

Proposed Subdivision Plan Of:  
Lot 3, Block 24, Section 10, Range 4 East,  
North Saanich District, Plan 1552.  
P.I.D. 007-210-353



Scale = 1:200

Dated this 16th day of February, 2021.

Distances and elevations shown are in metres.

Elevations are based on geodetic datum CVD28BC and derived from OCM 79H0490.

This site plan is for building and design purposes and is for the exclusive use of our client.

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.

Wey Mayenburg Land Surveying Inc.

www.weysurveys.com

#4-2227 James White Boulevard  
Sidney, BC V8L 1Z5

Telephone (250) 656-5155

File: 210064\PRO\DP

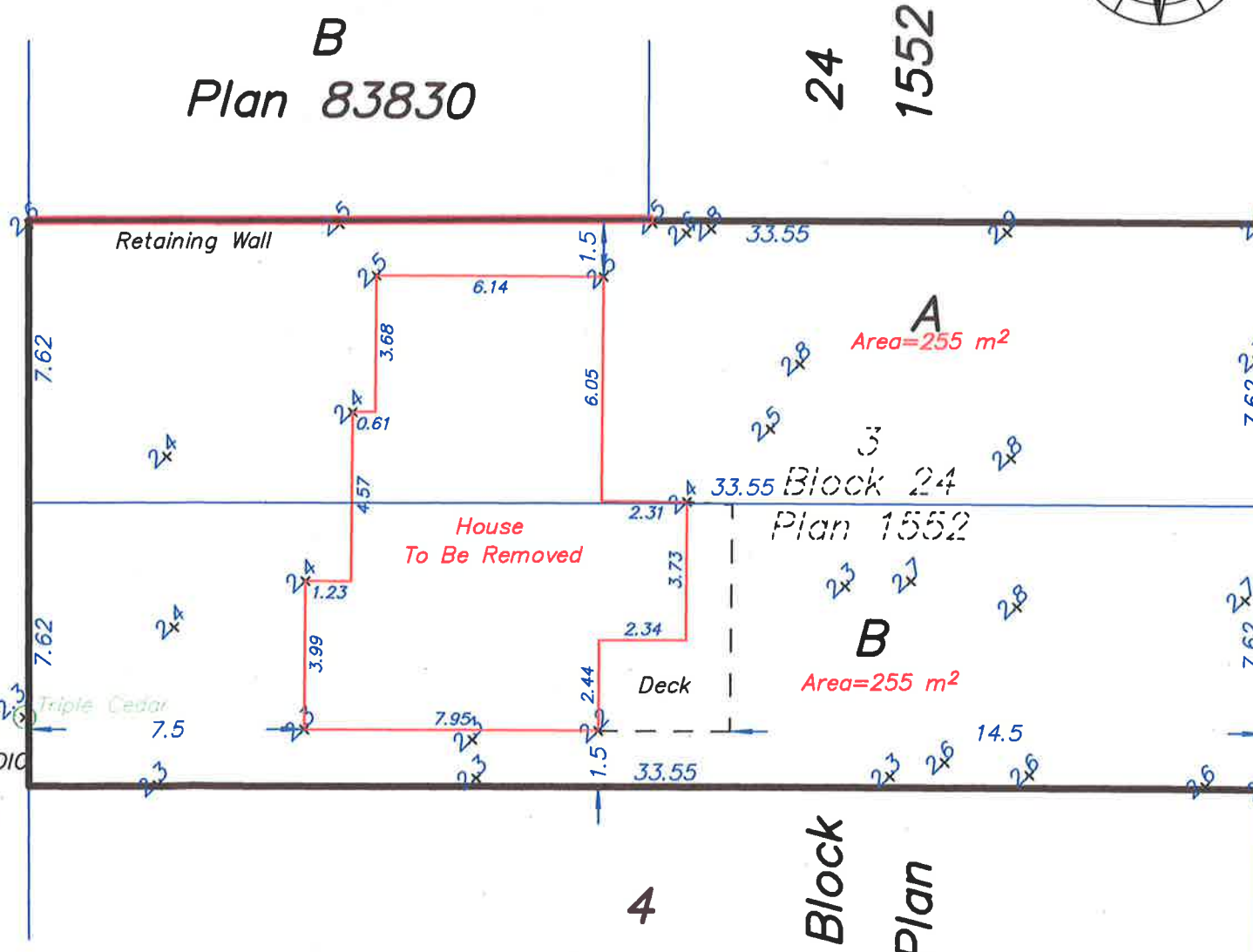


Third Street

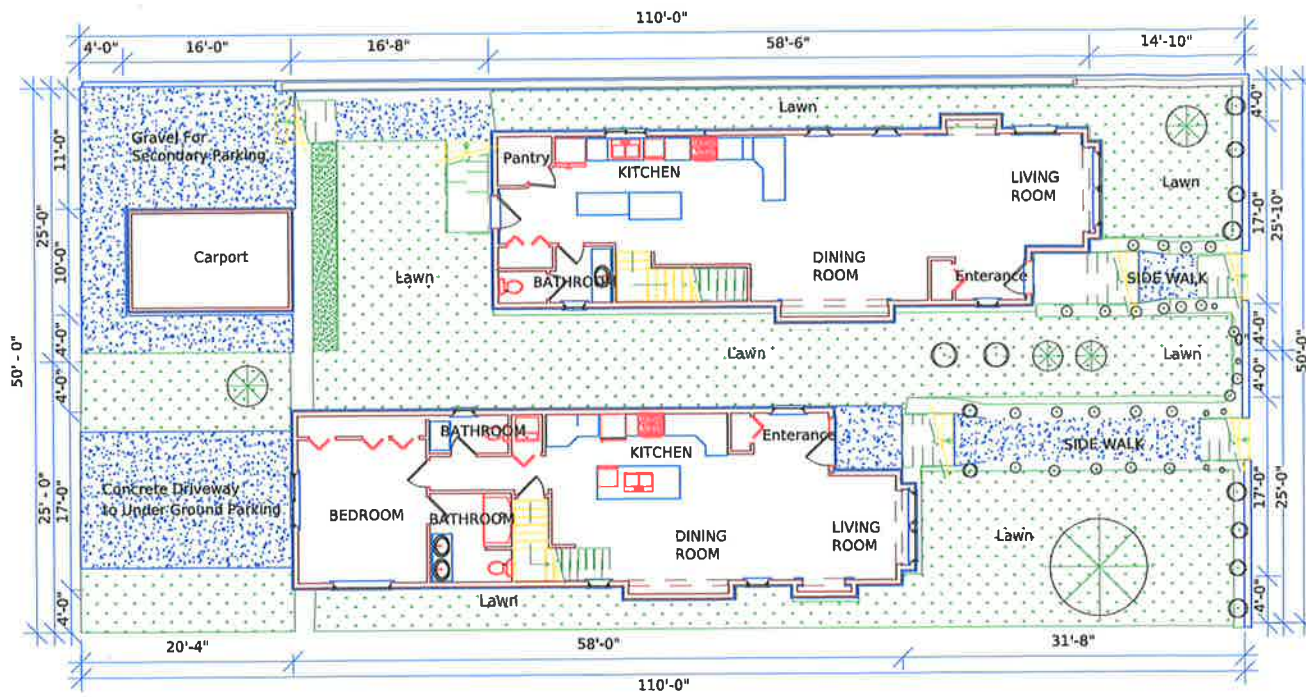
Edge of Pavement



Triple Cedar  
Multi Decid



LANE



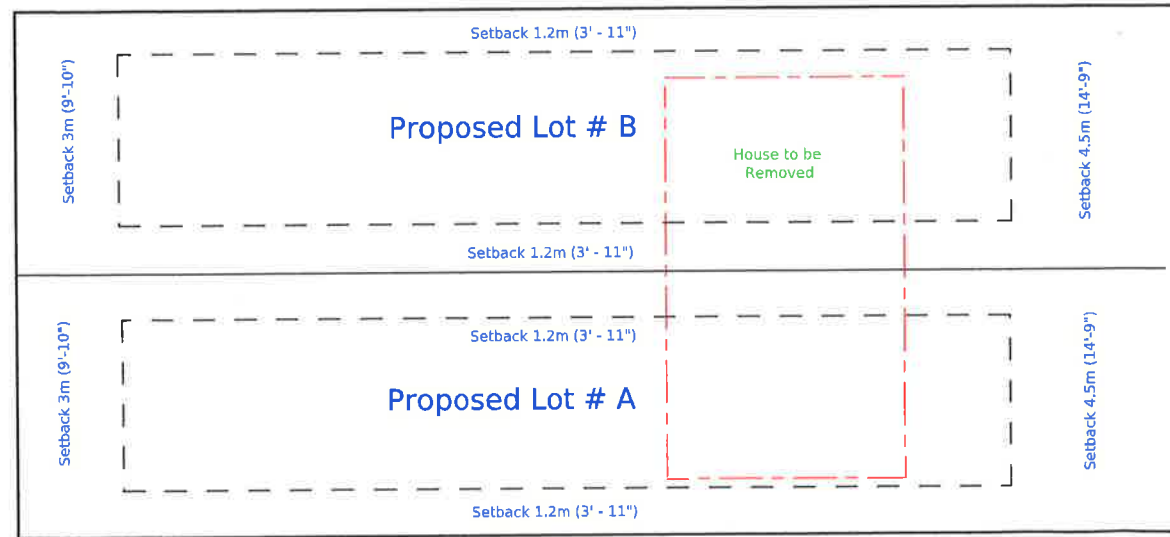
THIRD STREET

Plan of Proposed Subdivision of:  
