

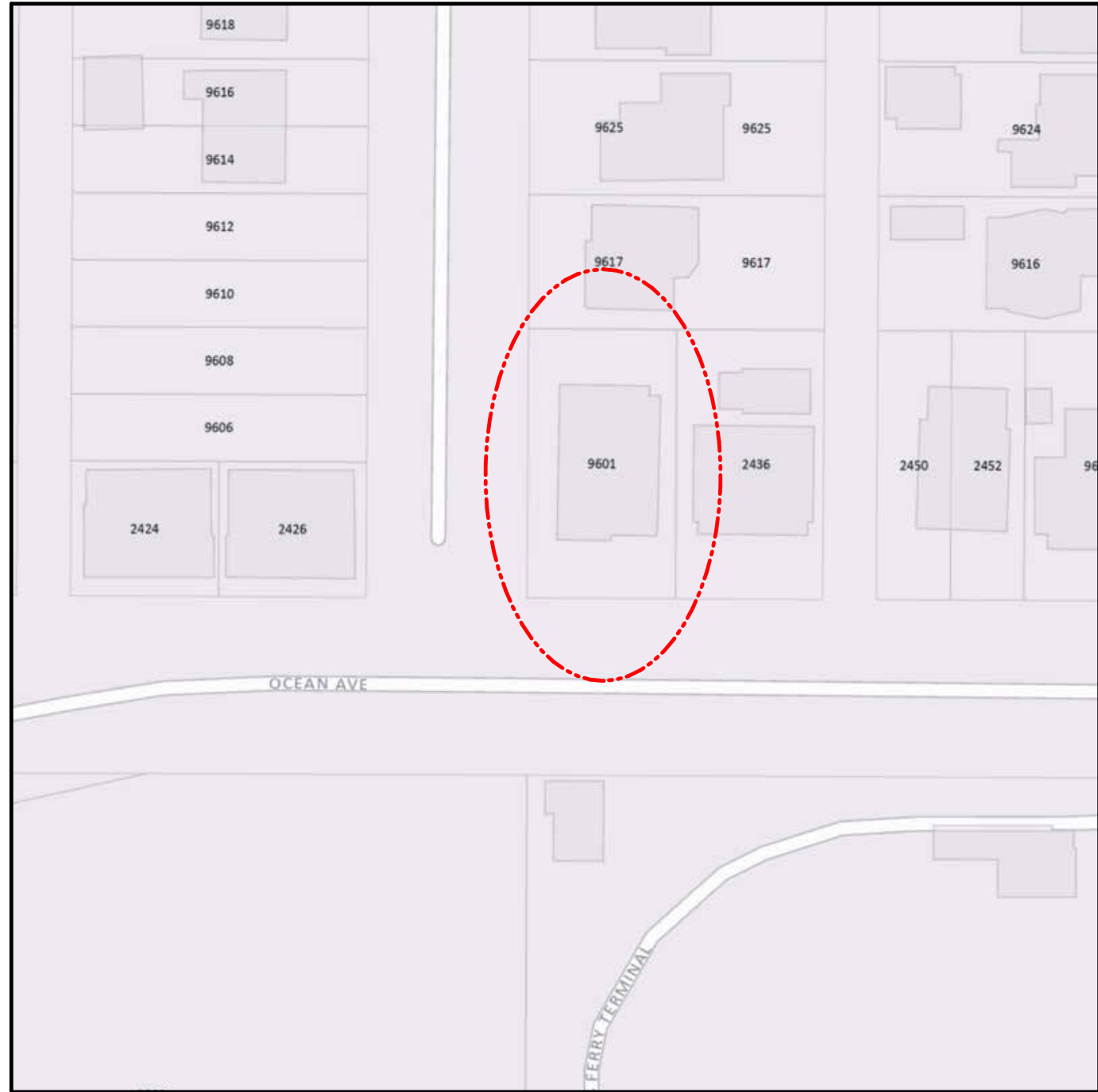
PROPOSED TRIPLEX:

9601 Fourth Street

SIDNEY, BC



KEY PLAN:



PROJECT INFORMATION:

SITE ADDRESS: 9601 FOURTH ST.
SIDNEY, BC
V8L 2Y5

LOT 6, BLOCK 23, PLAN VIP 1552,
SECTION 10, RANGE 4E,
NORTH SAANICH LAND DISTRICT

PID: 007-210-043

PROJECT DIRECTORY:

DESIGNER: HOYT DESIGN CO.
250.999.9893
HELLO@HOYT.CO

GENERAL CONTRACTOR: LIVIN LARGE PROPERTIES
RLARGE@LIVINLARGEPROPERTIES.CA
250.208.7306

STRUCTURAL ENGINEER: TBD

SURVEYOR: WEY MAYENBURG LAND SURVEYING INC.
250.656.5155
BRENT@WEYSURVEYS.COM

SCOPE OF WORK:

CONSTRUCTION OF A NEW TRIPLEX

SHEET INDEX:

A0.0 COVER SHEET
A0.1 SITE PLAN & ZONING ANALYSIS
A0.2 LANDSCAPE PLAN
A0.3 DEVELOPMENT PERSPECTIVES

A1.1 FIRST & SECOND FLOOR PLANS
A1.2 THIRD FLOOR & ROOF PLANS

A2.1 ELEVATIONS
A2.2 ELEVATIONS

A3.1 SECTIONS

GENERAL NOTES:

1. All drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co (HDC) and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and shall remain the property of HDC whether the work is executed or not, and HDC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.

2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.

3. The Contractor shall work with a B.C.L.S. to verify compliant placement, siting and elevation of the proposed buildings or structures on the property prior to commencing the work. HDC is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.

4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify HDC of any changes to the design required by the Structural Engineer, trade manufacturer or other engineered component supplier.

