSUES | DATE |
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|----------------|-----------|
| PROJECT NUMBER | ED-07 |
| DRAWN BY | RR/RVI/PM |
| CHECKED BY | MB |
| DATE CHECKED | |
| CONSULTANT | |

PROJECT
CEDARWOOD
MULTI-FAMILY DEVELOPMENT
9522 LOCHSIDE DRIVE
SIDNEY, BC

DRAWING TITLE
C.R.U., AMENITY, & M&E ROOMS FLOOR PLANS

DRAWING NO.

A4.25