 Lot3, Block 24, Plan 1552  
 Sec. 10, Range 4 East  
 North Saanich District

Subdivision Application  
 Zoning R 1.3  
 Proposed Lot A

	Proposed	Min. Requirement	Variance Required
Lot size	255m2 (2750ft2)	255m2	No
Main Floor	948 ft2 = 34.5%	< 30%	Yes
Upper Floor	589 ft2 = 21.4%	< 30%	No
Garage (underground)	534 ft2	N/A	No
Uncovered Decks	269 ft2	N/A	No
Number of floors	2.5	2.5	No
Height of Building	24'-10" = 7.5m	< 8m	No
Front Set Back	31'- 8" = 9.6m.	4.5m	No
Rear Set Back	20' - 4" = 3m	3m	No
Side Int. Set Back	4' - 0" = 1.2m	1.2m	No

Lane



Third Street

Subdivision Application  
 Zoning R 1.3  
 Proposed Lot B

	Proposed	Min. Requirement	Variance Required
Lot size	255m2 (2750ft2)	255m2	No
Main Floor	934 ft2 = 34.0%	< 30%	Yes
Upper Floor	795 ft2 = 28.9%	< 30%	No
Uncovered Decks	56 ft2	N/A	No
Number of floors	2.0	2.5	No
Height of Building	24'-10" = 7.6m	< 8m	No