No.:		Description:		Date:	
1	2	3	4	25Apr21	Concept 1
				25May05	Concept 2
				25Jun09	Issue for Coordination
				25July11	Issue for Development Permit

R1 ZONING ANALYSIS:

LOT AREA:	512.0m2	
FLOOR ELEVATIONS:	FIRST FLOOR:	3.06m
	SECOND FLOOR:	6.15m
	THIRD FLOOR:	9.25m
	GARAGE SLAB:	2.30m

AVERAGE GRADE:	2.24m
F.C.L.:	4.36m

F.S.R:	ALLOWABLE	PROPOSED
	NO RESTRICTION	N/A

GROSS FLOOR AREA:	ALLOWABLE	PROPOSED				
		UNIT 1	UNIT 2	UNIT 3	BUILDING	
	FIRST FLOOR:	61.3m2	64.5m2	18.1m2	143.9m2	
	SECOND FLOOR:	94.4m2	94.4m2	41.8m2	230.6m2	
	THIRD FLOOR:	161.4m2 (0.70* 230.6m2)	N/A	152.3m2	152.3m2	
GARAGE:	EXEMPT	28.2m2 (EXEMPT)	34.1m2 (EXEMPT)	24.6m2 (EXEMPT)	86.9m2 (EXEMPT)	
	UNIT / BUILDING TOTAL:	155.7m2	158.9m2	223.4m2	538.0m2	

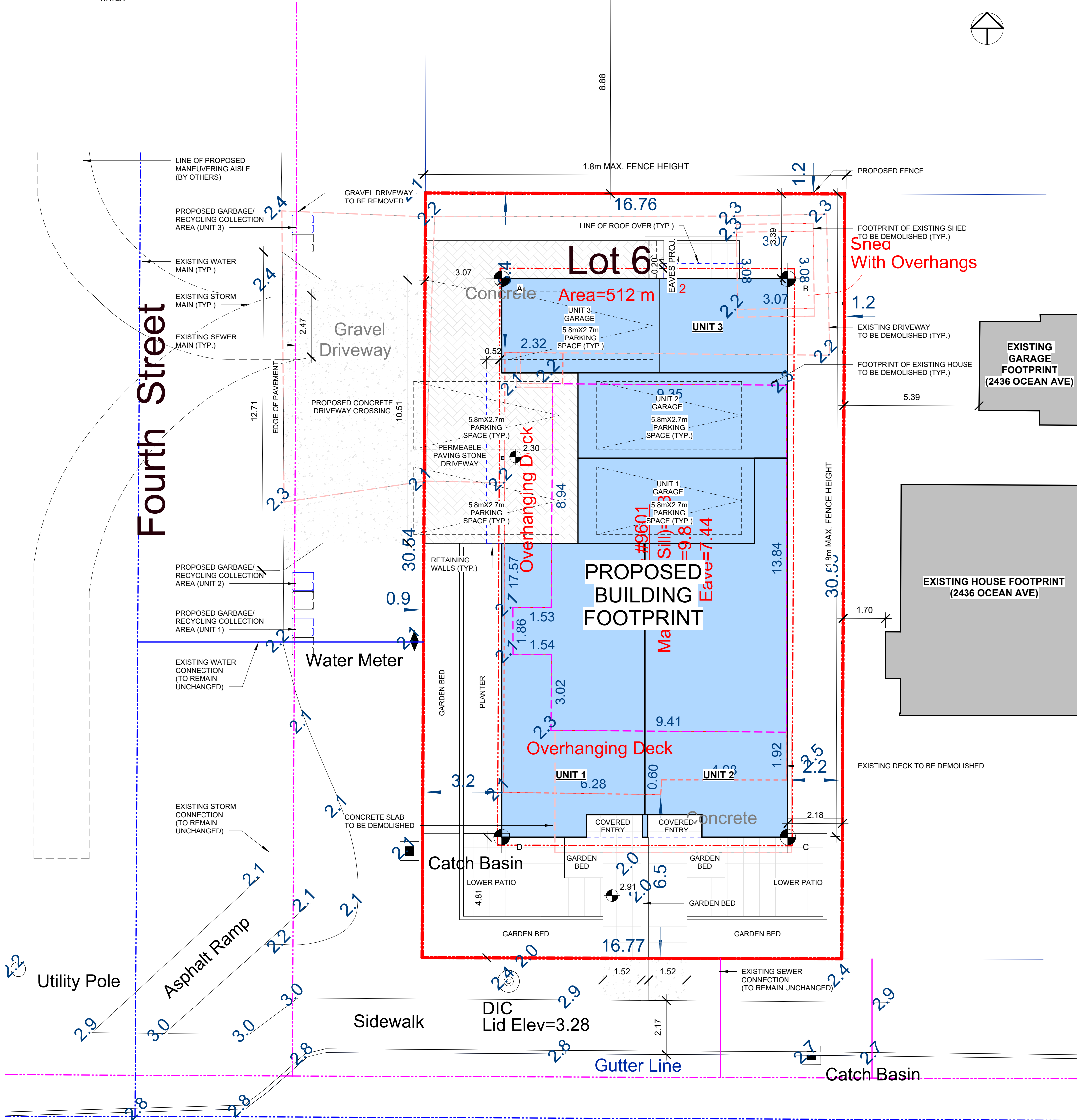
LOT COVERAGE:	ALLOWABLE	PROPOSED
HOUSE:	50.0% (256.0m2)	49.8% (255.0m2)

HEIGHT:	ALLOWABLE	PROPOSED
HOUSE:	10.5m	10.38m

SETBACKS:	ALLOWABLE	PROPOSED
FRONT (S):	4.5m	4.81m
REAR (N):	3.0m	3.39m
SIDE (W):	3.0m	3.07m
SIDE (E):	2.0m	2.18m

AVERAGE GRADE CALC.	
POINT	ELEVATION (HOUSE)
A	2.21m
B	2.24m
C	2.43m
D	2.08m
TOTAL	8.96 / 4 = 2.24m

	SEWER
	STORM
	WATER



1 Site Plan
1 : 100



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Victoria, BC V8Y 2L3
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9601 Fourth St.

