

PROPOSED TRIPLEX:

9601 Fifth Street

SIDNEY, BC



201-5325 Cordova Bay Road  
Victoria, BC V8Y 2L3  
250.999.9893  
hello@hoyt.co | www.hoyt.co



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KEY PLAN:



PROJECT INFORMATION:

SITE ADDRESS: 9601 FIFTH STREET  
SIDNEY, BC  
V8L 1T4

LOT 2, SECTION 10, RANGE 4 EAST,  
NORTH SAANICH DISTRICT, PLAN 29142

P.I.D.: 001-425-838

SCOPE OF WORK:

CONSTRUCTION OF A NEW TRIPLEX

PROJECT DIRECTORY:

DESIGNER: HOYT DESIGN CO.  
250.999.9893  
HELLO@HOYT.CO

GENERAL CONTRACTOR: TBD

STRUCTURAL ENGINEER: TBD

SURVEYOR: WEY MAYENBURG LAND SURVEYING INC.  
250.656.5155  
BRENT@WEYSURVEYS.COM

SHEET INDEX:

A0.0 COVER SHEET  
A0.1 SITE PLAN & ZONING ANALYSIS  
A0.2 LANDSCAPE PLAN  
A0.3 DEVELOPMENT PERSPECTIVES  
A0.4 DEVELOPMENT PERSPECTIVES

A1.1 FIRST FLOOR & ROOF PLANS  
A1.2 SECOND & THIRD FLOOR PLANS

A2.1 ELEVATIONS  
A2.2 ELEVATIONS

A3.1 SECTIONS

PROJECT

9601 Fifth St.

2441

ISSUE DATE: 25Oct20 REV 5

| No.: | Description:                 | Date:   |
|------|------------------------------|---------|
| 1    | Issue for Client Review      | 25Jun17 |
| 2    | Issue for Development Permit | 25Jul09 |
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| 5    | Issue for DP Revisions 2     | 25Oct20 |

Cover Sheet

A0.0



R-2 ZONING ANALYSIS:

|                   |         |
|-------------------|---------|
| LOT AREA:         | 493.0m2 |
| FLOOR ELEVATIONS: |         |
| FIRST FLOOR:      | 3.00m   |
| SECOND FLOOR:     | 6.09m   |
| THIRD FLOOR:      | 9.19m   |
| PARKING:          | 2.85m   |

AVERAGE GRADE: 2.14m

F.C.L.: 4.32m

F.S.R:

ALLOWABLE  
NO RESTRICTION

PROPOSED  
N/A

GROSS FLOOR AREA: ALLOWABLE

PROPOSED  
UNIT 1

UNIT 2

UNIT 3

BUILDING

|               |                        |
|---------------|------------------------|
| FIRST FLOOR:  | N/A                    |
| SECOND FLOOR: | N/A                    |
| THIRD FLOOR:  | 127.2m2 (181.7m2*0.70) |
| TOTAL:        | N/A                    |

|         |         |         |         |
|---------|---------|---------|---------|
| 92.7m2  | 93.1m2  | 21.3m2  | 207.1m2 |
| 74.4m2  | 91.3m2  | 16.0m2  | 181.7m2 |
| N/A     | N/A     | 127.2m2 | 127.2m2 |
| 167.7m2 | 184.0m2 | 164.4m2 | 516.1m2 |

LOT COVERAGE:

ALLOWABLE  
45.0% (221.9m2)

PROPOSED  
44.9% (221.4m2)

HEIGHT:

ALLOWABLE  
10.50m

PROPOSED  
10.42m

SETBACKS:

ALLOWABLE

PROPOSED

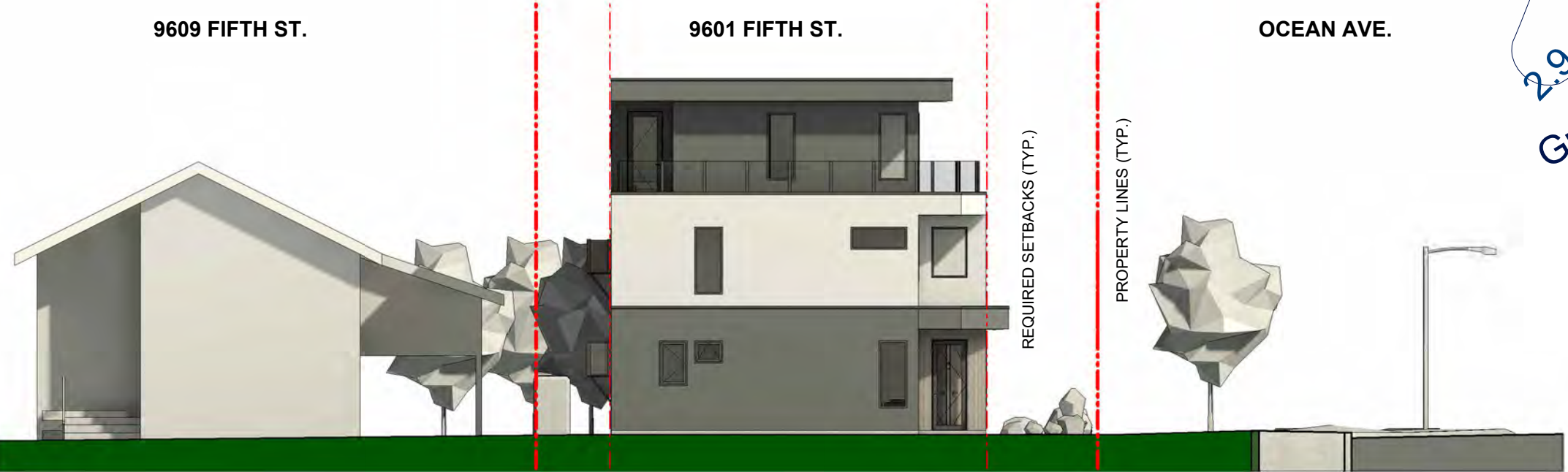
|            |       |
|------------|-------|
| FRONT (W): | 4.50m |
| REAR (E):  | 4.50m |
| SIDE (S):  | 3.00m |
| SIDE (N):  | 2.00m |

|       |       |       |       |
|-------|-------|-------|-------|
| 5.75m | 4.61m | 3.02m | 2.04m |
|-------|-------|-------|-------|

