

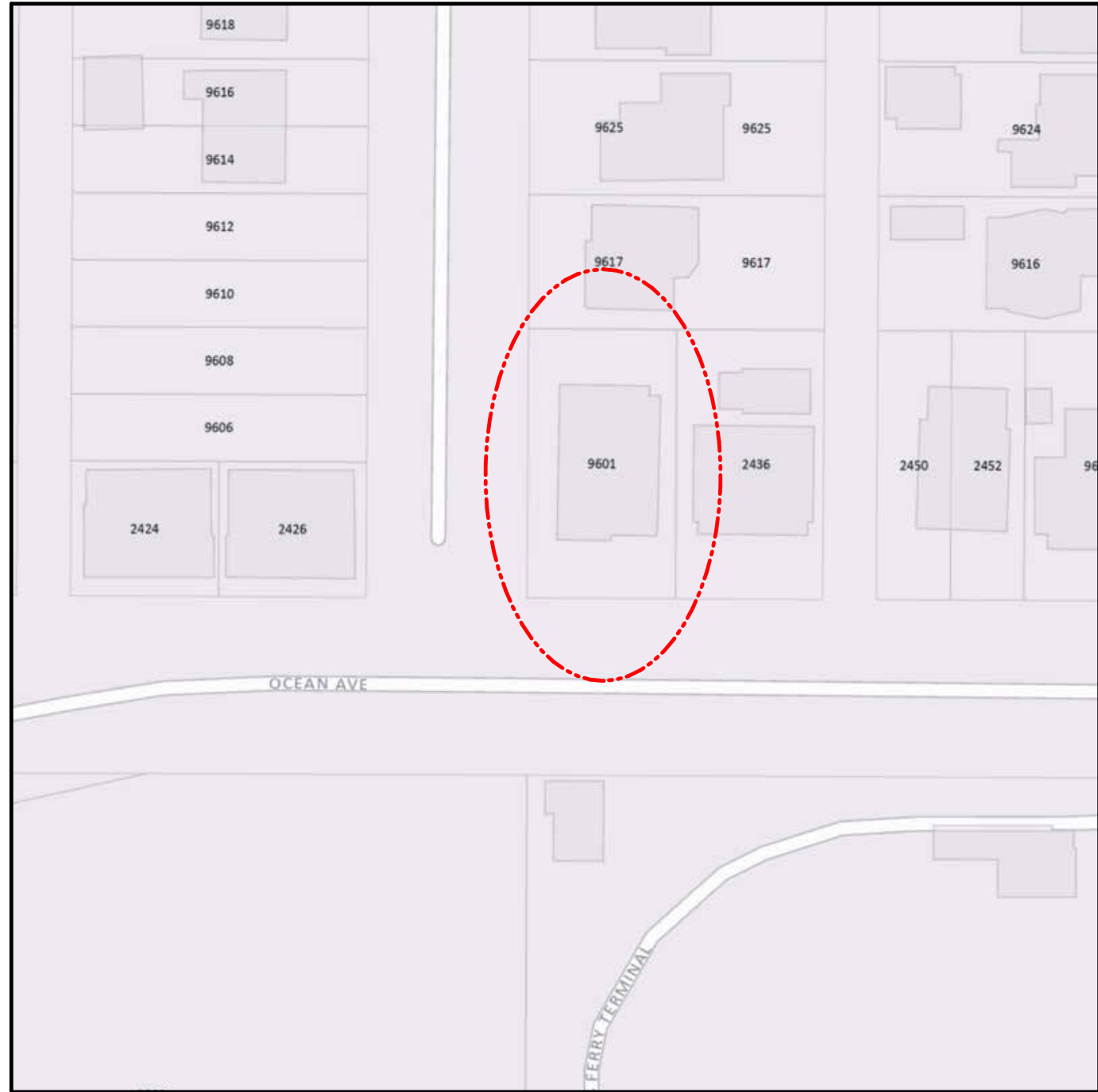
PROPOSED TRIPLEX:

9601 Fourth Street

SIDNEY, BC



KEY PLAN:



PROJECT INFORMATION:

SITE ADDRESS: 9601 FOURTH ST.
SIDNEY, BC
V8L 2Y5

LOT 6, BLOCK 23, PLAN VIP 1552,
SECTION 10, RANGE 4E,
NORTH SAANICH LAND DISTRICT

PID: 007-210-043

PROJECT DIRECTORY:

DESIGNER: HOYT DESIGN CO.
250.999.9893
HELLO@HOYT.CO

GENERAL CONTRACTOR: LIVIN LARGE PROPERTIES
RLARGE@LIVINLARGEPROPERTIES.CA
250.208.7306

STRUCTURAL ENGINEER: TBD

SURVEYOR: WEY MAYENBURG LAND SURVEYING INC.
250.656.5155
BRENT@WEYSURVEYS.COM

SCOPE OF WORK:

CONSTRUCTION OF A NEW TRIPLEX

SHEET INDEX:

A0.0 COVER SHEET
A0.1 SITE PLAN & ZONING ANALYSIS
A0.2 LANDSCAPE PLAN
A0.3 DEVELOPMENT PERSPECTIVES

A1.1 FIRST & SECOND FLOOR PLANS
A1.2 THIRD FLOOR & ROOF PLANS

A2.1 ELEVATIONS
A2.2 ELEVATIONS

A3.1 SECTIONS

GENERAL NOTES:

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No.:		Description:		Date:	
1	2	3	4	5	6
25Apr21	Concept 1	25May05	Concept 2	25Jun09	Issue for Coordination
25Jul11	Issue for Development Permit	25Aug21	Issue for Coordination REV 1	25Sep08	Development Permit REV 1

R1 ZONING ANALYSIS:

LOT AREA:	512.0m2	
FLOOR ELEVATIONS:	FIRST FLOOR:	3.06m
	SECOND FLOOR:	6.15m
	THIRD FLOOR:	9.25m
	GARAGE SLAB:	2.30m

AVERAGE GRADE:	2.24m	
F.C.L.:	4.32m	

F.S.R:	ALLOWABLE	PROPOSED
	NO RESTRICTION	N/A

GROSS FLOOR AREA:	ALLOWABLE	PROPOSED
	UNIT 1	UNIT 2
FIRST FLOOR:	61.3m2	64.5m2
SECOND FLOOR:	94.4m2	41.8m2
THIRD FLOOR:	N/A	152.3m2
GARAGE:	28.2m2 (EXEMPT)	34.1m2 (EXEMPT)
UNIT / BUILDING TOTAL:	155.7m2	212.2m2