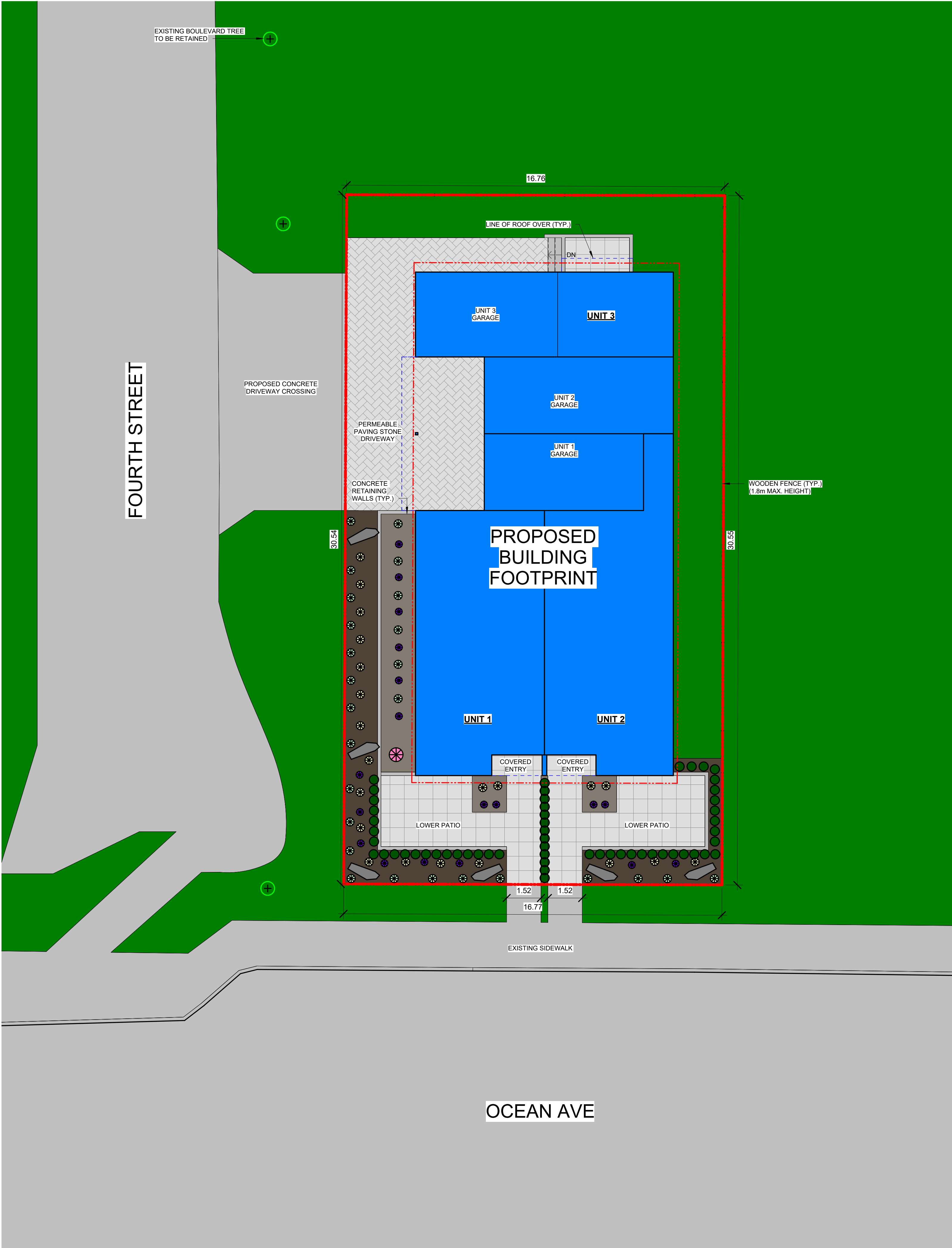
2514

ISSUE DATE: 25July11 REV 4

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1	25Apr21 Concept 1	
2	25May05 Concept 2	
3	25Jun09 Issue for Coordination	
4	25July11 Issue for Development Permit	

Site Plan & Zoning Analysis

A0.1



1 Landscape Plan
1 : 100

LANDSCAPE LEGEND	
GRASS	
TREES/SHRUBS	
PROPOSED STRUCTURE	
EARTH	
CONCRETE/ASPHALT	
PERMEABLE PAVING STONE	
CONCRETE PAVERS	



FERN



LAVENDER



REED GRASS



CEDAR HEDGE



RHODODENDRON



PERMEABLE PAVING STONE
BELGARD - AQUALINE "NATURAL"



CONCRETE PAVERS
BELGARD - DIMENSIONS "SCANDINA GRAY"



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No.:	
1	2
3	4
Description:	
25Apr21 Concept 1	25May05 Concept 2
25Jun09 Issue for Coordination	25July11 Issue for Development Permit
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Landscape Plan

A0.2



WEST PERSPECTIVE (FOURTH ST.)



NORTHWEST PERSPECTIVE



SOUTHWEST PERSPECTIVE



SOUTHEAST PERSPECTIVE



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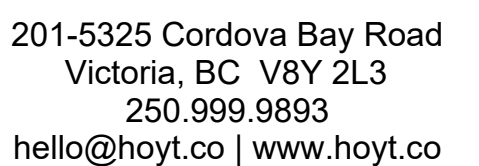
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ISSUE DATE: 25July11 REV 4

Date:	Description:	No.:
25Apr21	Concept 1	1
25May05	Concept 2	2
25Jun09	Issue for Coordination	3
25July11	Issue for Development Permit	4

Development Perspectives

A0.3



GENERAL NOTES:

1. All drawings, plans, models, designs, specifications and other documents prepared by the Host Design Group (HDC) and used in connection with this project shall be the instruments of service for the way shown in them. The "Way shown in them" shall be the way shown in the drawings, specifications, and other documents prepared by the HDC whether the work (segregated or not, and HDC or not) was brought in by the Contractor or not. The way executed from them, and they shall not be used for any other work.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as shown on the project and as shown on the drawings. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings and/or comments on the drawings. Commencement of construction or any other thereof shall constitute acceptance of the dimensions and/or elevations of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
3. The Contractor shall work with a B.C.L.S. to verify construction, dimensions and elevations and for proposed buildings or structures on the property prior to construction. The work shall be done in accordance with any encroachments with respect to elevation, siting or placement. The work shall be done in accordance with elevation, siting or placement shall be confirmed with a B.C.L.S. or recorded.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field verification of all structural and civil designs within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify the HDC of the design and field verification by the Structural Engineer, trustee of the Host Design Group (HDC) and the Professional Engineer.