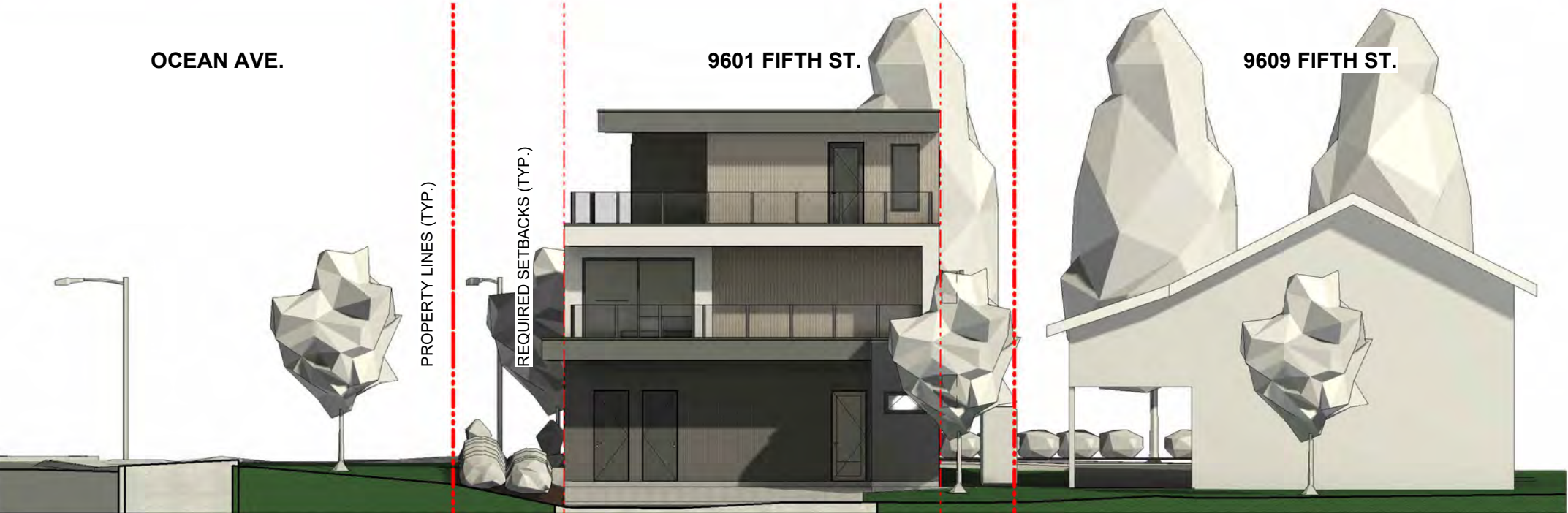
| TREE LEGEND                             |    |
|-----------------------------------------|----|
| TREE ID PER TREE PROTECTION PLAN        | M1 |
| EXISTING TREE (TO BE RETAINED)          | +  |
| REPLACEMENT TREE (ON-SITE)              | +  |
| EXISTING MUNICIPAL TREE (TO BE REMOVED) | +  |
| REPLACEMENT MUNICIPAL TREE              | +  |

| AVERAGE GRADE CALC. |                  |
|---------------------|------------------|
| POINT               | ELEVATION        |
| A                   | 2.54m            |
| B                   | 1.90m            |
| C                   | 1.62m            |
| D                   | 2.49m            |
| TOTAL               | 8.55 / 4 = 2.14m |

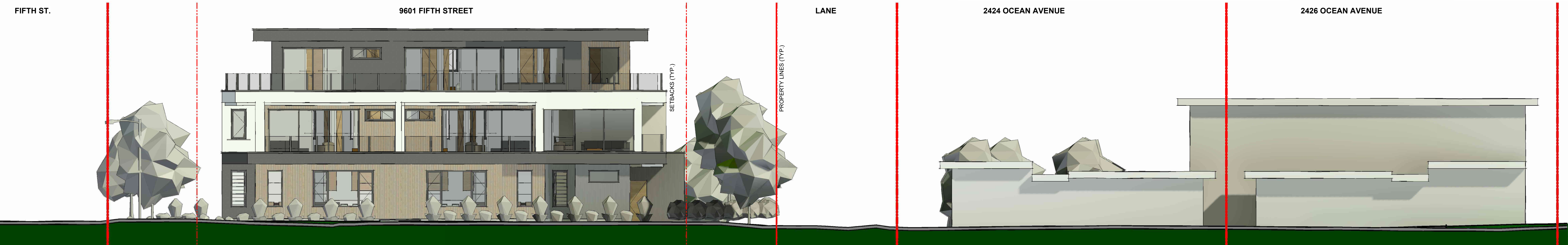
|       |       |       |
|-------|-------|-------|
| SEWER | STORM | WATER |
|-------|-------|-------|



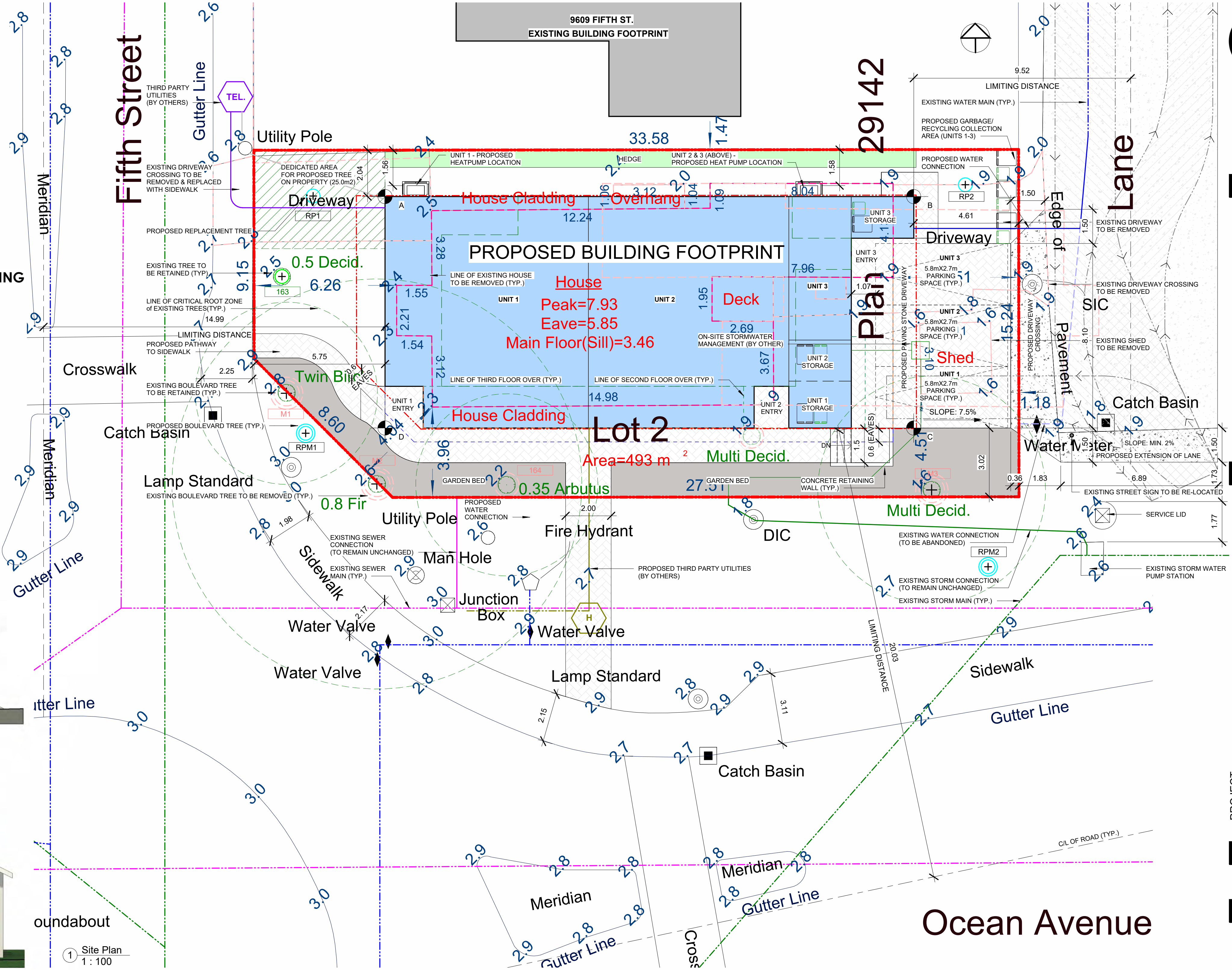
Streetscape Elevation - West (Fifth St.)  
1: 150