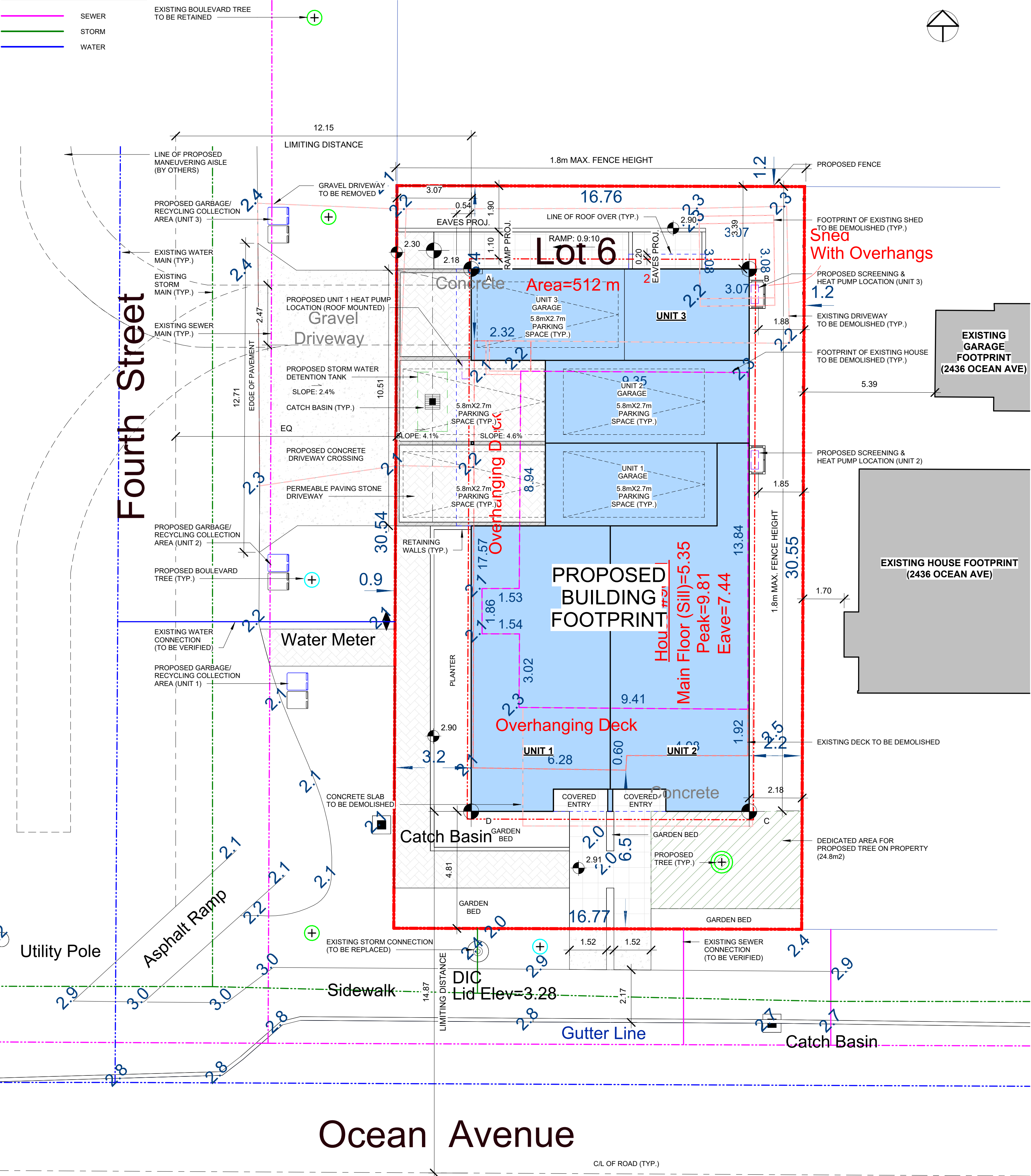
LOT COVERAGE:	ALLOWABLE	PROPOSED
HOUSE:	50.0% (256.0m2)	49.8% (255.0m2)

HEIGHT:	ALLOWABLE	PROPOSED
HOUSE:	10.5m	10.38m

SETBACKS:	ALLOWABLE	PROPOSED
FRONT (S):	4.5m	4.81m
REAR (N):	3.0m	3.39m
SIDE (W):	3.0m	3.07m
SIDE (E):	2.0m	2.18m

UNIT 2	UNIT 3	BUILDING
64.5m2	18.1m2	143.9m2
94.4m2	41.8m2	230.6m2
N/A	152.3m2	152.3m2
34.1m2 (EXEMPT)	24.6m2 (EXEMPT)	86.9m2 (EXEMPT)
158.9m2	212.2m2	526.9m2

AVERAGE GRADE CALC.		PARKING AREA CALCULATION	
POINT	ELEVATION (HOUSE)	AREA OF EXTERIOR SIDE YARD (W):	95.3m2
A	2.21m	PERCENTAGE OF PARKING AREA ALLOWABLE:	50.0%
B	2.24m	AREA OF PARKING SURFACE AREA ALLOWABLE:	47.7m2
C	2.43m	(95.3m2*0.50)	
D	2.08m	AREA OF PARKING AREA PROPOSED:	37.3m2
		PERCENTAGE OF PARKING AREA PROPOSED:	39.1%
TOTAL	8.96 / 4 = 2.24m		



1 Site Plan 1 : 100 NOTE: NO EXISTING TREES ON LOT



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Victoria, BC V8Y 2L3
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hello@hoyt.co | www.hoyt.co