9601 Fourth St.

PROJECT

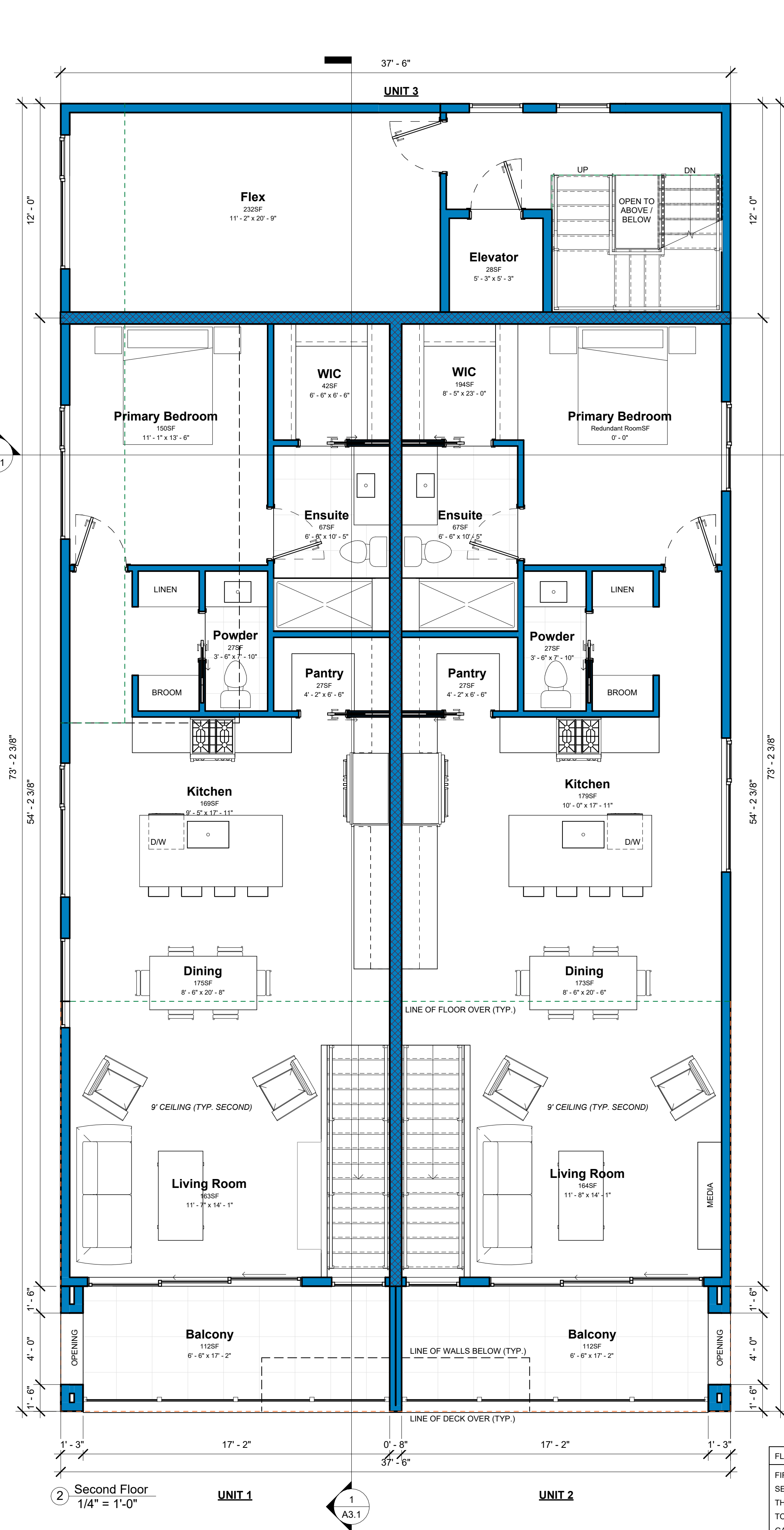
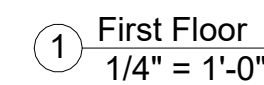
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25Jun09	Issue for Coordination	3
25July11	Issue for Development Permit	4

First & Second Floor Plans

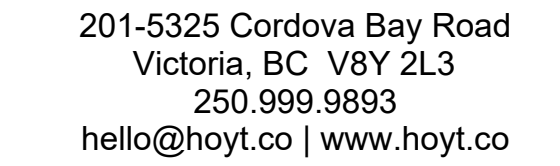
A1.1



FLOOR AREA	UNIT 1:	UNIT 2:	UNIT 3:	BUILDING:
FIRST FLOOR:	660 SF	693 SF	195 SF	1548 SF
SECOND FLOOR:	1017 SF	1017 SF	450 SF	2484 SF
THIRD FLOOR:	N/A	N/A	1761 SF	1761 SF
TOTAL LIVING SPACE:	<u>1677 SF</u>	<u>1710 SF</u>	<u>2406 SF</u>	<u>5793 SF</u>
GARAGE:	303 SF	367 SF	264 SF	934 SF
TOTAL BUILDING SF:	1980 SF	2077 SF	2670 SF	6727 SF

DRAWING SCALE: 1/4" " = 1' - 0" **ALL MEASUREMENTS ARE IN FEET**





201-5325 Cordova Bay Road
Victoria, BC V8Y 2L3
250.999.9893
hello@hoyt.co | www.hoyt.co

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It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the work shown in the drawings. The Contractor shall notify the Designer of any errors, omissions, or omissions in the drawings. The Contractor shall not be responsible for the drawings prior to commencement of the work.

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The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of the proposed buildings or structures on the property as well as the siting and elevation of the buildings or structures as required by the Authority Having Jurisdiction. The Contractor shall be responsible for the design and field review of the proposed buildings or structures as required by the Authority Having Jurisdiction. The Contractor shall be responsible for the design and field review of the proposed buildings or structures as required by the Authority Having Jurisdiction.