Streetscape Elevation - East (Lane)  
1: 150



Streetscape (Ocean Ave) - 9601 Fifth St.  
1: 100



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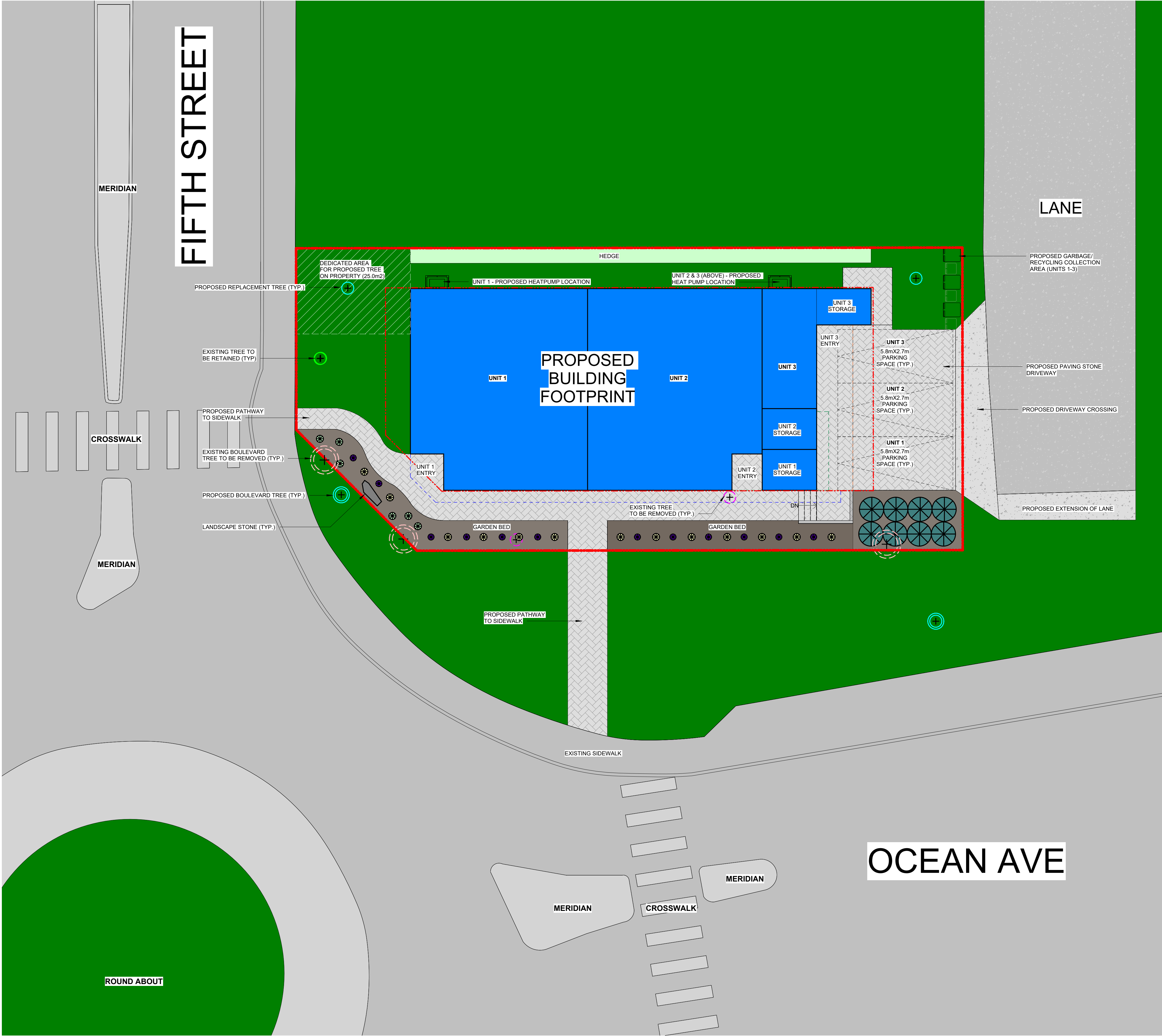
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Site Plan & Zoning  
Analysis

A0.1





1 Landscape Plan  
1 : 100

| TREE LEGEND                             |    |
|-----------------------------------------|----|
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| REPLACEMENT MUNICIPAL TREE              |    |

| LANDSCAPE LEGEND       |  |
|------------------------|--|
| GRASS                  |  |
| TREES/SHRUBS           |  |
| PROPOSED STRUCTURE     |  |
| EARTH                  |  |
| CONCRETE/ASPHALT       |  |
| PERMEABLE PAVING STONE |  |



SWORD FERN



LAVENDER



REED GRASS



BOXWOOD EVERGREEN SHRUB



LAUREL HEDGE



PAVING STONE  
BELGARD - CLASSIC STANDARD "SHADED GREY"