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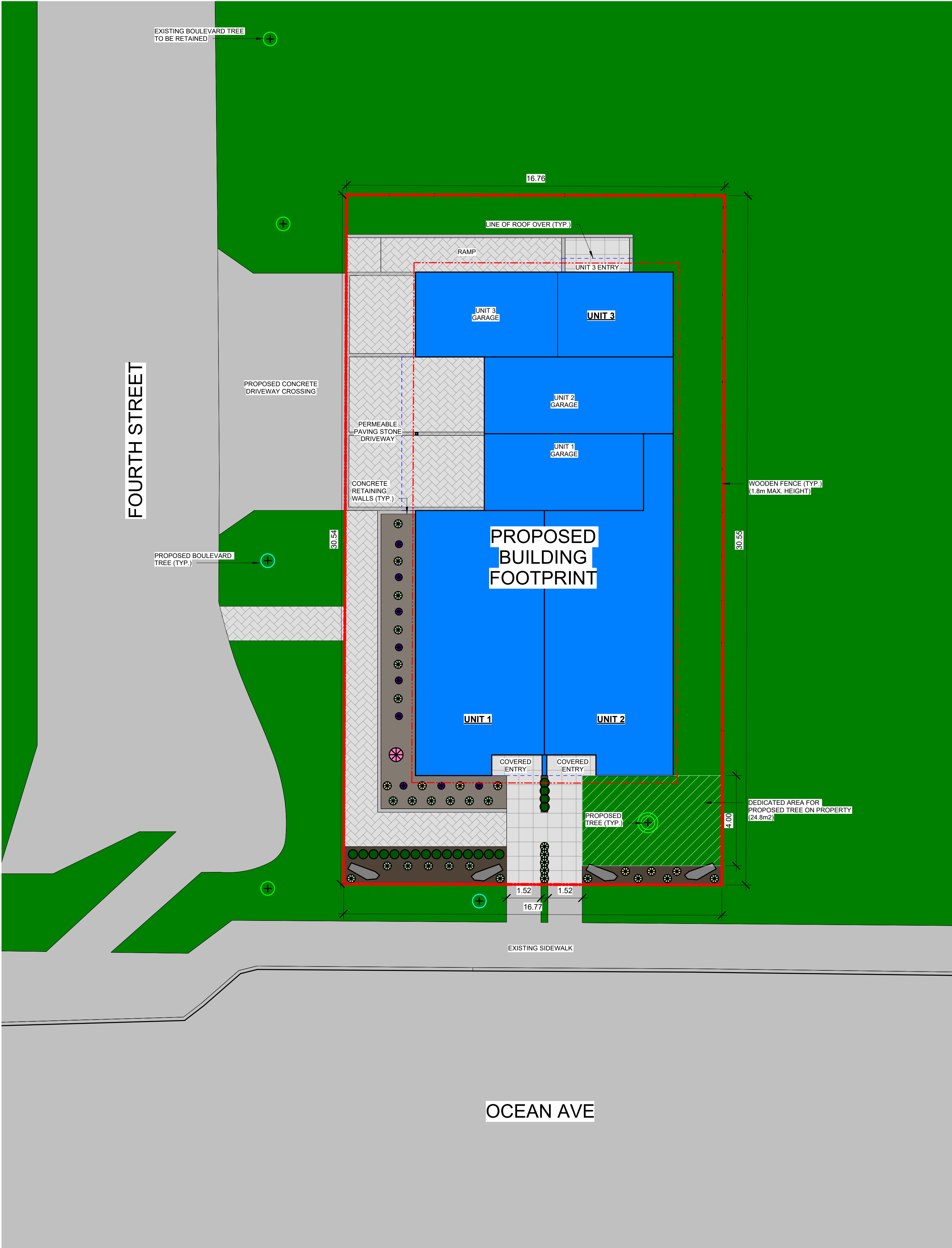
PROJECT

ISSUE DATE: 25Sep08 REV 6

No.:	Description:	Date:
1	Concept 1	25Apr21
2	Concept 2	25May05
3	Issue for Coordination	25Jun09
4	Issue for Development Permit	25Jul11
5	Issue for Coordination REV 1	25Aug21
6	Development Permit REV 1	25Sep08

Site Plan & Zoning Analysis

A0.1



1 Landscape Plan
1 : 100

LANDSCAPE LEGEND	
GRASS	
TREES/SHRUBS	
PROPOSED STRUCTURE	
EARTH	
CONCRETE/ASPHALT	
PERMEABLE PAVING STONE	
CONCRETE PAVERS	



FERN



LAVENDER



REED GRASS



CEDAR HEDGE



RHODODENDRON



PERMEABLE PAVING STONE
BELGARD - AQUALINE "NATURAL"



CONCRETE PAVERS
BELGARD - DIMENSIONS "SCANDINA GRAY"



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PROJECT

9601 Fourth St.

2514

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Landscape Plan

A0.2



WEST PERSPECTIVE (FOURTH ST.)