PROJECT

9601 Fourth St.

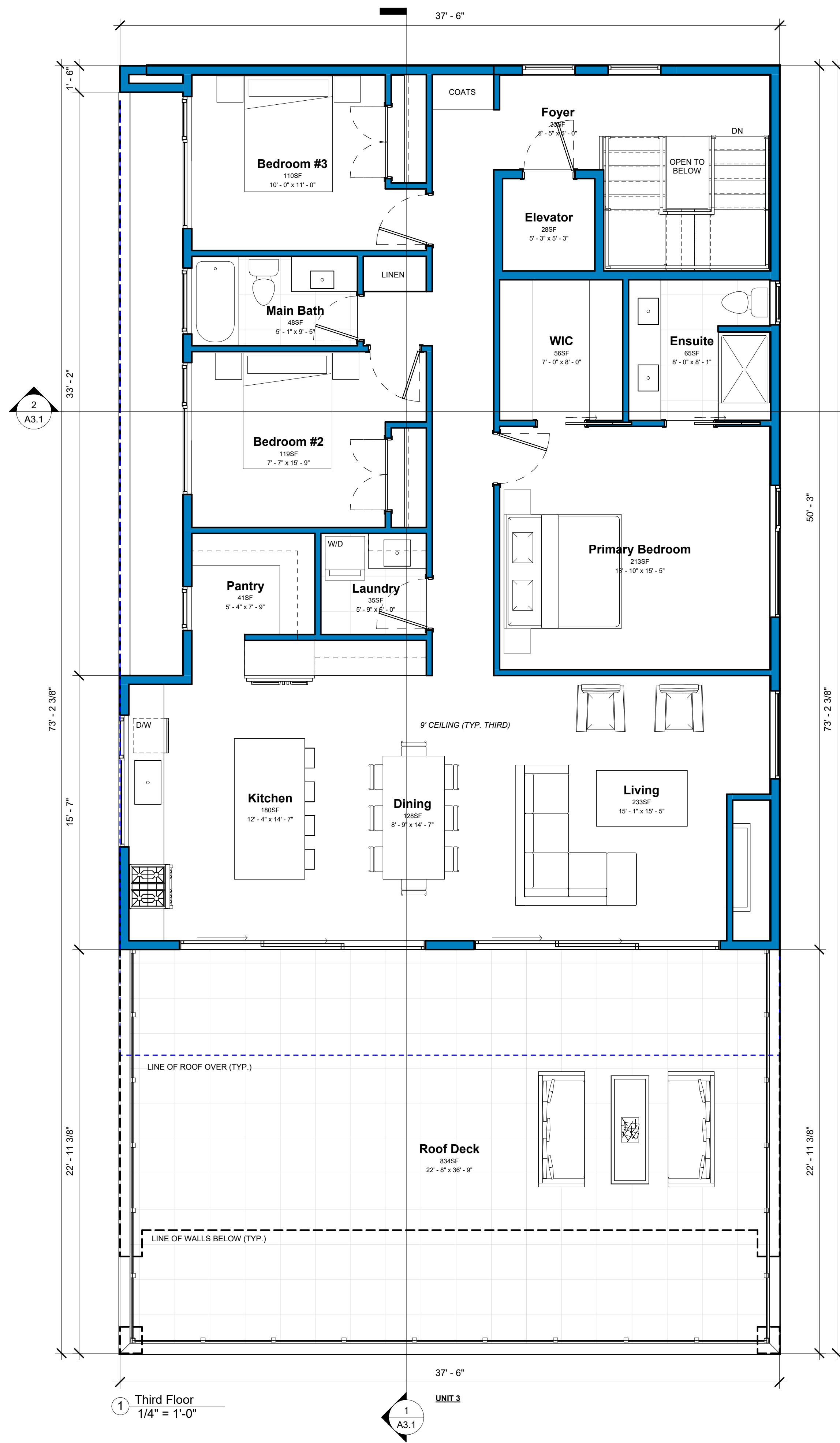
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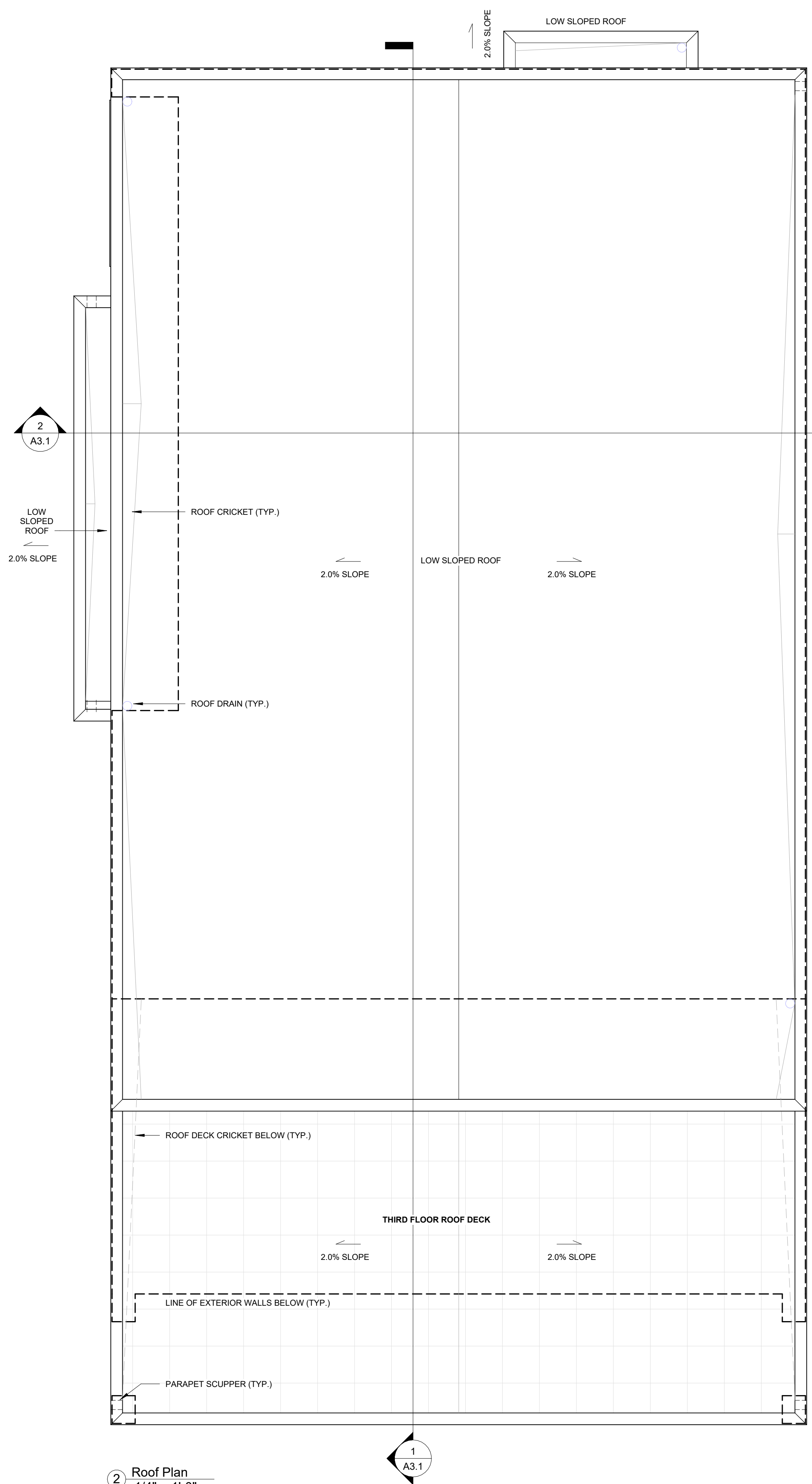
Date:	Description:	No.:
25Apr21	Concept 1	1
25May05	Concept 2	2
25Jun09	Issue for Coordination	3
25July11	Issue for Development Permit	4