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Landscape Plan

A0.2





FRONT (OCEAN AVENUE) PERSPECTIVE



WEST (FIFTH STREET) PERSPECTIVE



SOUTHWEST PERSPECTIVE



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Development Perspectives

A0.3





SOUTHEAST PERSPECTIVE



EAST (LANE) PERSPECTIVE



NORTHWEST PERSPECTIVE



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Development Perspectives

A0.4



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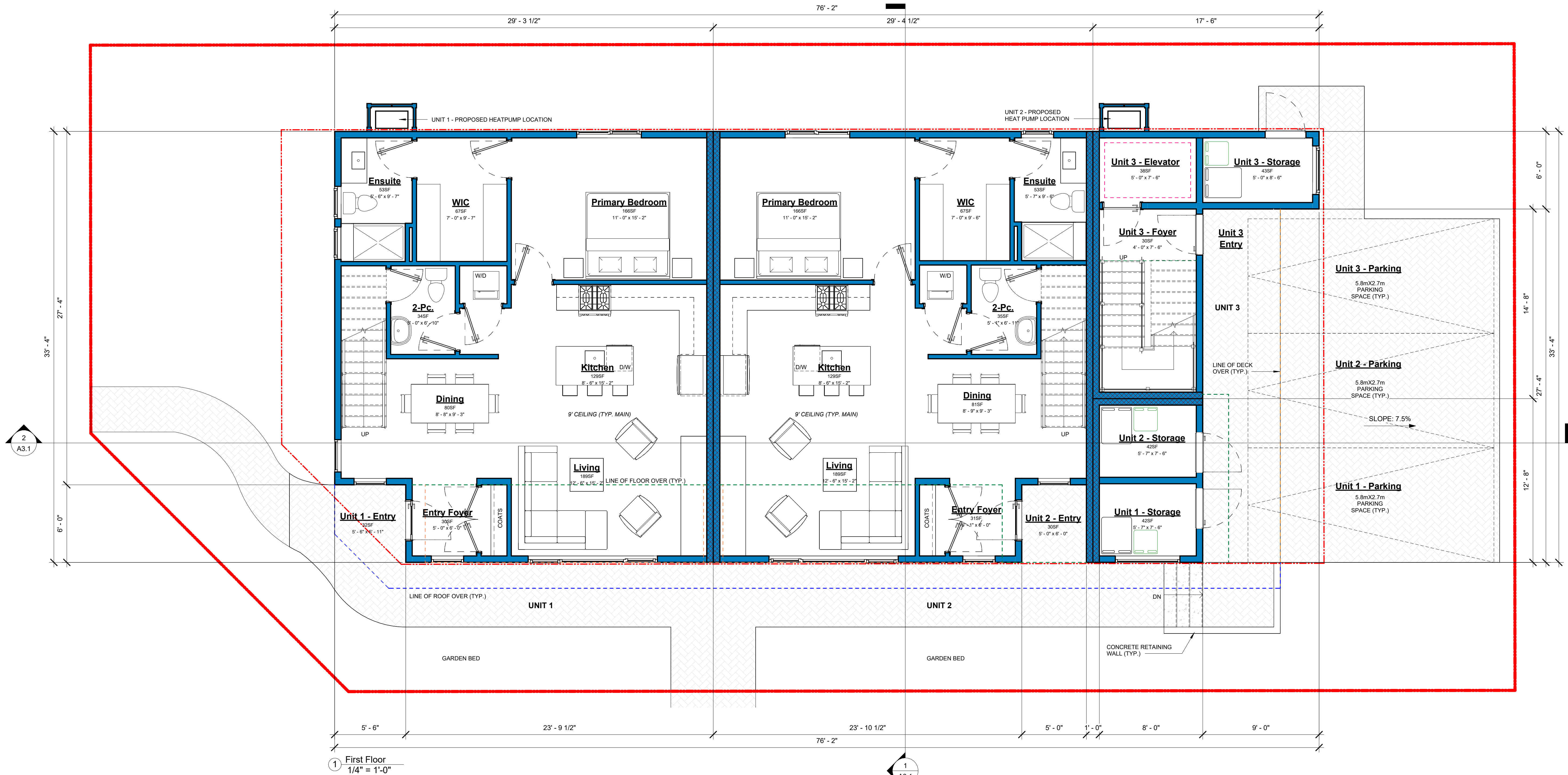
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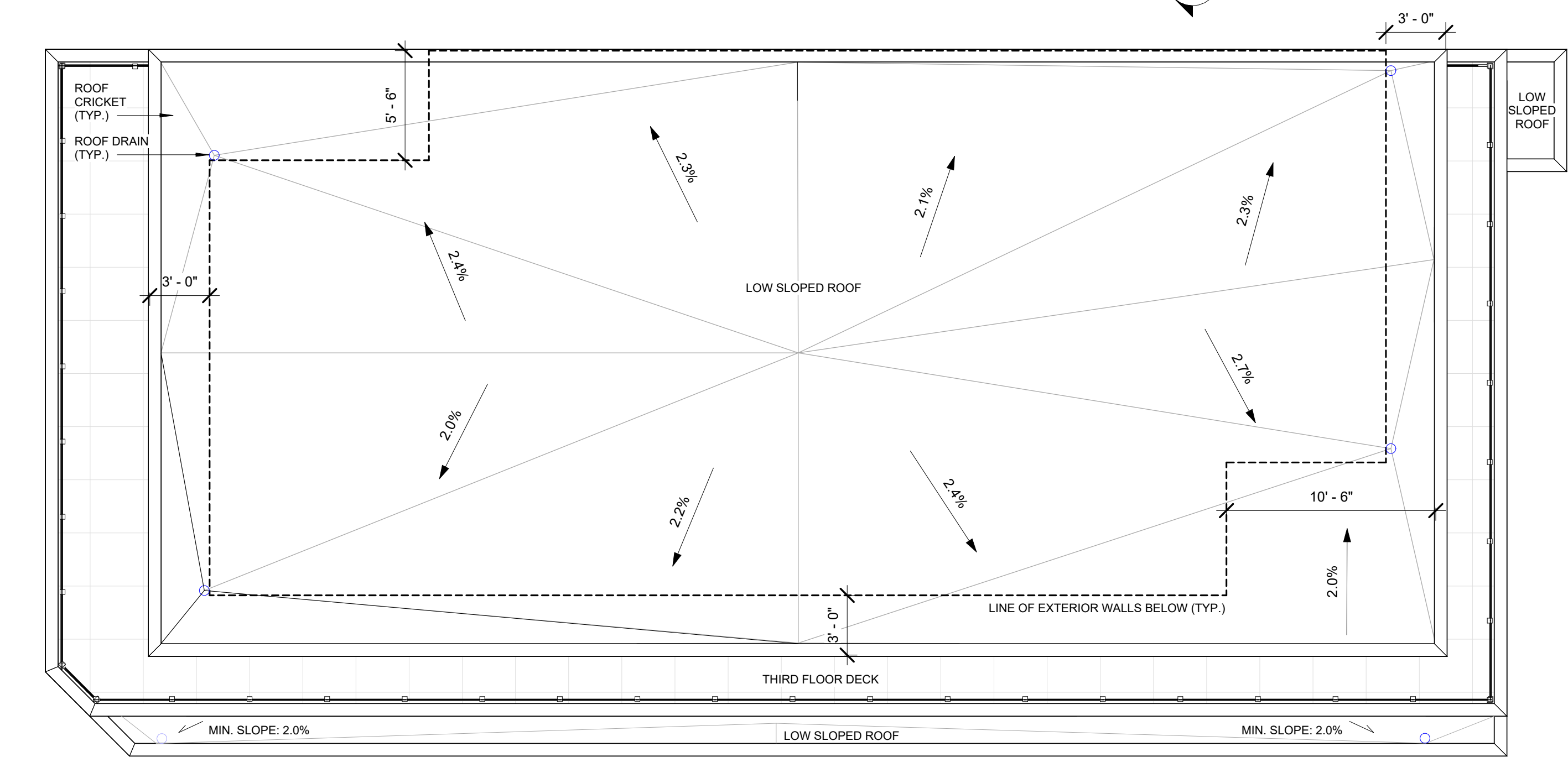
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|--------------|-------------------------|------------------------------|------------------------|------------------------|------------------------|
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First Floor & Roof Plans

A1.1



1 First Floor  
1/4" = 1'-0"



2 Roof Plan  
3/16" = 1'-0"

| PLAN LEGEND            |  |
|------------------------|--|
| WALL                   |  |
| FIRE-RATED WALL        |  |
| ROOF OVER              |  |
| FLOOR OVER             |  |
| DECK OVER              |  |
| WALL BELOW             |  |
| POST                   |  |
| FLUSH BEAM OVER        |  |
| DROP BEAM OVER         |  |
| GIRDER TRUSS OVER      |  |
| S/C DETECTOR           |  |
| DOOR SIZE              |  |
| WINDOW SIZE            |  |
| JOIST SPAN DIRECTION   |  |
| LINE OF INTERIOR VAULT |  |