NORTHWEST PERSPECTIVE



SOUTHWEST PERSPECTIVE



SOUTHEAST PERSPECTIVE



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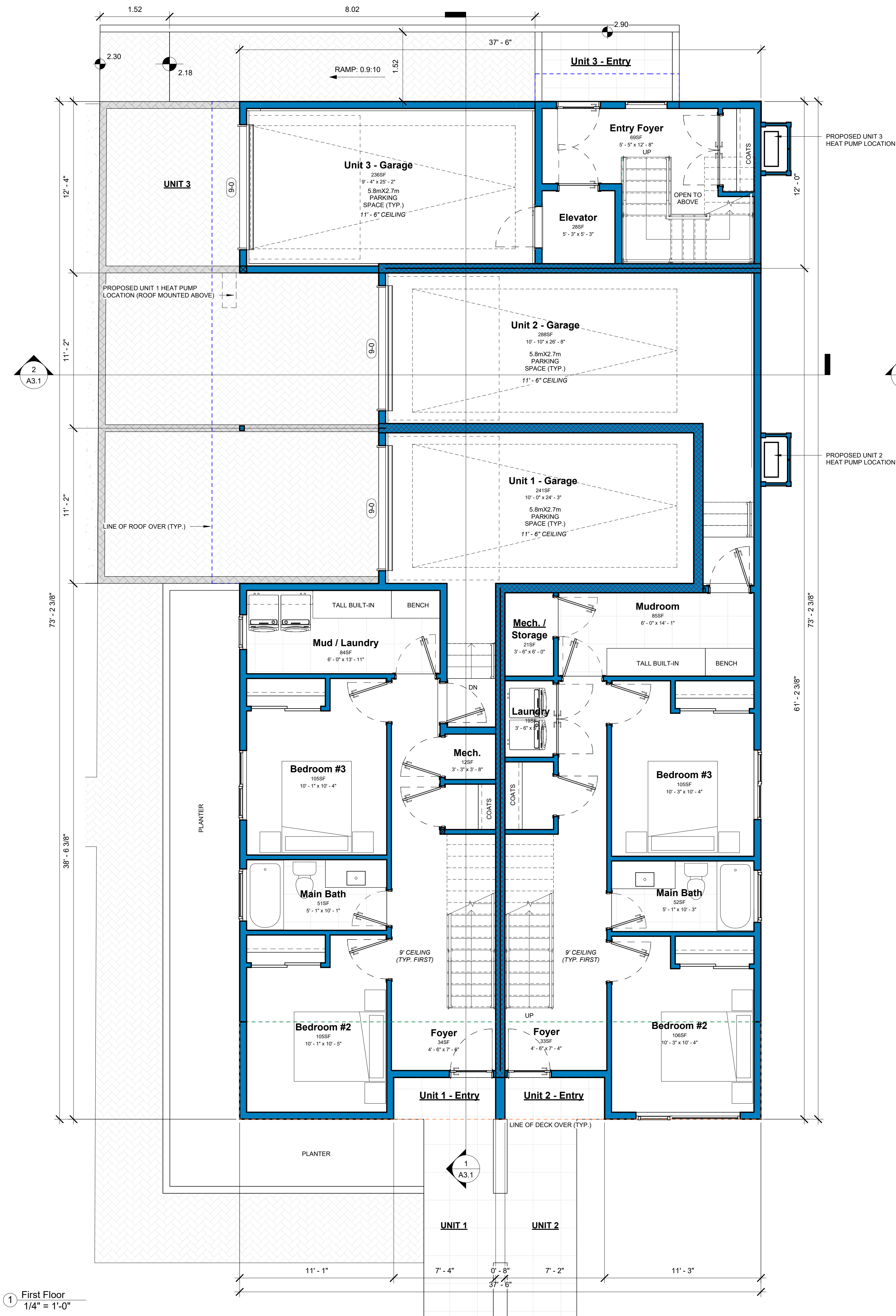
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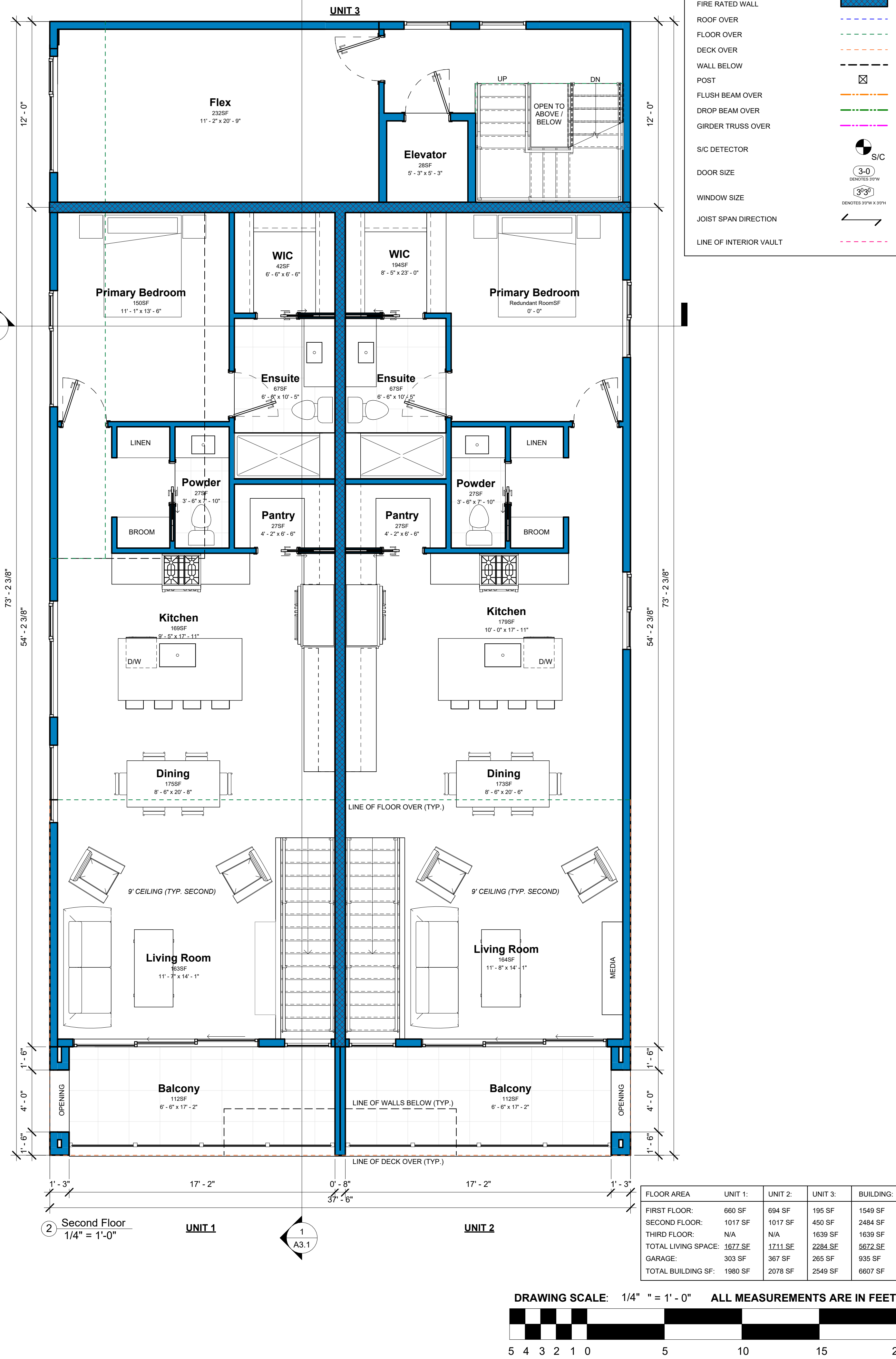
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Development Perspectives

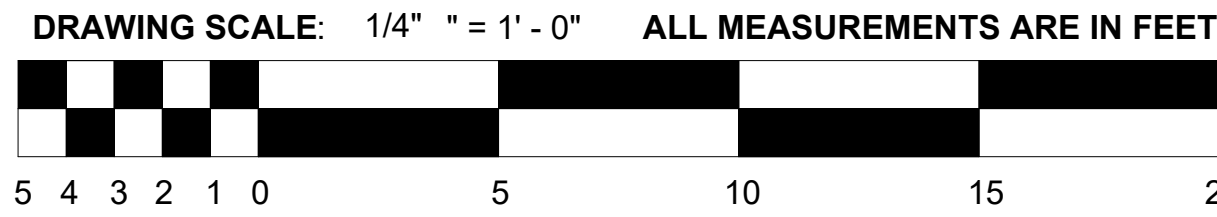
A0.3



1 First Floor
1/4" = 1'-0"



FLOOR AREA	UNIT 1:	UNIT 2:	UNIT 3:	BUILDING:
FIRST FLOOR:	660 SF	694 SF	195 SF	1549 SF
SECOND FLOOR:	1017 SF	1017 SF	450 SF	2484 SF
THIRD FLOOR:	N/A	N/A	1639 SF	1639 SF
TOTAL LIVING SPACE:	1677 SF	1711 SF	2284 SF	5672 SF
GARAGE:	303 SF	367 SF	265 SF	935 SF
TOTAL BUILDING SF:	1980 SF	2078 SF	2549 SF	6607 SF



PLAN LEGEND

- WALL
- FIRE RATED WALL
- ROOF OVER
- FLOOR OVER
- DECK OVER
- WALL BELOW
- POST
- FLUSH BEAM OVER
- DROP BEAM OVER
- GIRDER TRUSS OVER
- S/C DETECTOR
- DOOR SIZE
- WINDOW SIZE
- JOIST SPAN DIRECTION
- LINE OF INTERIOR VAULT