Third Floor & Roof Plans

A1.2



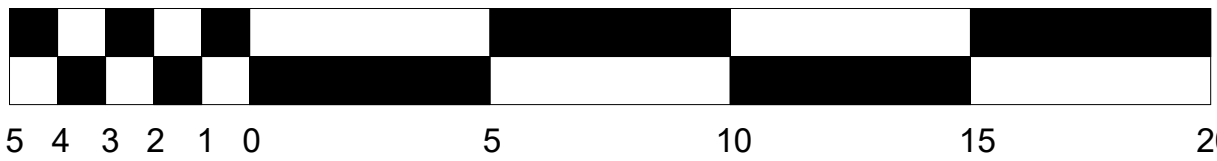
2 Roof Plan
1/4" = 1'-0"



2 Roof Plan
1/4" = 1'-0"

FLOOR AREA	UNIT 1:	UNIT 2:	UNIT 3:	BUILDING:
FIRST FLOOR:	660 SF	893 SF	195 SF	1548 SF
SECOND FLOOR:	1017 SF	1017 SF	450 SF	2484 SF
THIRD FLOOR:	N/A	N/A	1761 SF	1761 SF
TOTAL LIVING SPACE:	<u>1677 SF</u>	<u>1710 SF</u>	<u>2406 SF</u>	<u>5793 SF</u>
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EXTERIOR FINISH & COLOURS	
ACRYLIC STUCCO 2151-70 - "POWDER SAND"	
ACRYLIC STUCCO CW-65 - "GUNSMITH GRAY"	
METAL CORRUGATED PANEL 1602 - "GUNMETAL"	
ACCENT 1609 - "TEMPTATION"	
SHIPLAP COMPOSITE SIDING "NEWTECHWOOD - ROMAN ANTIQUE"	

ELEVATION NOTES LEGEND	
1	2 PLY MOD BIT. ROOFING
2	ACRYLIC STUCCO
3	COMPOSITE SHIPLAP SIDING
4	CORRUGATED METAL PANEL
5	4X4 HSS STEEL POST
6	ALUMINUM GUARD RAIL WITH GLASS INSERTS
7	SOLID WOOD FENCE

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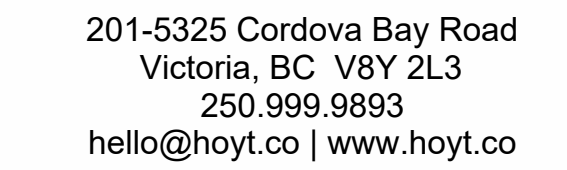
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Elevations

