

PROPOSED TRIPLEX:

9601 Fifth Street

SIDNEY, BC



KEY PLAN:



PROJECT INFORMATION:

SITE ADDRESS:

9601 FIFTH STREET
SIDNEY, BC
V8L 1T4

LOT 2, SECTION 10, RANGE 4 EAST,
NORTH SAANICH DISTRICT, PLAN 29142

P.I.D.: 001-425-838

SCOPE OF WORK:

CONSTRUCTION OF A NEW TRIPLEX

PROJECT DIRECTORY:

DESIGNER:

HOYT DESIGN CO.
250.999.9893
HELLO@HOYT.CO

GENERAL
CONTRACTOR:

TBD

STRUCTURAL
ENGINEER:

TBD

SURVEYOR:

WEY MAYENBURG LAND SURVEYING INC.
250.656.5155
BRENT@WEYSURVEYS.COM

SHEET INDEX:

A0.0 COVER SHEET
A0.1 SITE PLAN & ZONING ANALYSIS
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GENERAL NOTES:

1. All drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co (HDC) and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of HDC whether the work is executed or not, and HDC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.

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PROJECT

9601 Fifth St.

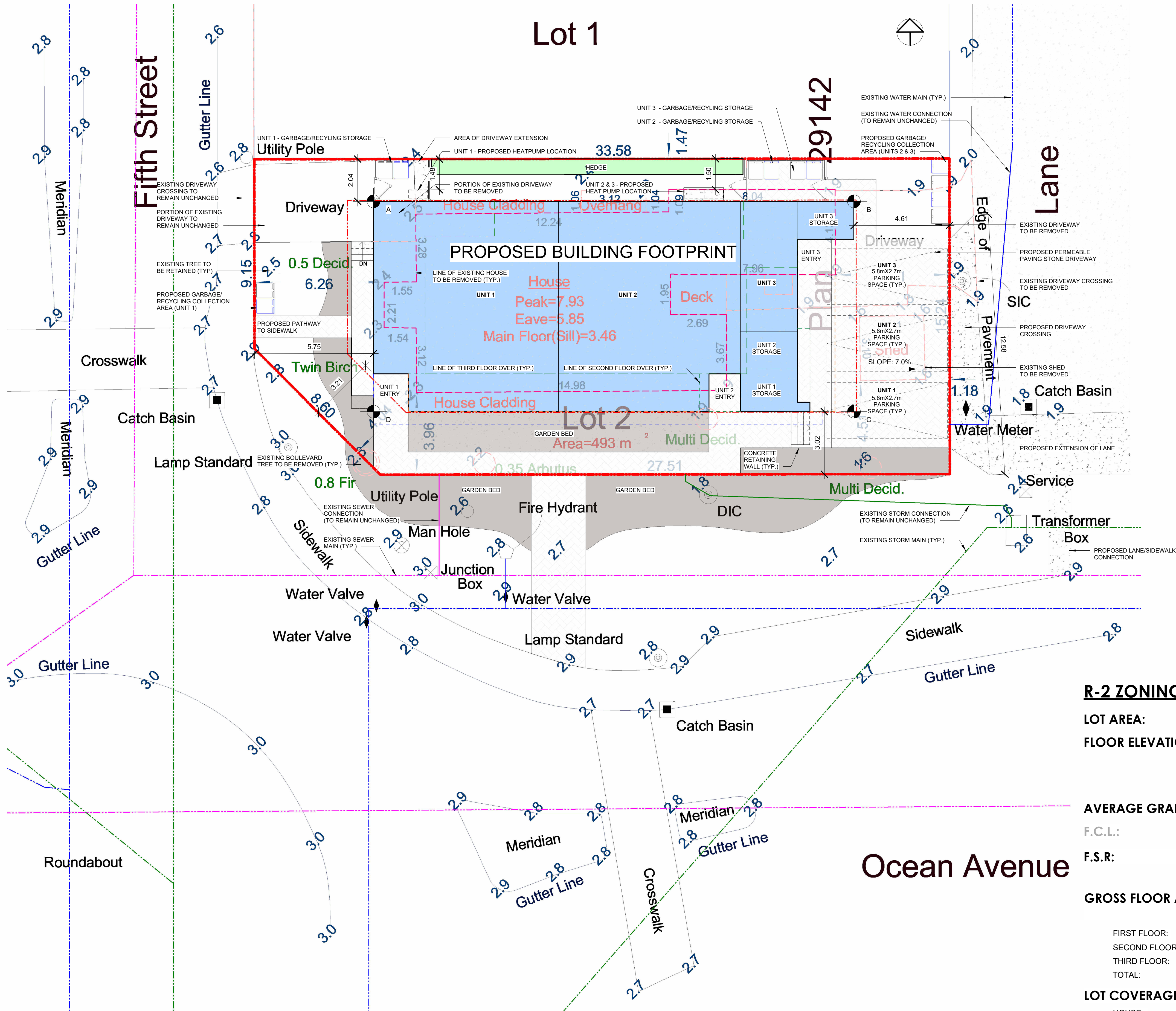
2441

ISSUE DATE: 25Jul09 REV 2

No.:	Description:	Date:
1	Issue for Client Review	25Jun17
2	Issue for Development Permit	25Jul09

Cover Sheet

A0.0



1 Site Plan
1 : 100

R-2 ZONING ANALYSIS:

LOT AREA:	493.0m2
FLOOR ELEVATIONS:	FIRST FLOOR: 3.00m SECOND FLOOR: 6.09m THIRD FLOOR: 9.19m PARKING: 2.85m

AVERAGE GRADE:	2.14m
F.C.L.:	4.36m

F.S.R:	ALLOWABLE
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NO RESTRICTION	
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GROSS FLOOR AREA:	ALLOWABLE
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FIRST FLOOR:	N/A
SECOND FLOOR:	N/A
THIRD FLOOR:	127.2m2 (181.7m2*0.70)
TOTAL:	N/A

LOT COVERAGE:	ALLOWABLE
HOUSE:	45.0% (221.9m2)

HEIGHT:	ALLOWABLE
HOUSE:	10.50m

SETBACKS:	ALLOWABLE
FRONT (W):	4.50m
REAR (E):	4.50m
SIDE (S):	3.00m
SIDE (N):	2.00m

PROPOSED	N/A
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PROPOSED UNIT 1	UNIT 2	UNIT 3	BUILDING
92.7m2	93.1m2	21.3m2	207.1m2
74.4m2	91.3m2	16.0m2	181.7m2
N/A	N/A	127.2m2	127.2m2
167.7m2	184.0m2	164.4m2	516.1m2

PROPOSED	44.6% (220.1m2)
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PROPOSED	10.42m
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PROPOSED	5.75m
	4.61m
	3.02m
	2.04m

AVERAGE GRADE CALC.	
POINT	ELEVATION
A	2.54m
B	1.90m
C	1.62m
D	2.49m
TOTAL	8.55 / 4 = 2.14m

<div></div>	SEWER
<div></div>	STORM
<div></div>	WATER

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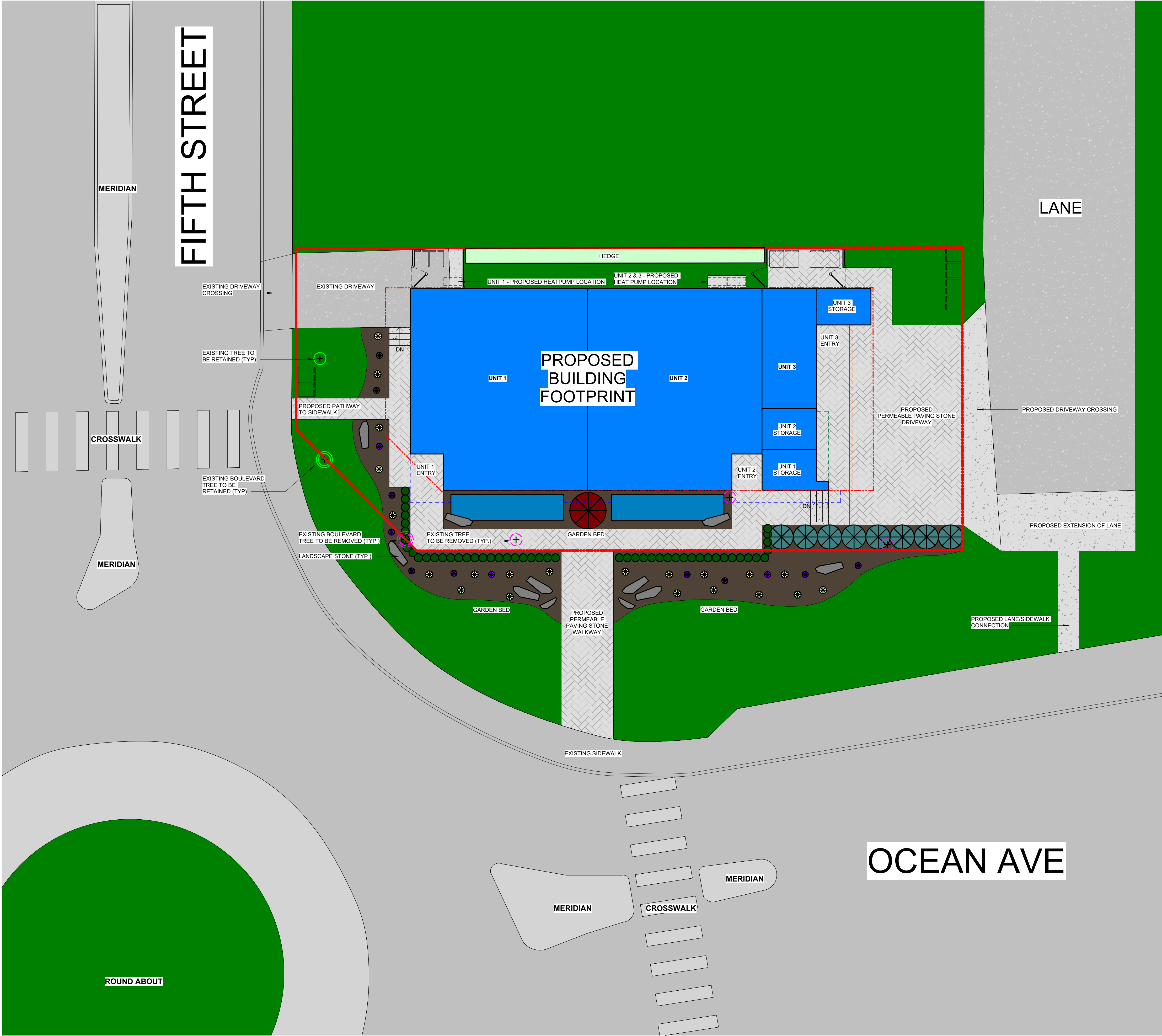
ISSUE DATE: 25Jun17 REV 1