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First & Second Floor
Plans

A1.1

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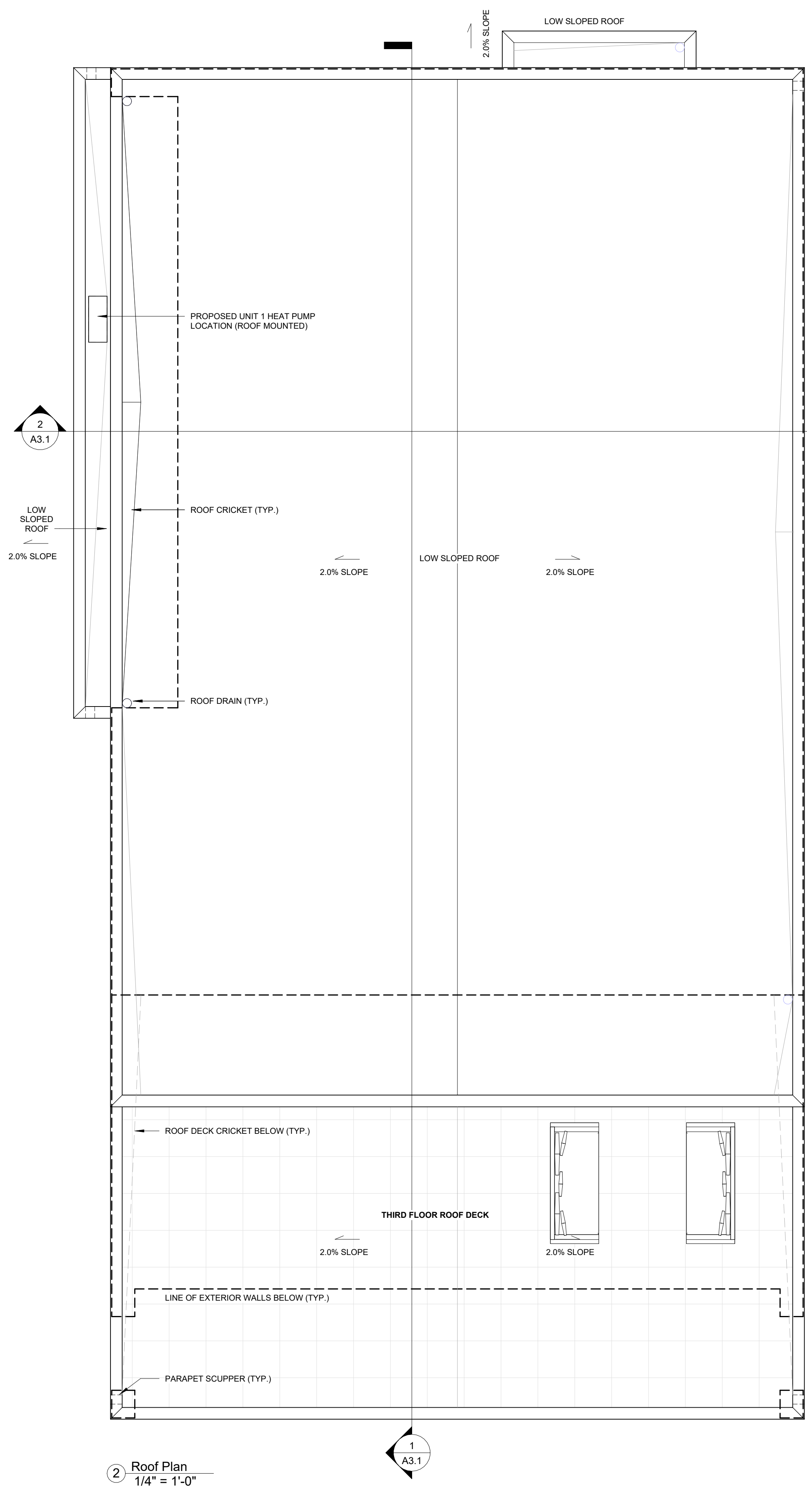
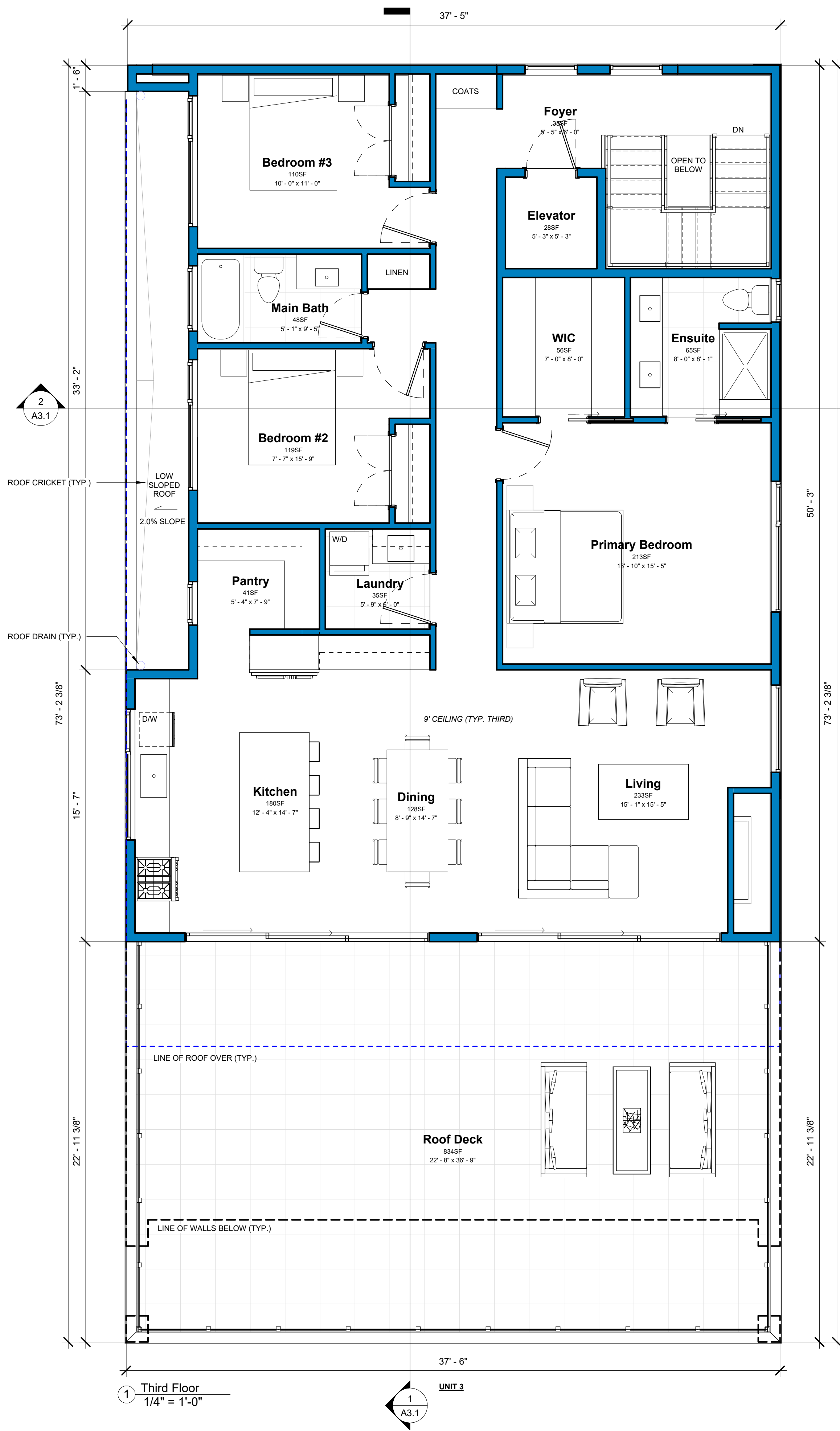
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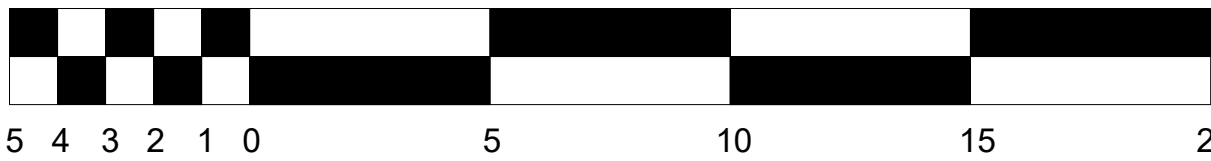
Third Floor & Roof Plans