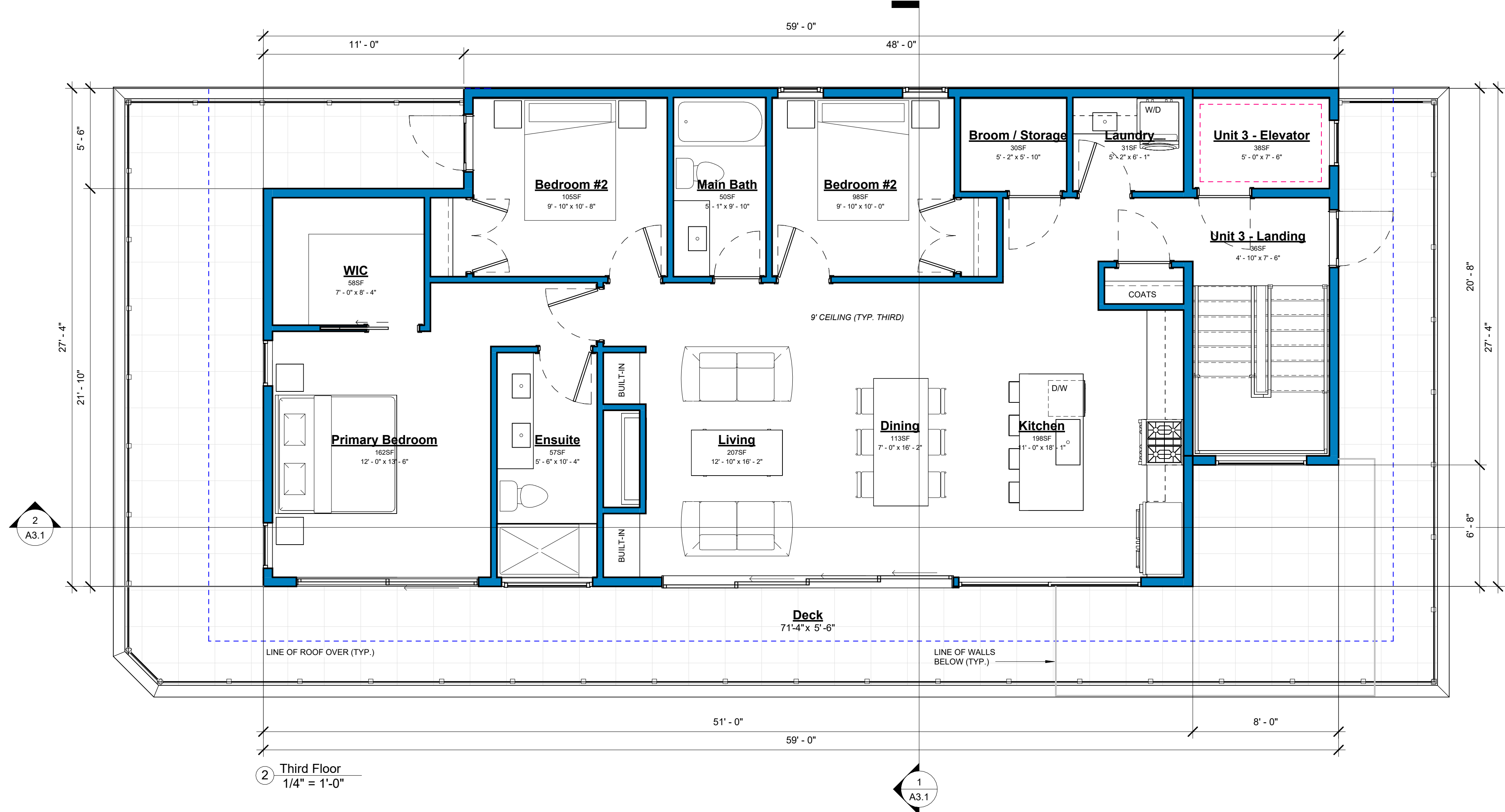
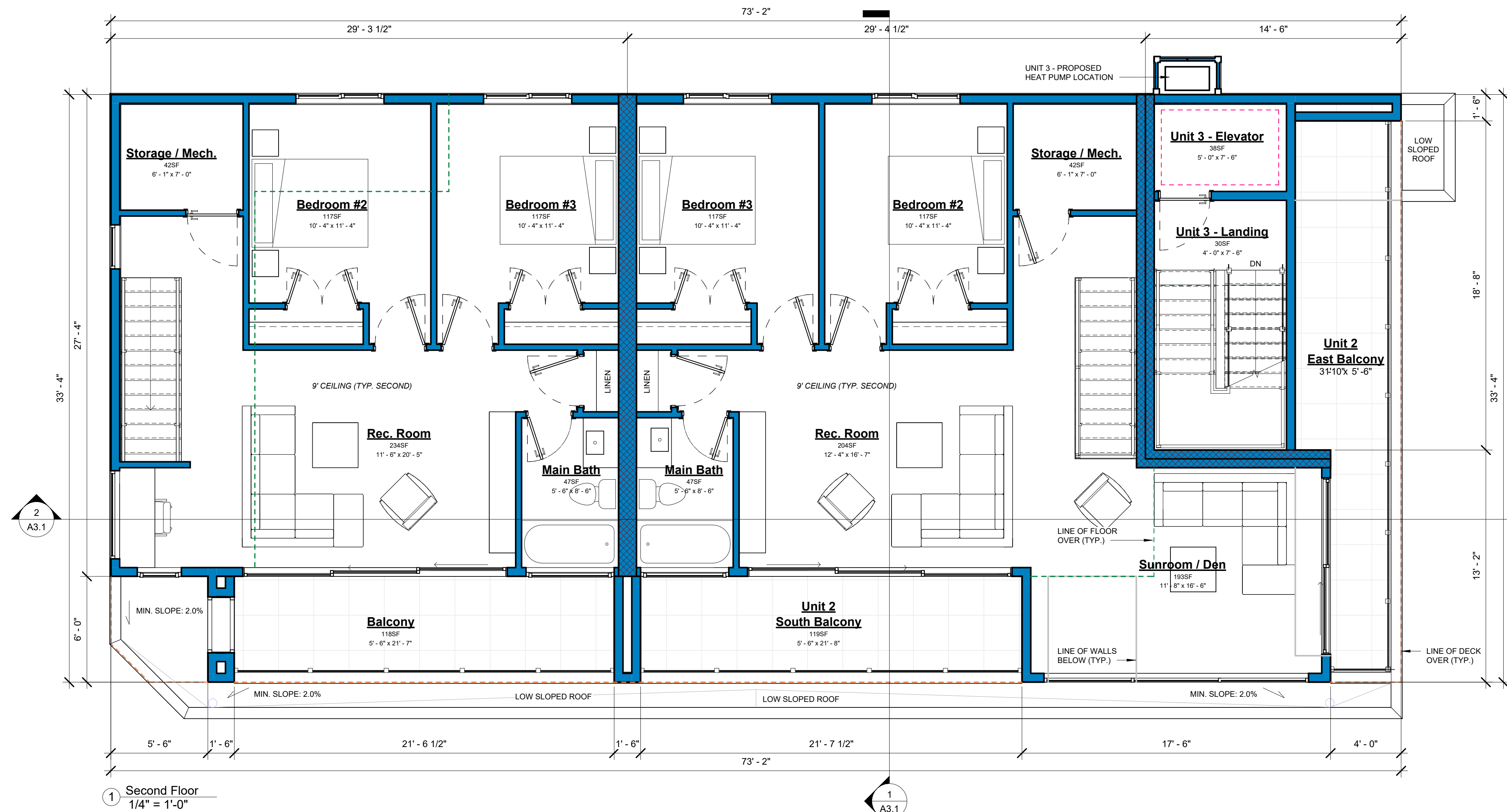
| FLOOR AREA       | UNIT 1: | UNIT 2: | UNIT 3: | BUILDING: |
|------------------|---------|---------|---------|-----------|
| FIRST FLOOR:     | 998 SF  | 1002 SF | 229 SF  | 2229 SF   |
| SECOND FLOOR:    | 801 SF  | 983 SF  | 172 SF  | 1956 SF   |
| THIRD FLOOR:     | N/A     | N/A     | 1369 SF | 1369 SF   |
| TOTAL LIVING SF: | 1799 SF | 1985 SF | 1770 SF | 5554 SF   |