No.: 1

Description: 25Jun17 Issue for Client Review

Site Plan & Zoning Analysis

A0.1



LANDSCAPE LEGEND	
GRASS	
TREES/SHRUBS	
PROPOSED STRUCTURE	
EARTH	
CONCRETE/ASPHALT	
PERMEABLE PAVING STONE	



PERMEABLE PAVING STONE
BELGARD - AQUALINE "NATURAL"



SWORD FERN



LAVENDER



REED GRASS



CEDAR HEDGE



JAPANESE MAPLE (DWARF)



BOXWOOD EVERGREEN SHRUB



CREEPING JUNIPER



LAUREL HEDGE

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ISSUE DATE: 25Jun17 REV 1

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Landscape Plan

A0.2



OCEAN AVENUE PERSPECTIVE



FIFTH STREET PERSPECTIVE



SOUTHEAST PERSPECTIVE



201-5325 Cordova Bay Road
Victoria, BC V8Y 2L3
250.999.9893
hello@hoyt.co | www.hoyt.co

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Development Perspectives

A0.3



SOUTHEAST PERSPECTIVE



LANE PERSPECTIVE



NORTHWEST PERSPECTIVE



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Development Perspectives

A0.4

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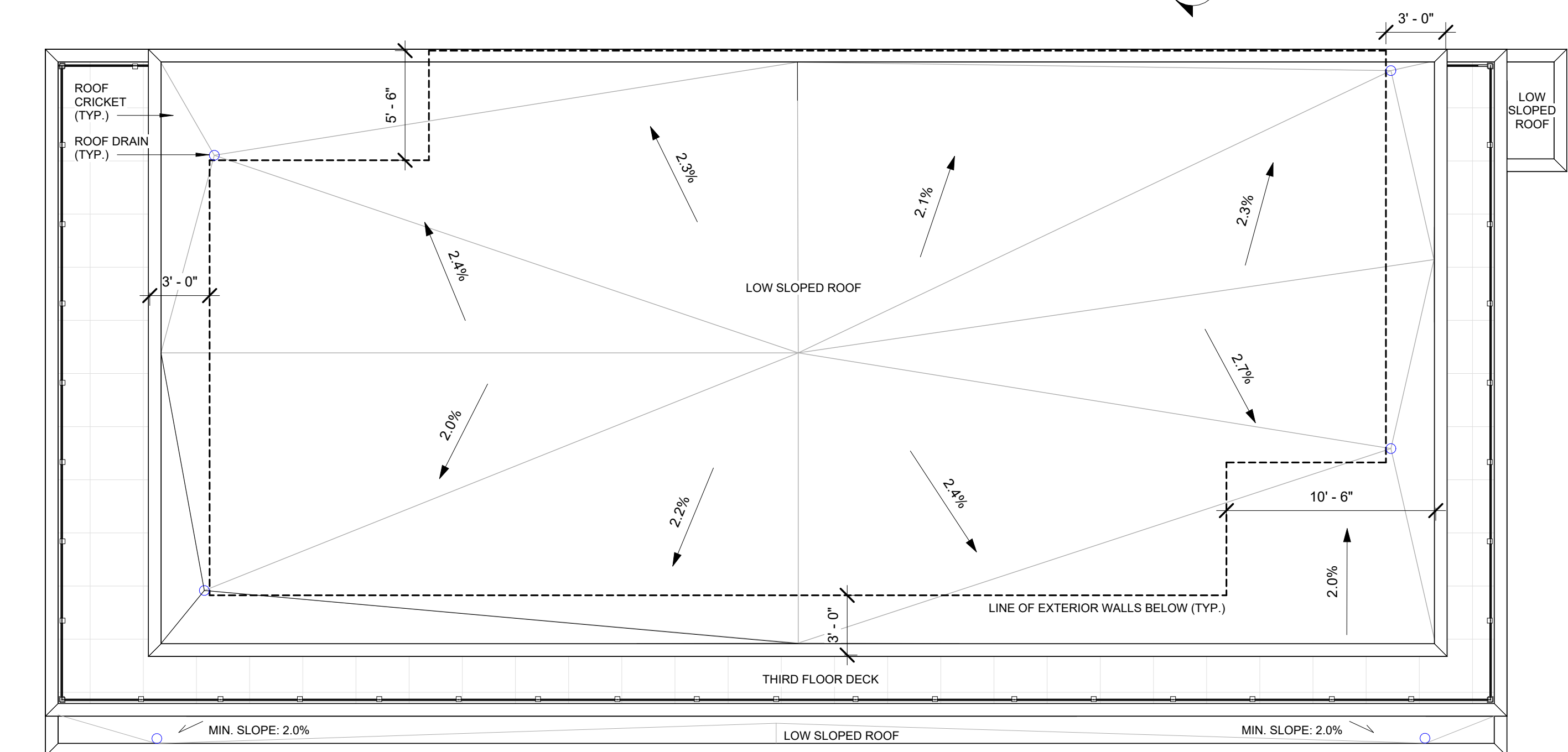
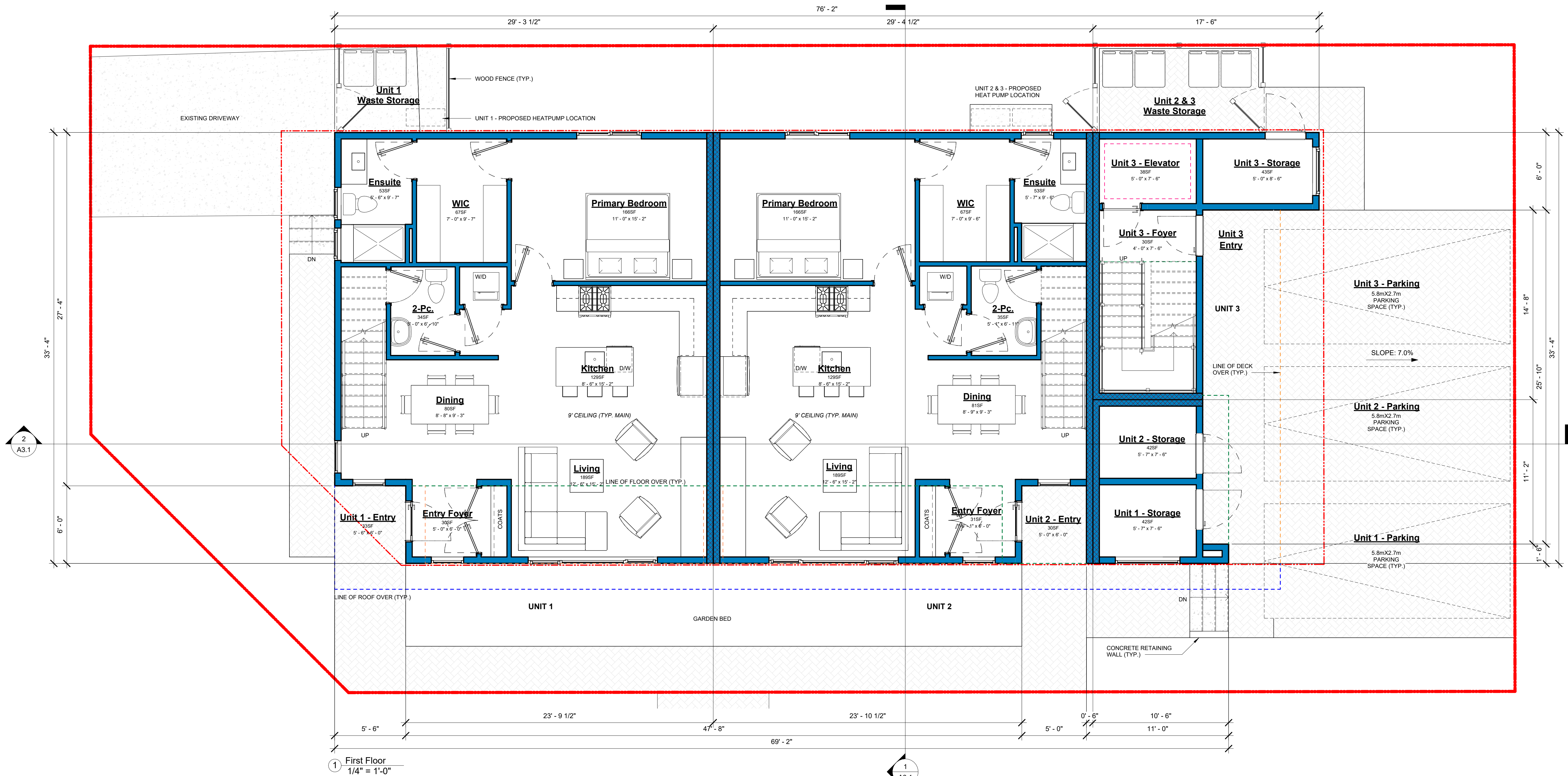
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First Floor & Roof Plans

A1.1



PLAN LEGEND	
WALL	
FIRE-RATED WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
S/C DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	