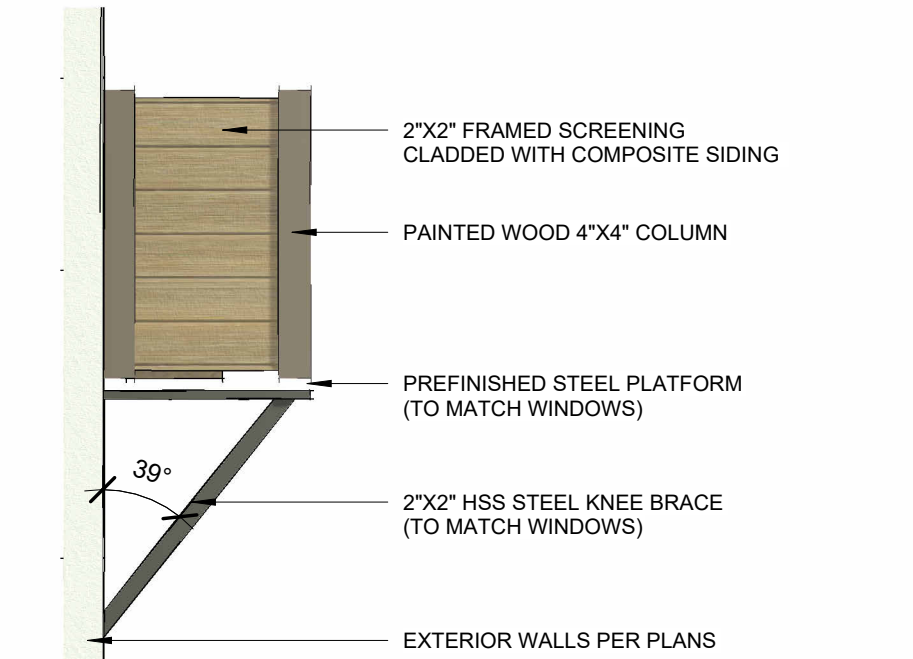
A1.2



FLOOR AREA	UNIT 1:	UNIT 2:	UNIT 3:	BUILDING:
FIRST FLOOR:	660 SF	694 SF	195 SF	1549 SF
SECOND FLOOR:	1017 SF	1017 SF	450 SF	2484 SF
THIRD FLOOR:	N/A	N/A	1639 SF	1639 SF
TOTAL LIVING SPACE:	1677 SF	1711 SF	2284 SF	5672 SF
GARAGE:	303 SF	367 SF	265 SF	935 SF
TOTAL BUILDING SF:	1980 SF	2078 SF	2549 SF	6607 SF

DRAWING SCALE: 1/4" " = 1' - 0" ALL MEASUREMENTS ARE IN FEET





3 Heat Pump - Screening (Side)
1/2" = 1'-0"



4 Heat Pump - Screening (Front)
1/2" = 1'-0"

SOUTH ELEVATION SPATIAL SEPARATION	
AREA OF EXPOSING BUILDING FACE: LIMITING DISTANCE (TO C/L OF ROAD):	103.9m ² 14.87m
PERCENTAGE OF GLAZED AREA ALLOWABLE: AREA OF GLAZED OPENINGS ALLOWABLE: (103.9m ² ÷0.735)	73.5% 76.4m ²
AREA OF GLAZED OPENINGS PROPOSED:	59.4m ²
PERCENTAGE OF GLAZED AREA PROPOSED:	57.1%

WEST ELEVATION SPATIAL SEPARATION	
AREA OF EXPOSING BUILDING FACE: LIMITING DISTANCE (TO C/L OF ROAD):	188.4m ² 12.15m
PERCENTAGE OF GLAZED AREA ALLOWABLE: AREA OF GLAZED OPENINGS ALLOWABLE: (188.4m ² ÷0.55)	55.0% 103.6m ²
AREA OF GLAZED OPENINGS PROPOSED:	33.2m ²
PERCENTAGE OF GLAZED AREA PROPOSED:	17.6%

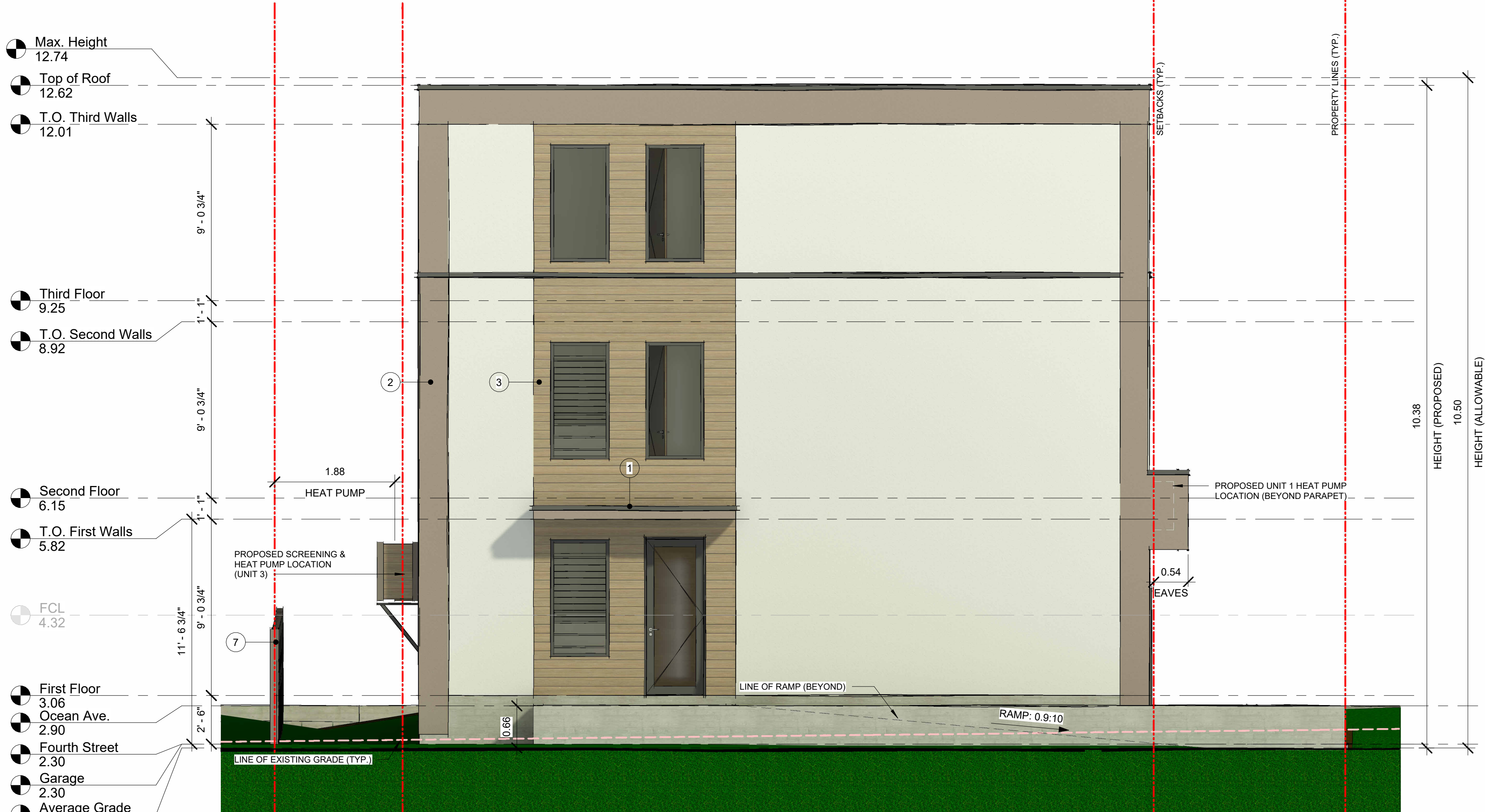
EXTERIOR FINISH & COLOURS	
ACRYLIC STUCCO 2151-70 - "POWDER SAND"	
ACRYLIC STUCCO CW-65 - "GUNSMITH GRAY"	
METAL CORRUGATED PANEL 1602 - "GUNMETAL"	
ACCENT 1609 - "TEMPTATION"	
SHIPLAP COMPOSITE SIDING	
SOFFIT VENTED ALUMINUM (BLACK)	