DRAWING SCALE: 1/4" " = 1'-0" ALL MEASUREMENTS ARE IN FEET





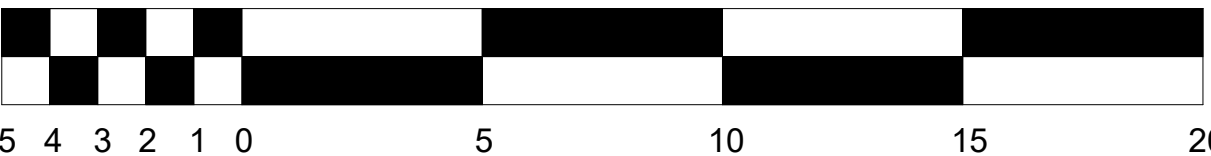
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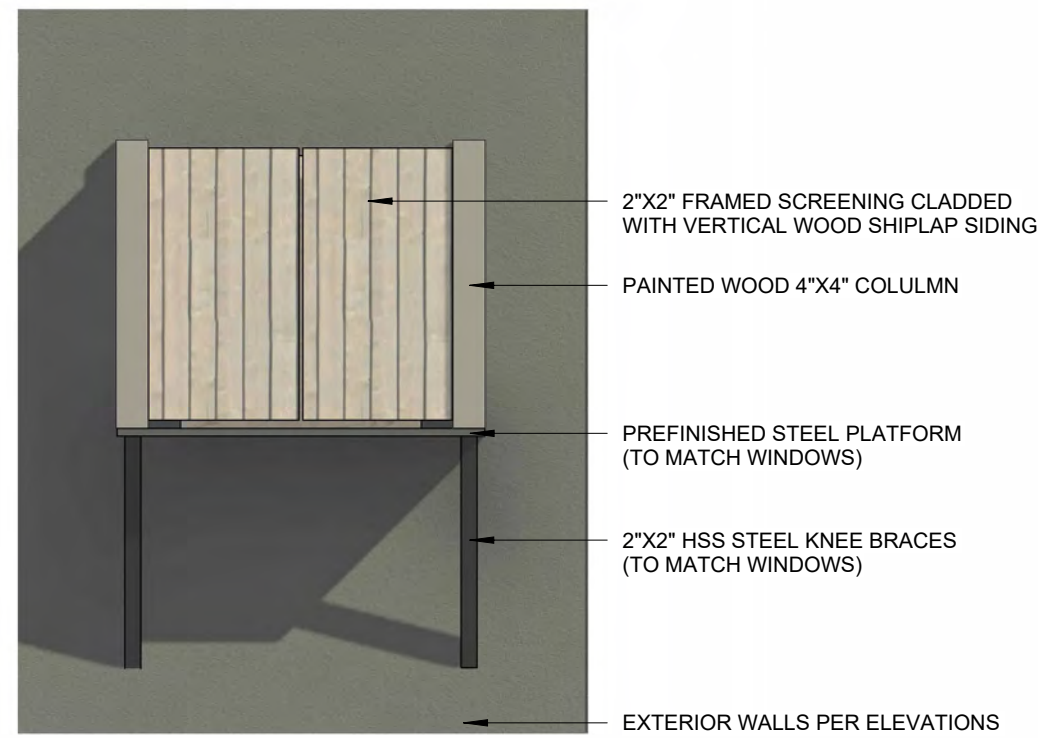
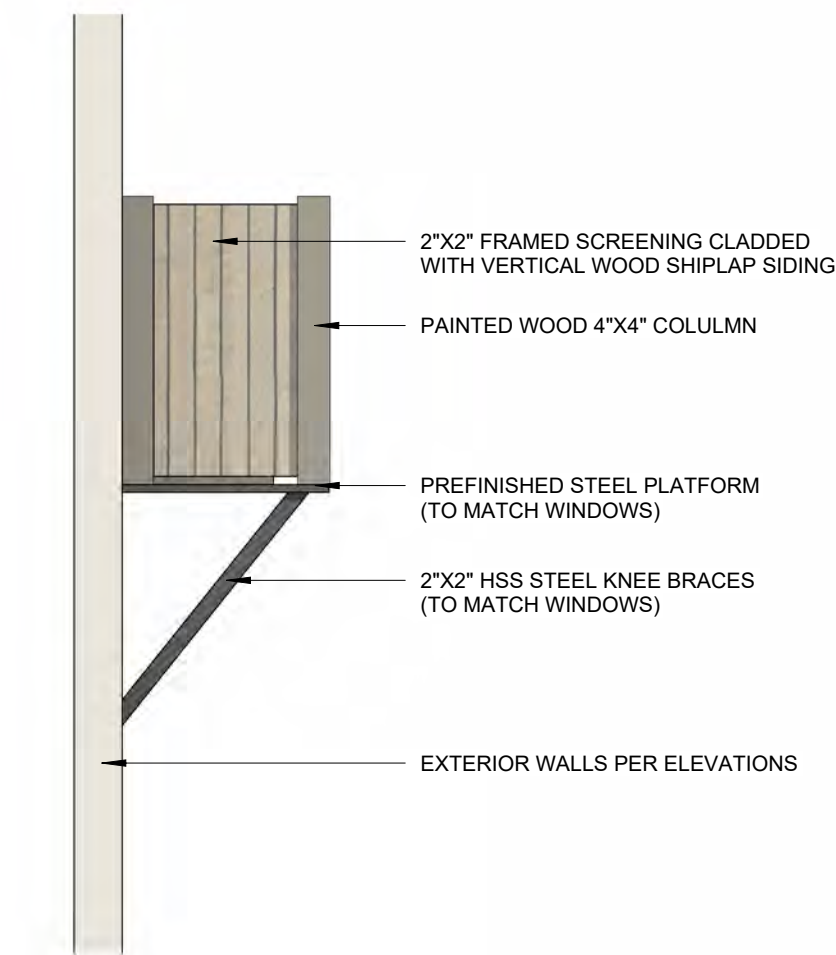
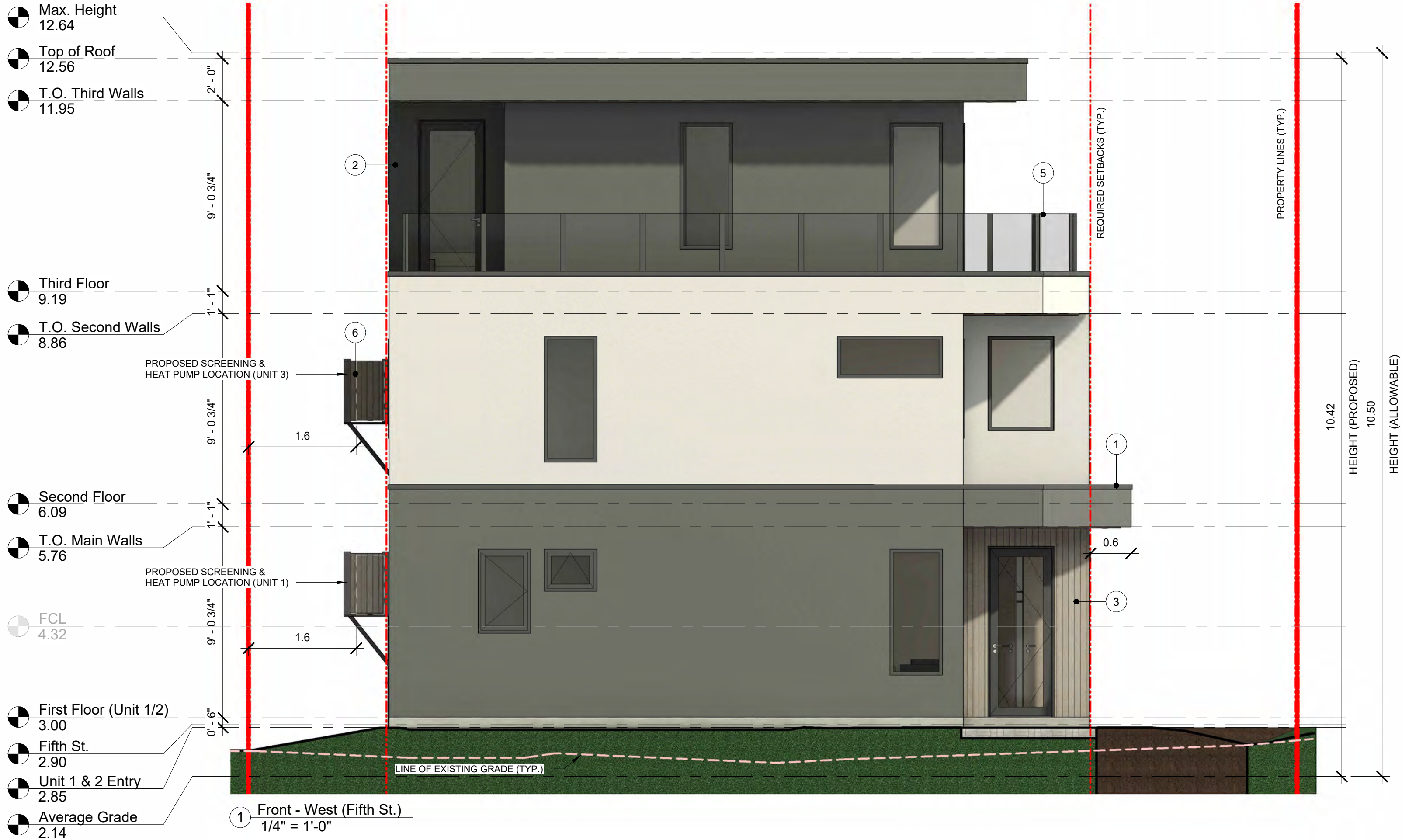
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Second & Third Floor  
Plans