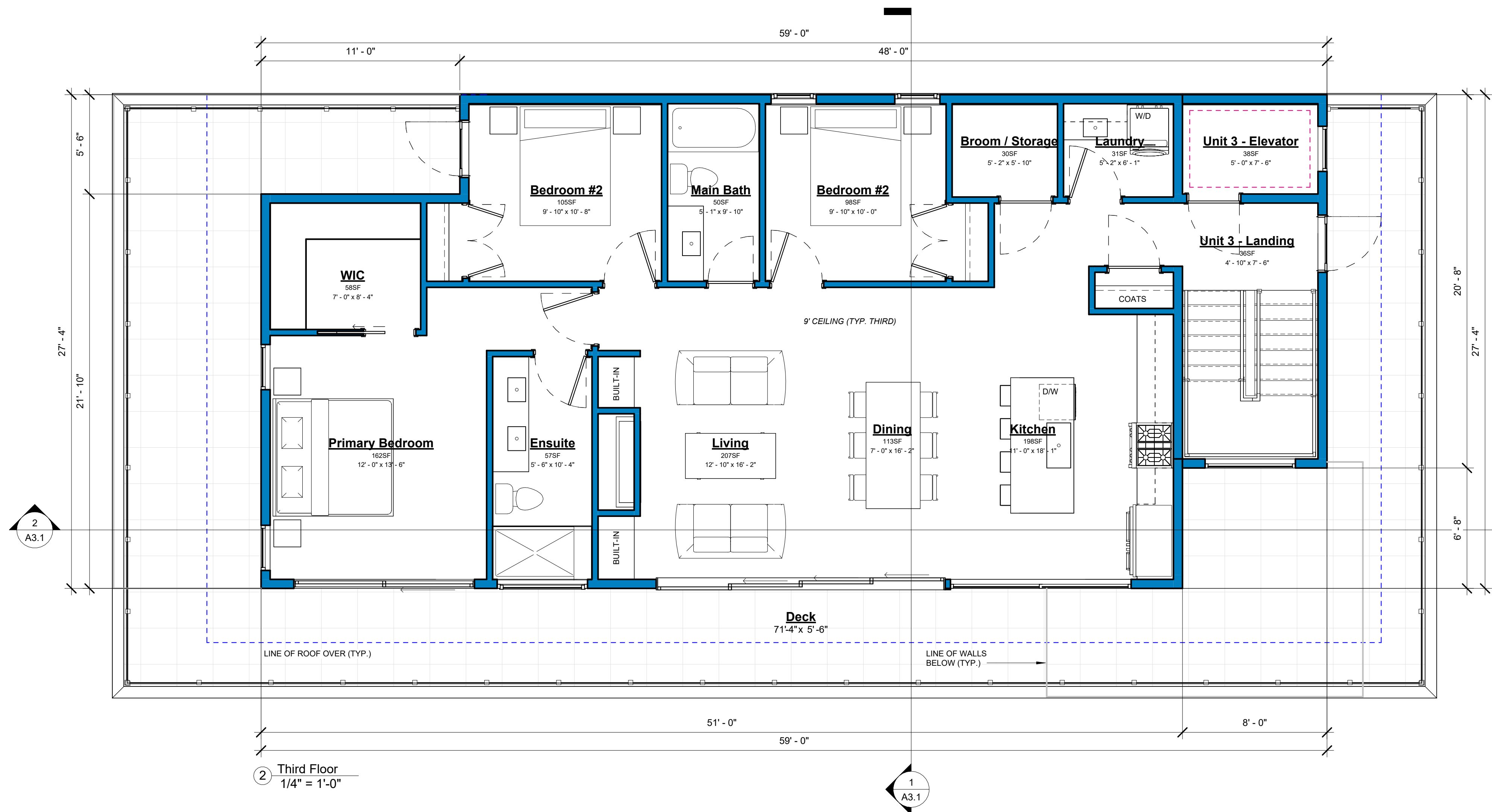
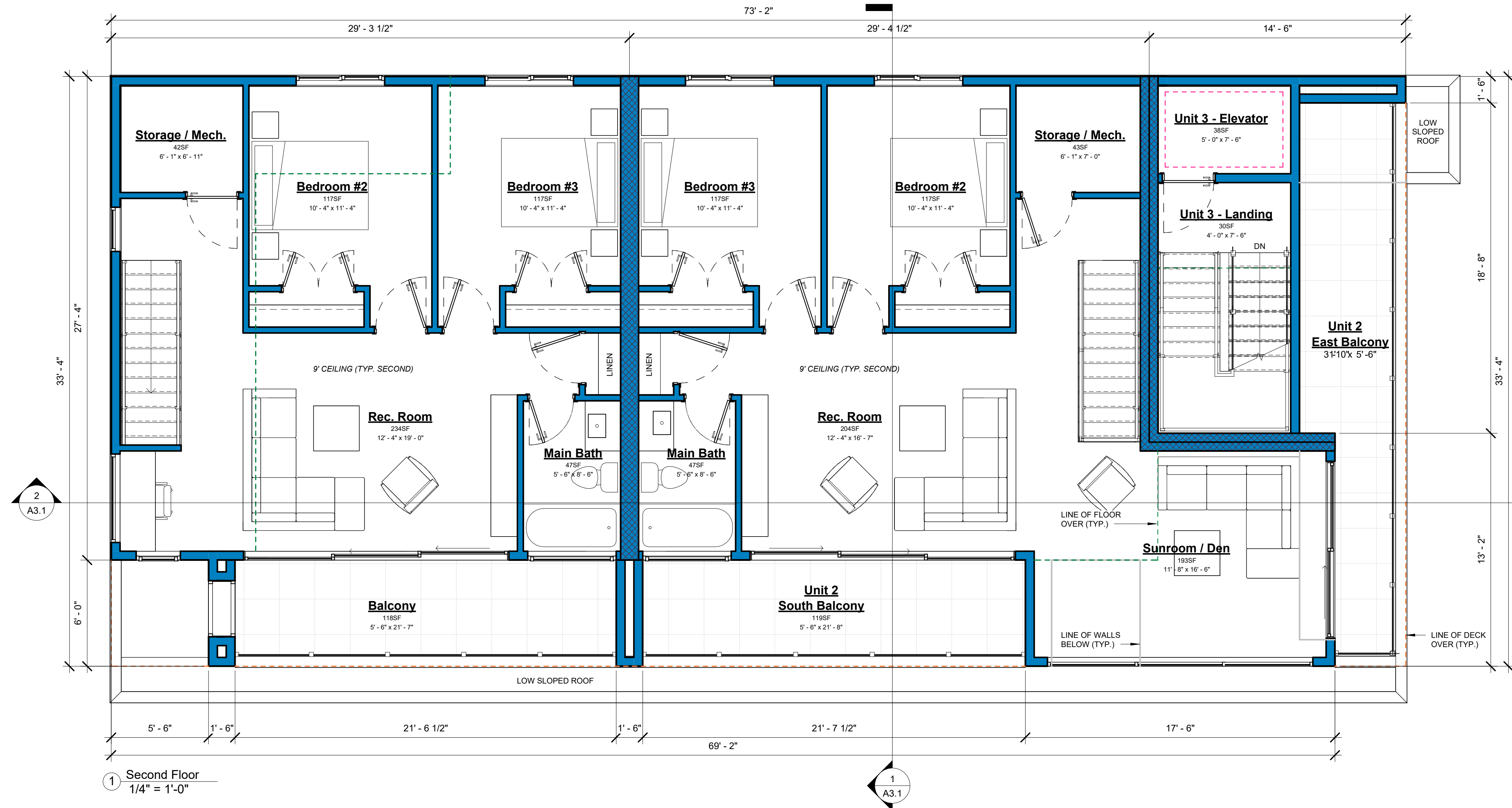
FLOOR AREA	UNIT 1:	UNIT 2:	UNIT 3:	BUILDING:
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THIRD FLOOR:	N/A	N/A	1369 SF	1369 SF
TOTAL LIVING SF:	1805 SF	1981 SF	1769 SF	5555 SF