ELEVATION NOTES LEGEND	
1	2 PLY MOD BIT. ROOFING
2	ACRYLIC STUCCO
3	COMPOSITE SHIPLAP SIDING
4	CORRUGATED METAL PANEL
5	4X4 HSS STEEL POST
6	ALUMINUM GUARD RAIL WITH GLASS INSERTS
7	SOLID WOOD FENCE



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1 Rear - North
1/4" = 1'-0"

NORTH ELEVATION SPATIAL SEPARATION	
AREA OF EXPOSING BUILDING FACE: LIMITING DISTANCE:	118.2m ² 3.39m
PERCENTAGE OF GLAZED AREA ALLOWABLE: AREA OF GLAZED OPENINGS ALLOWABLE: (118.2m ² ×0.10)	10.0% 11.8m ²
AREA OF GLAZED OPENINGS PROPOSED:	10.9m ²
PERCENTAGE OF GLAZED AREA PROPOSED:	9.2%

EAST ELEVATION SPATIAL SEPARATION	
AREA OF EXPOSING BUILDING FACE: LIMITING DISTANCE:	186.0m ² 2.09m
PERCENTAGE OF GLAZED AREA ALLOWABLE: AREA OF GLAZED OPENINGS ALLOWABLE: (186.0m ² ×0.08)	8.0% 14.9m ²
AREA OF GLAZED OPENINGS PROPOSED:	14.2m ²
PERCENTAGE OF GLAZED AREA PROPOSED:	7.6%

EXTERIOR FINISH & COLOURS	
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ACRYLIC STUCCO CW-65 - "GUNSMITH GRAY"	
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ACCENT 1609 - "TEMPTATION"	
SHIPLAP COMPOSITE SIDING	
SOFFIT VENTED ALUMINUM (BLACK)	

ELEVATION NOTES LEGEND	
1	2 PLY MOD BIT. ROOFING
2	ACRYLIC STUCCO
3	COMPOSITE SHIPLAP SIDING
4	CORRUGATED METAL PANEL
5	4X4 HSS STEEL POST
6	ALUMINUM GUARD RAIL WITH GLASS INSERTS
7	SOLID WOOD FENCE



2 Side - East
1/4" = 1'-0"

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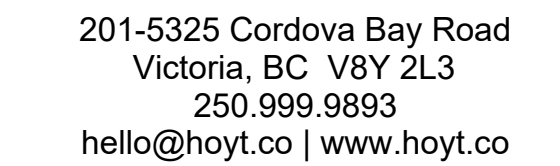
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Elevations

A2.2



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As drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co (HDC) are used in the design and construction of the instruments of service for the work shown in them the "OWNER" hereby certifies that it has been advised by HDC whether the work (several or not, and HDC certifies that the work was not) was or was not executed from them, and they shall not be used for any other purpose.

It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as agreed upon in writing with the Designer. The Contractor shall notify the Designer of any errors, omissions, or discrepancies in the drawings prior to commencement of the work. Commencement of the work constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, noted, and acceptable.

The Contractor shall work with a G.C.L.S. to verify all dimensions and elevations and to construct the proposed buildings or structures on the property prior to commencing the work. The Contractor shall be responsible for any encroachments with respect to elevation, siting or placement of buildings or structures on the property. The Contractor shall place placement shall be confirmed with a G.C.L.S.

The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of the construction of the work. The Contractor has the work as required by the Authority Having Jurisdiction. The Contractor shall notify HDC of any changes to the design and construction of the work. The Contractor shall notify HDC of any changes to the design and construction of the work. The Contractor shall notify HDC of any changes to the design and construction of the work. The Contractor shall notify HDC of any changes to the design and construction of the work.