A1.2





| WEST ELEVATION<br>SPATIAL SEPARATION  |        |
|---------------------------------------|--------|
| AREA OF EXPOSING BUILDING FACE:       | 85.2m2 |
| LIMITING DISTANCE (TO C/L FIFTH ST.): | 14.99m |
| PERCENTAGE OF GLAZED AREA ALLOWABLE:  | 100%   |
| AREA OF GLAZED OPENINGS ALLOWABLE:    | N/A    |
| AREA OF GLAZED OPENINGS PROPOSED:     | N/A    |
| PERCENTAGE OF GLAZED AREA PROPOSED:   | N/A    |

| SOUTH ELEVATION<br>SPATIAL SEPARATION |         |
|---------------------------------------|---------|
| AREA OF EXPOSING BUILDING FACE:       | 184.9m2 |
| LIMITING DISTANCE (TO C/L OCEAN AVE): | 19.90m  |
| PERCENTAGE OF GLAZED AREA ALLOWABLE:  | 98.0%   |
| AREA OF GLAZED OPENINGS ALLOWABLE:    | 181.2m2 |
| (184.9m2*0.98)                        |         |
| AREA OF GLAZED OPENINGS PROPOSED:     | 80.7m2  |
| PERCENTAGE OF GLAZED AREA PROPOSED:   | 43.6%   |

#### ELEVATION NOTES LEGEND

- 2 PLY MOD BIT. ROOFING
- ACRYLIC STUCCO
- VERTICAL WOOD SHIPLAP SIDING
- CORRUGATED METAL PANEL
- ALUMINUM GUARD RAIL WITH GLASS INSERTS
- SOLID WOOD SCREENING



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**9601 Fifth St.**

**2441**

ISSUE DATE: 25Oct20 REV 5

| No.: | Description:                 | Date:   |
|------|------------------------------|---------|
| 1    | Issue for Client Review      | 25Jun17 |
| 2    | Issue for Development Permit | 25Jul09 |
| 3    | Issue for Coordination       | 25Aug15 |
| 4    | Issue for DP Revisions       | 25Sep11 |
| 5    | Issue for DP Revisions 2     | 25Oct20 |

#### Elevations

**A2.1**



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  - It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
  - The Contractor shall work with a B.C.L.S. to verify compliant placement, siting and elevation of the proposed building or structures on the property prior to commencing the work. HDC is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
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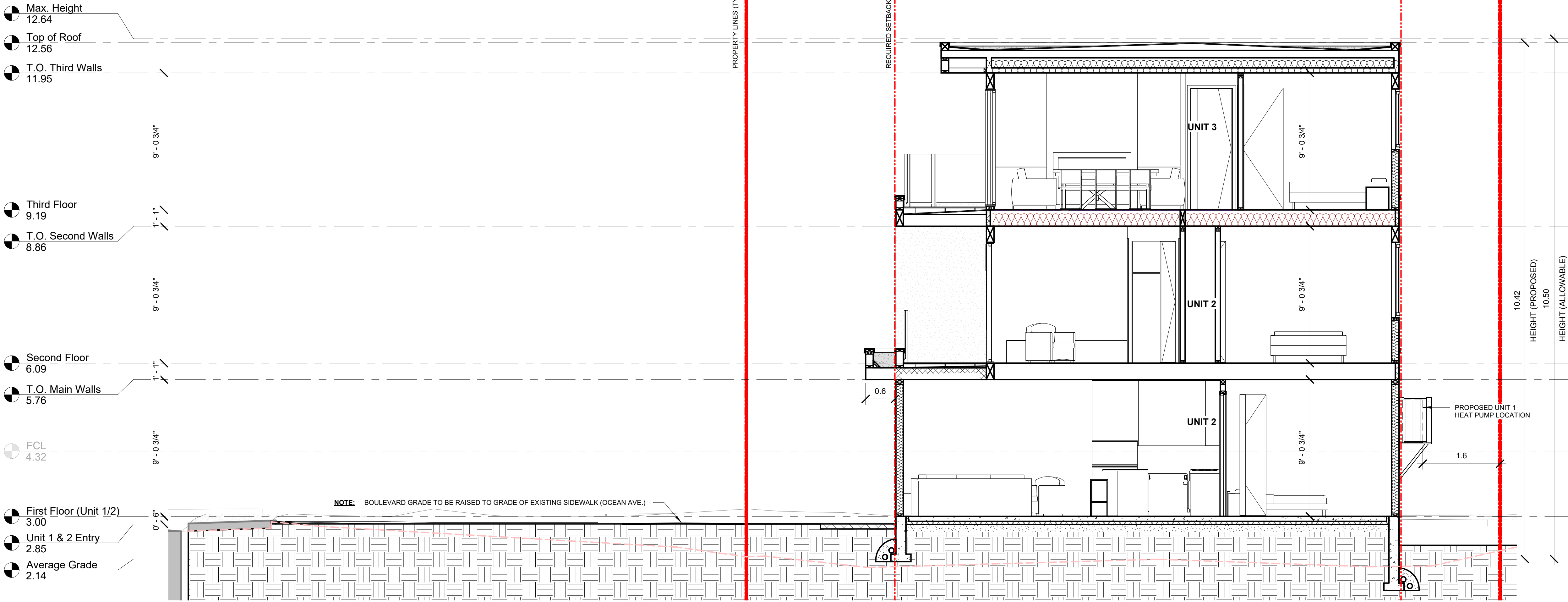


| EAST ELEVATION SPATIAL SEPARATION    |        |
|--------------------------------------|--------|
| AREA OF EXPOSING BUILDING FACE:      | 90.7m2 |
| LIMITING DISTANCE (TO OIL LANE)      | 9.52m  |
| PERCENTAGE OF GLAZED AREA ALLOWABLE: | 70.0%  |
| AREA OF GLAZED OPENINGS ALLOWABLE:   | 63.5m2 |
| (90.7m2*0.70)                        |        |
| AREA OF GLAZED OPENINGS PROPOSED:    | 14.3m2 |
| PERCENTAGE OF GLAZED AREA PROPOSED:  | 15.8%  |