DRAWING SCALE: 1/4" " = 1'-0" ALL MEASUREMENTS ARE IN FEET



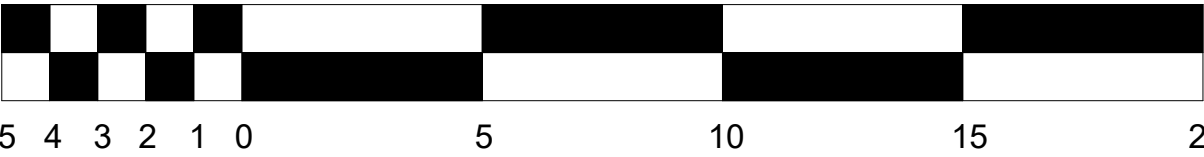
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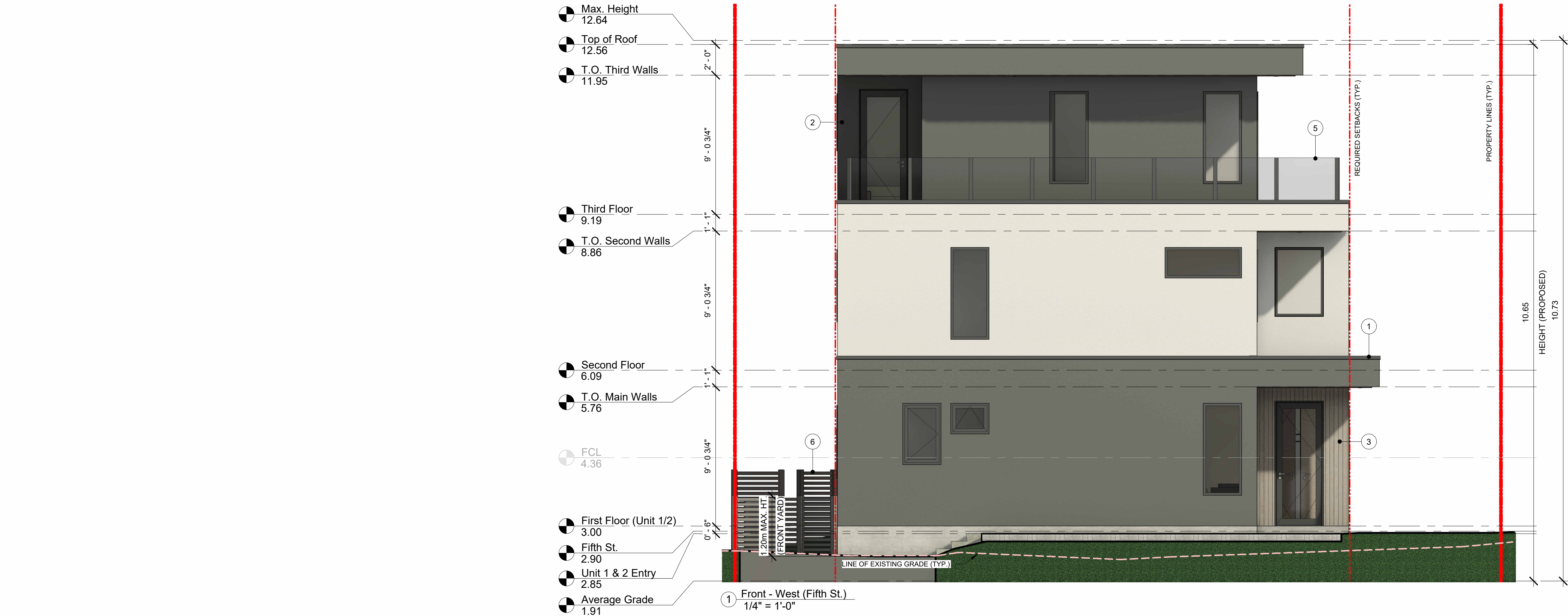
No.: 1

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Second & Third Floor
Plans

A1.2



EXTERIOR FINISH & COLOURS

ACRYLIC STUCCO
EX023 "ASH"

ACRYLIC STUCCO
EX024 "EBONY"

METAL CORRUGATED PANEL
EX024 "EBONY"

TRIM
EX024 "EBONY"

VERTICAL WOOD
SHIPLAP SIDING

LOW SLOPE ROOF
2-PLY MOD. BIT.