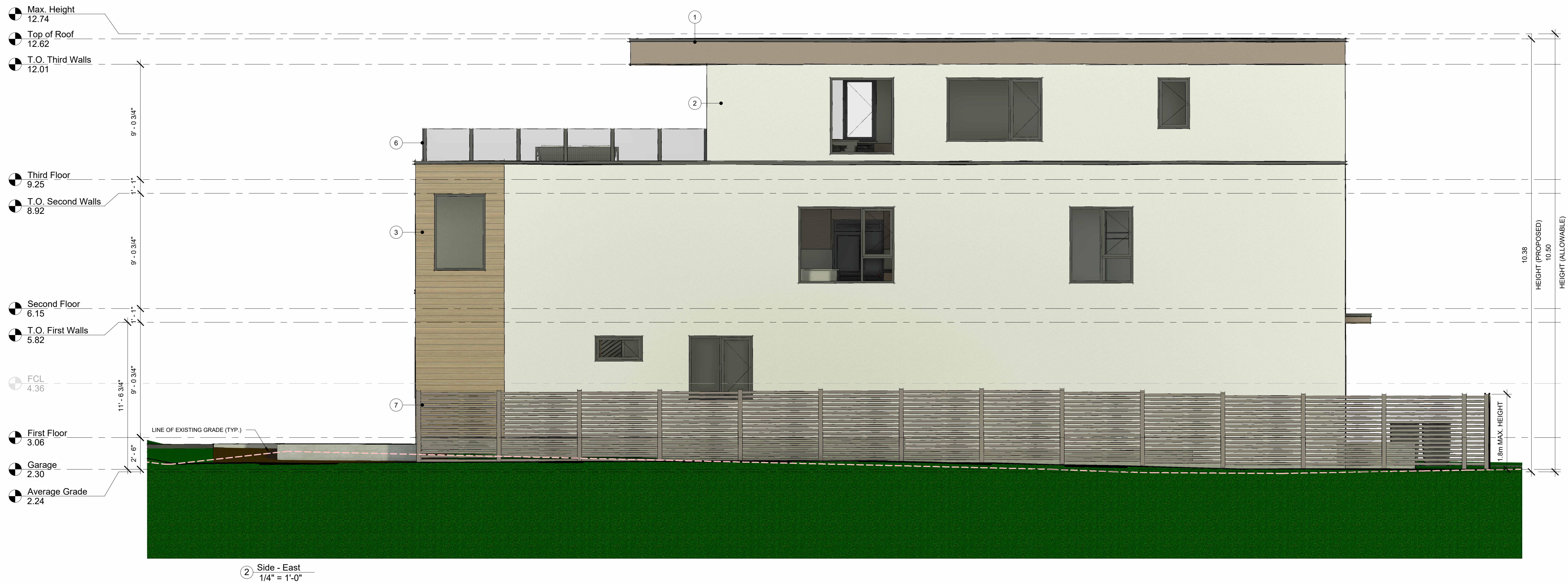
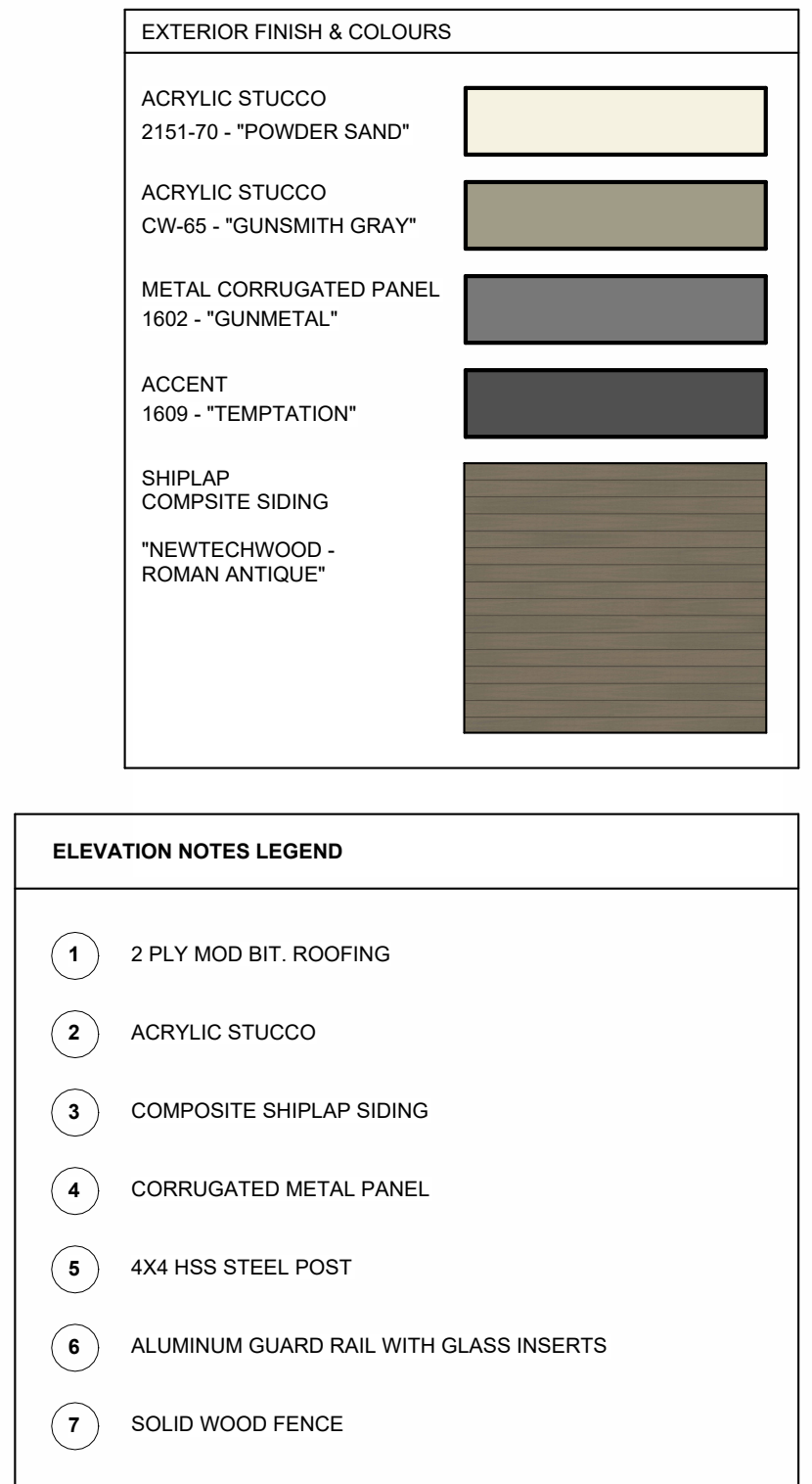
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- It is the intent of the parties that the Contractor to verify all site conditions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall be responsible for detecting and reporting omissions or discrepancies identified within the existing conditions. The Contractor shall be responsible for the determination of the location, extent, and nature of the existing site conditions, and means dimensions and measurements have been considered, verified and are acceptable.
- The Contractor shall work with a B.C.L.S. to verify correct placement, siting and elevation of the proposed work. The Contractor shall be responsible for commencing the work. HDC is not responsible for the siting, placement, or elevation of the proposed work or placement. Any proposed changes with respect to elevation shall be approved by HDC. The Contractor shall be confirmed with a B.C.L.S. prior to execution.
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PROJECT

9601 Fourth St.

2514

SSUE DATE: 25July11 REV 4

DOI:

Description:

Date.

25Apr21	Concept 1
25May05	Concept 2
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Elevations