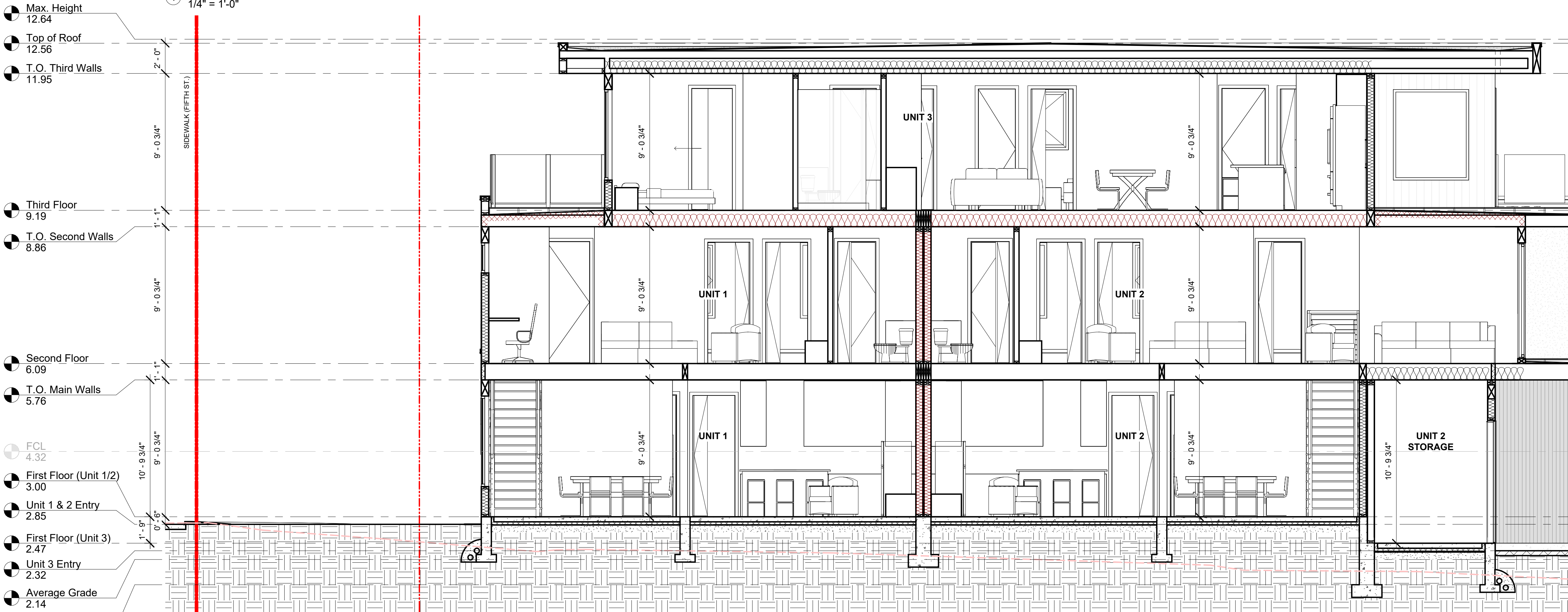
| NORTH ELEVATION SPATIAL SEPARATION   |         |
|--------------------------------------|---------|
| AREA OF EXPOSING BUILDING FACE:      | 200.8m2 |
| LIMITING DISTANCE:                   | 2.04m   |
| PERCENTAGE OF GLAZED AREA ALLOWABLE: | 8.0%    |
| AREA OF GLAZED OPENINGS ALLOWABLE:   | 16.1m2  |
| (200.8m2*0.08)                       |         |
| AREA OF GLAZED OPENINGS PROPOSED:    | 15.0m2  |
| PERCENTAGE OF GLAZED AREA PROPOSED:  | 7.4%    |







① Section A  
1/4" = 1'-0"



② Section B  
1/4" = 1'-0"

| FLOOR AREA       | UNIT 1: | UNIT 2: | UNIT 3: | BUILDING: |
|------------------|---------|---------|---------|-----------|
| FIRST FLOOR:     | 998 SF  | 1002 SF | 229 SF  | 2229 SF   |
| SECOND FLOOR:    | 801 SF  | 983 SF  | 172 SF  | 1956 SF   |
| THIRD FLOOR:     | N/A     | N/A     | 1369 SF | 1369 SF   |
| TOTAL LIVING SF: | 1799 SF | 1985 SF | 1770 SF | 5554 SF   |

DRAWING SCALE: 1/4" = 1' - 0" ALL MEASUREMENTS ARE IN FEET



- FRAMING NOTES:**
- ALL FRAMING TO BE IN ACCORDANCE WITH THE 2018 BC BUILDING CODE
  - ALL LUMBER TO BE SPF#2 OR BETTER UNLESS NOTED OTHERWISE
  - ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
  - ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN.
  - ALL LINTELS TO BE 2-PLY 2X10 U.N.O.
  - ALL CONCRETE TO BE MINIMUM 25MPa AT 28 DAYS
  - ALL INTERIOR DOORS TO PROVIDE MIN. 2 STUDS E/S AT JAMB FRAMING
  - TYPICAL DOOR / WINDOW HEAD HEIGHT:  
BASEMENT: 8'  
MAIN FLOOR: 8'  
SECOND FLOOR: 8'
  - ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER: FIELD TREAT ALL CUTS
  - DESIGN LOADS:  
[SAANICH]: Ss: 2.1kPa  
Sr: 0.3kPa

- PLAN LEGEND**
- WALL
  - ROOF OVER
  - FLOOR OVER
  - DECK OVER
  - WALL BELOW
  - POST
  - FLUSH BEAM OVER
  - DROP BEAM OVER
  - GIRDER TRUSS OVER
  - S/C DETECTOR
  - DOOR SIZE
  - WINDOW SIZE
  - JOIST SPAN DIRECTION
  - LINE OF INTERIOR VAULT

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Sections

A3.1



PROPOSED TRIPLEX:

9601 Fifth Street

SIDNEY, BC

SCALE AS NOTED: INTERIOR SHEET PLOT SIZE: A4 (H.C. 360x480)

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  2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall verify the location of any existing underground utilities and shall be responsible for obtaining all necessary permits and approvals prior to commencing the work. The Contractor shall be responsible for obtaining all necessary permits and approvals prior to commencing the work. The Contractor shall be responsible for obtaining all necessary permits and approvals prior to commencing the work.
  3. The Contractor shall work with the City of Sidney to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall verify the location of any existing underground utilities and shall be responsible for obtaining all necessary permits and approvals prior to commencing the work. The Contractor shall be responsible for obtaining all necessary permits and approvals prior to commencing the work.
  4. The Contractor shall engage a Professional Engineer (P.E.) to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall verify the location of any existing underground utilities and shall be responsible for obtaining all necessary permits and approvals prior to commencing the work. The Contractor shall be responsible for obtaining all necessary permits and approvals prior to commencing the work.



WEST (FIFTH STREET) PERSPECTIVE



SOUTHWEST PERSPECTIVE



SOUTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE



IMAGE 1 (NORTH PERSPECTIVE): EXISTING LANE - SIGN TO BE REMOVED & RE-LOCATED FOR PROPOSED LANE EXTENSION



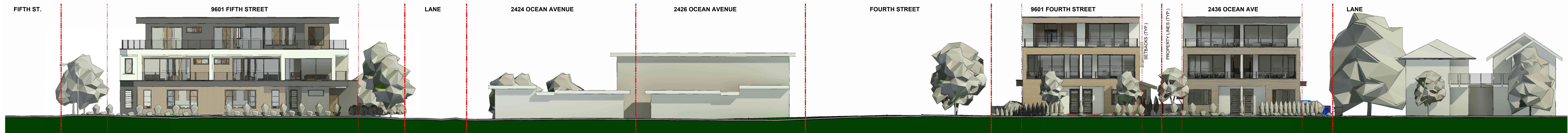
IMAGE 2 (NORTHEAST PERSPECTIVE): EXISTING LANE & PROPOSED DRIVEWAY CROSSING LOCATION



IMAGE 3 (SOUTH PERSPECTIVE): EXISTING STORM WATER PUMP STATION & SERVICE LID LOCATION



IMAGE 4 (SOUTH PERSPECTIVE): EXISTING STORM WATER PUMP STATION & SERVICE LID LOCATION



Streetscape Elevation (Ocean Ave)

1:150

PROJECT

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Development  
Perspectives & Site  
Photos

A0.00