9601 Fourth St.

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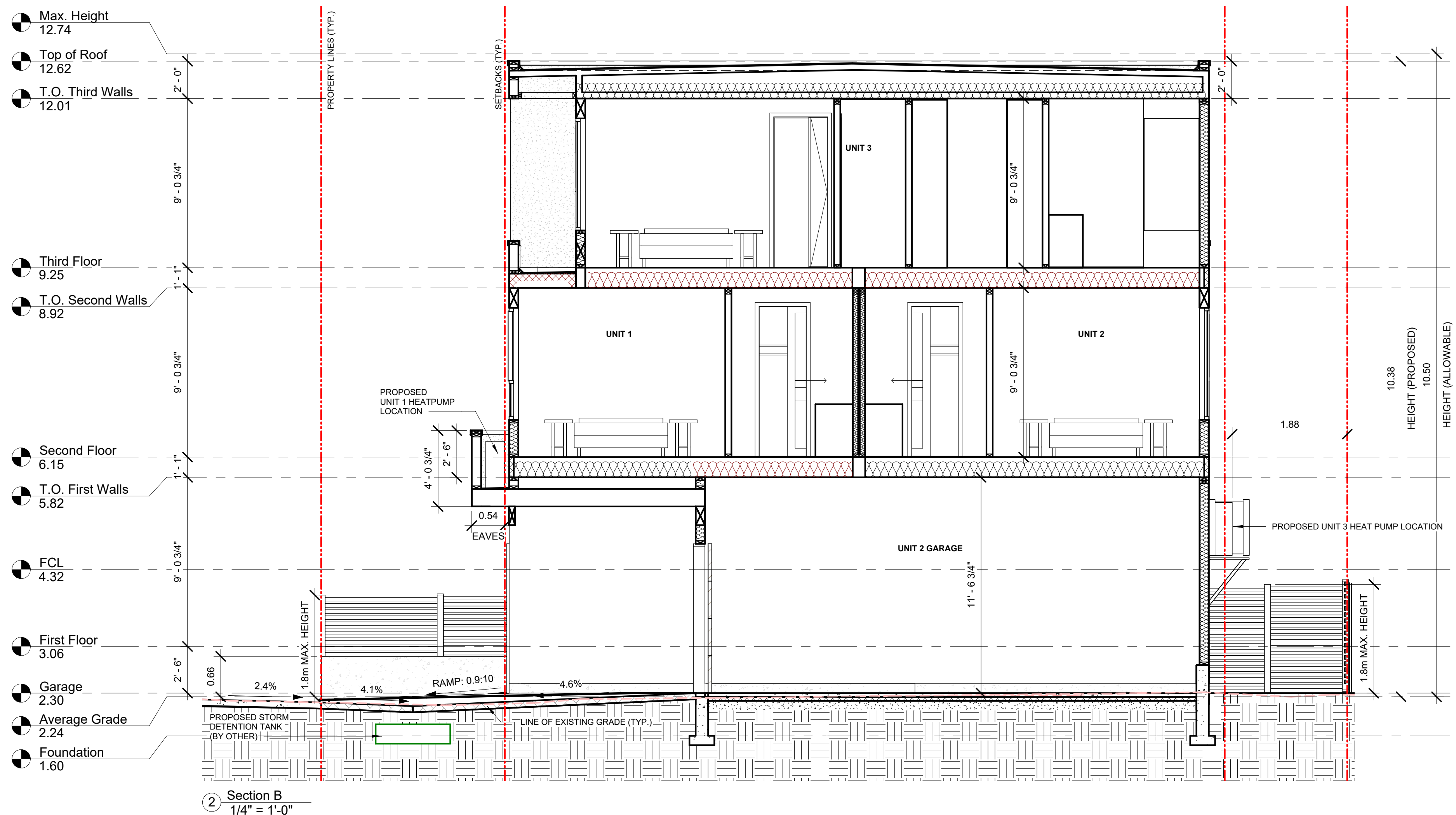
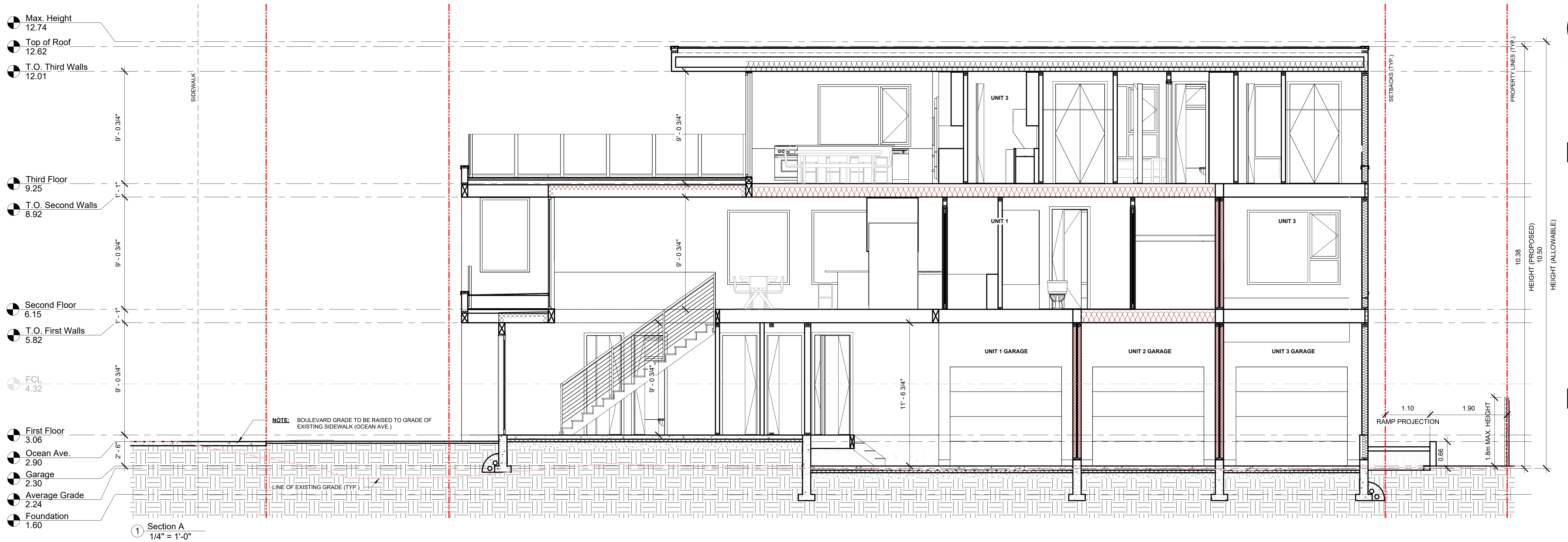
PROJECT














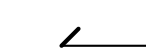

ISSUE DATE: 25Sep08 REV 6

Date:	Description:	No.:
25Apr21	Concept 1	1
25May05	Concept 2	2
25Jun09	Issue for Coordination	3
25Jul11	Issue for Development Permit	4
25Aug21	Issue for Coordination REV 1	5
25Sep08	Development Permit REV 1	6

Sections

A3.1



PLAN LEGEND			
WALL			
FIRE RATED WALL			
ROOF OVER			
FLOOR OVER			
DECK OVER			
WALL BELOW			
POST			
FLUSH BEAM OVER			
DROP BEAM OVER			
GIRDER TRUSS OVER			
S/C DETECTOR	 S/C		
DOOR SIZE	 3-0 <small>DENOTED 3'0"</small>		
WINDOW SIZE	 3'0" x 3'0" <small>DENOTED 3'0" X 3'0"</small>		
JOIST SPAN DIRECTION			
LINE OF INTERIOR VAULT			

FLOOR AREA	UNIT 1:	UNIT 2:	UNIT 3:	BUILDING:
FIRST FLOOR:	660 SF	694 SF	195 SF	1549 SF
SECOND FLOOR:	1017 SF	1017 SF	450 SF	2484 SF
THIRD FLOOR:	N/A	N/A	1639 SF	1639 SF
TOTAL LIVING SPACE:	<u>1677 SF</u>	<u>1711 SF</u>	<u>2284 SF</u>	<u>5672 SF</u>
GARAGE:	303 SF	367 SF	265 SF	935 SF
TOTAL BUILDING SF:	1980 SF	2078 SF	2549 SF	6607 SF

DRAWING SCALE: 1/4" " = 1' - 0" **ALL MEASUREMENTS ARE IN FEET**