ELEVATION NOTES LEGEND

1

2 PLY MOD BIT. ROOFING

2

ACRYLIC STUCCO

3

VERTICAL WOOD SHIPLAP SIDING

4

CORRUGATED METAL PANEL

5

ALUMINUM GUARD RAIL WITH GLASS INSERTS

6

SOLID WOOD FENCE

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3.

4.





EXTERIOR FINISH & COLOURS	
ACRYLIC STUCCO EX023 "ASH"	
ACRYLIC STUCCO EX024 "EBONY"	
METAL CORRUGATED PANEL EX024 "EBONY"	
TRIM EX024 "EBONY"	
VERTICAL WOOD SHIPLAP SIDING	
LOW SLOPE ROOF 2-PLY MOD. BIT.	

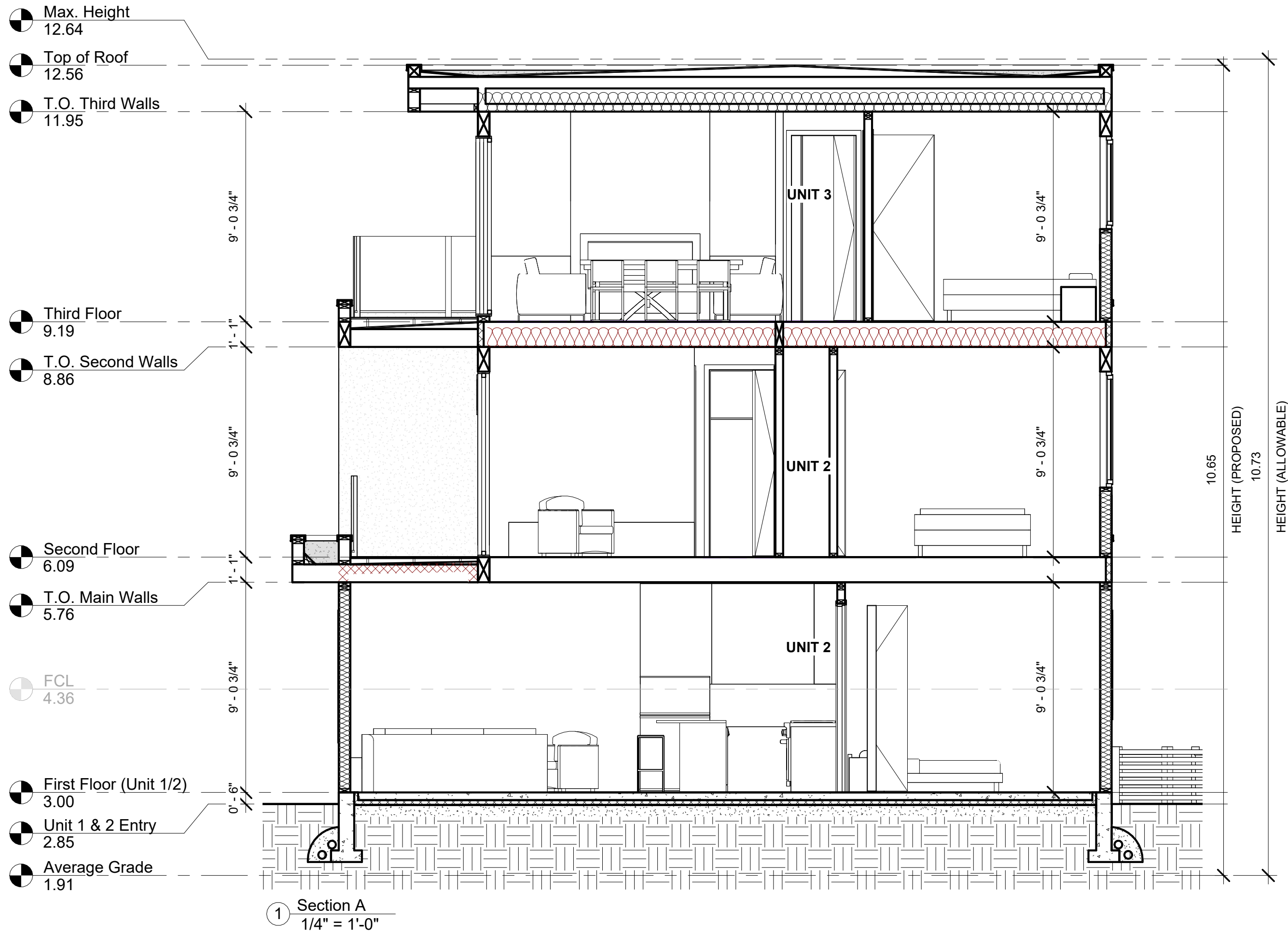
ELEVATION NOTES LEGEND	
1	2 PLY MOD BIT. ROOFING
2	ACRYLIC STUCCO
3	VERTICAL WOOD SHIPLAP SIDING
4	CORRUGATED METAL PANEL
5	ALUMINUM GUARD RAIL WITH GLASS INSERTS
6	SOLID WOOD FENCE