A2.2

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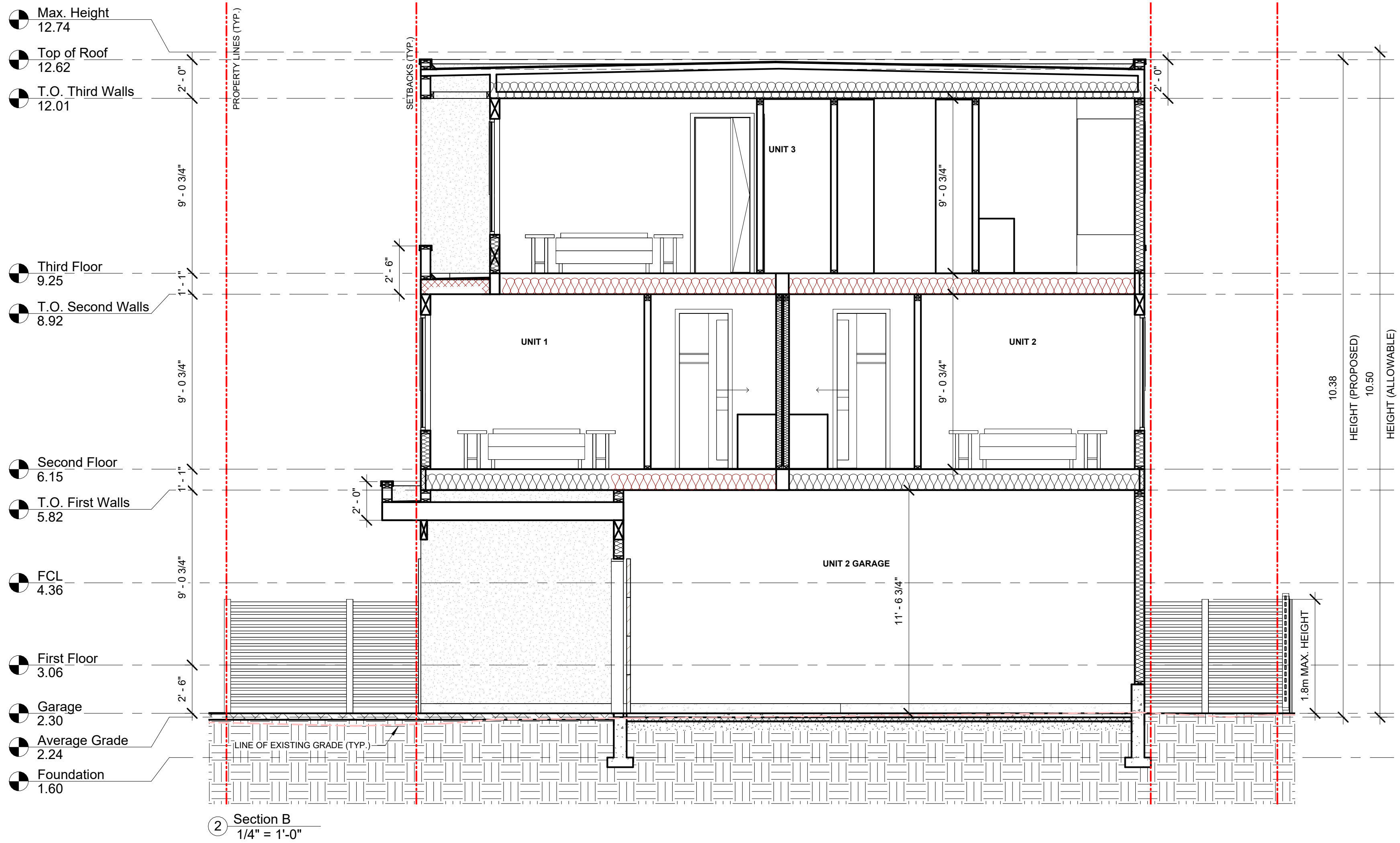
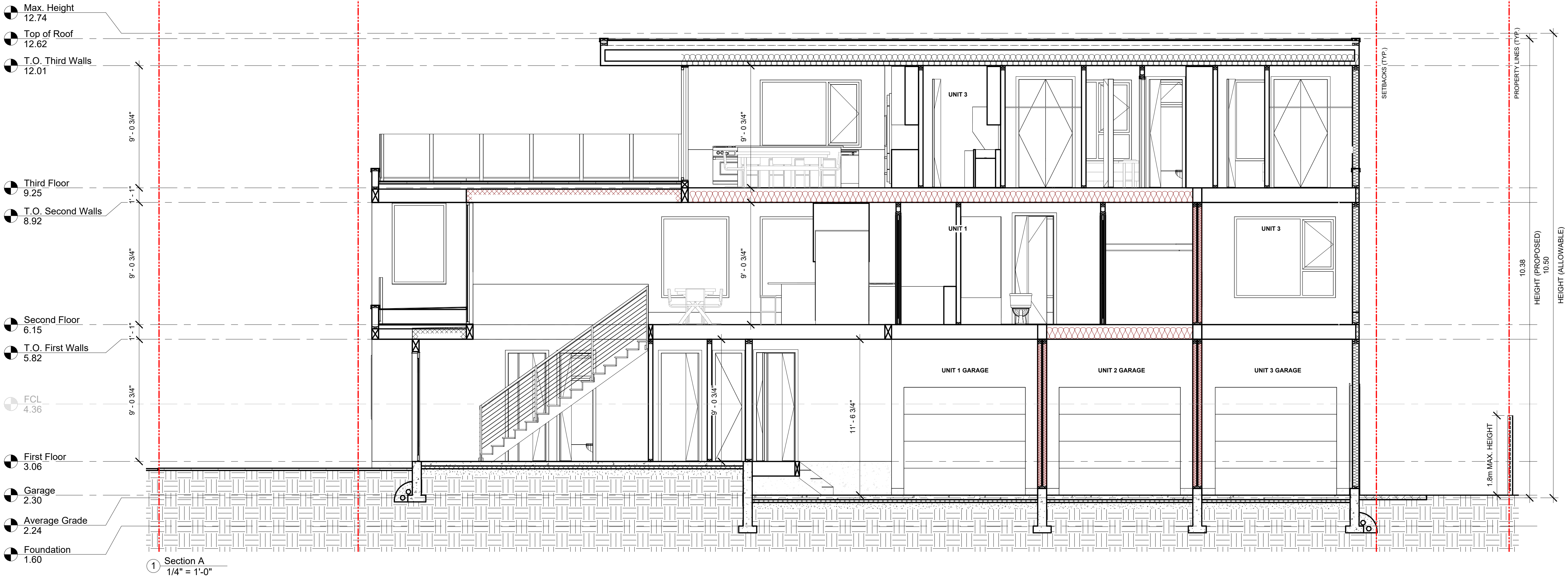
No.:

1 2 3 4
Description: 25Apr21 Concept 1
25May05 Concept 2
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Date:

Sections

A3.1



PLAN LEGEND	
WALL	
FIRE RATED WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
S/C DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	

FLOOR AREA	UNIT 1:	UNIT 2:	UNIT 3:	BUILDING:
FIRST FLOOR:	660 SF	693 SF	195 SF	1548 SF
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