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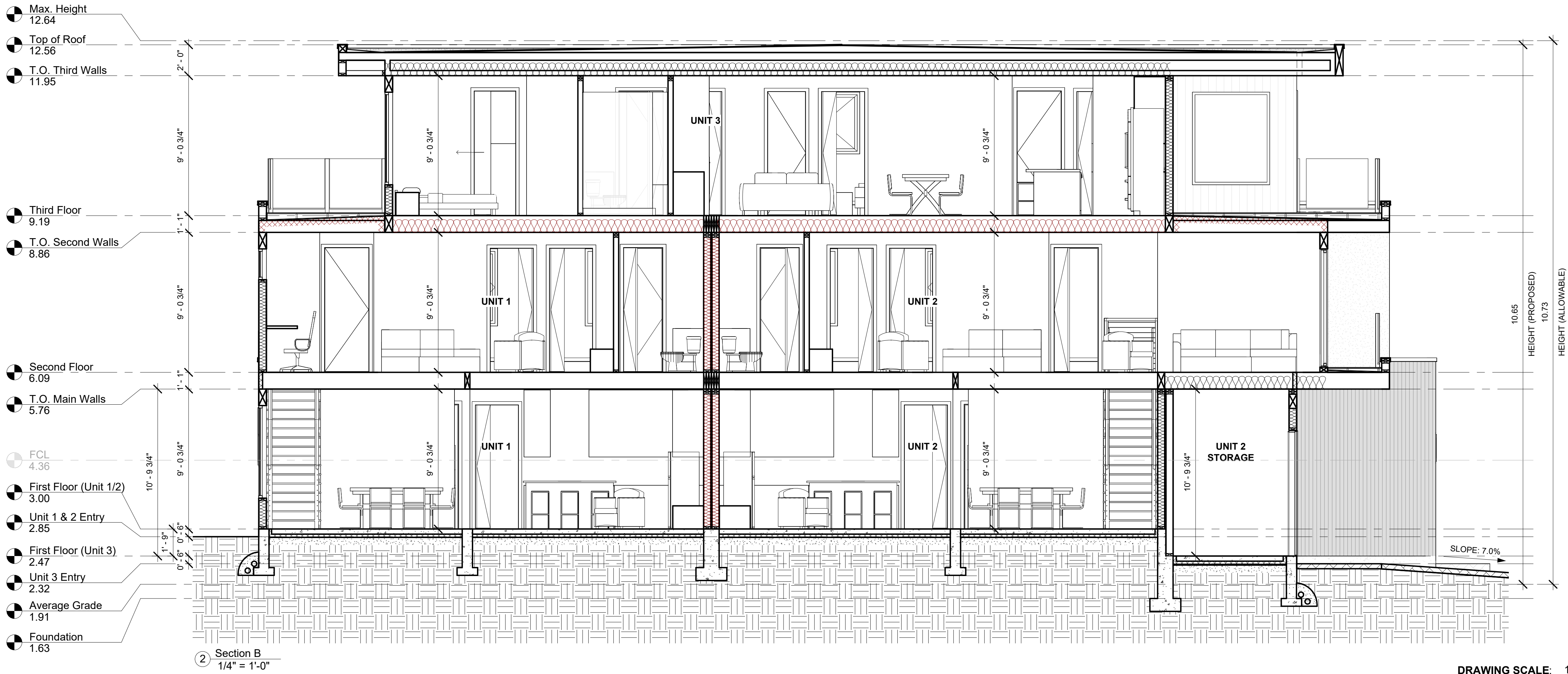
- FRAMING NOTES:
- ALL FRAMING TO BE IN ACCORDANCE WITH THE 2018 BC BUILDING CODE
 - ALL LUMBER TO BE SPF#2 OR BETTER UNLESS NOTED OTHERWISE
 - ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
 - ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN.
 - ALL LINTELS TO BE 2-PLY 2X10 U.N.O.
 - ALL CONCRETE TO BE MINIMUM 25MPa AT 28 DAYS
 - ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
 - TYPICAL DOOR / WINDOW HEAD HEIGHT:
BASEMENT 8'
MAIN FLOOR: 8'
SECOND FLOOR: 8'
 - ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER; FIELD TREAT ALL CUTS
 - DESIGN LOADS:
[SAANICH]:
Ss: 2.1kPa
Sr: 0.3kPa

PLAN LEGEND

WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
S/C DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	

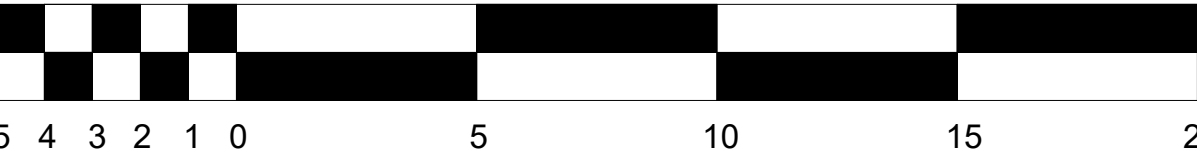
3-0
DENOTES 3' - 0"

3-0
DENOTES 3'0" X 5'0"



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1

Description:

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Sections

A3.1