Front Set Back	14'- 10" = 4.5m.	4.5m	No
Rear Set Back	38' - 7" = 11.8m	3m	No
Side Int. Set Back	4' - 0" = 1.2m	1.2m	No
<b>Accessory Building</b>			
Rear Yard Area	657 ft2 = 61m2	< 5m	No
Height of Building	11' - 6" = 3.5m	< 25% of rear yard	No
Floor Area	160 ft2 = 14.86m		
Rear Set Back	4' - 0" = 1.2m	1.2m	No
Side Set Back	4' - 0" = 1.2m	1.2m	No

GENERAL NOTES

RECEIVED  
 SEP 16 2021

TOWN OF SIDNEY

No.	REVISION/ISSUE	DATE

ORIENTATION	STAMP

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

Cardinal Consulting  
 Company Ltd.  
 250 361 7081

PROJECT NAME: <del>164 ft2 = 15.2m2</del> No  
 9633 3rd. Street  
 1601 Keating Cross Rd.  
 Saanichton

CLIENT:  
 Bernd Struck

DRAWING:  
 Site Data  
 Site Data

SCALE: 1/8" = 1' - 0" DATE: January 10, 2021

DRAWN BY: #DRAWN BY SHEET:  
 CHECKED BY: #CHECKED BY **A1**  
 APPROVED BY: #APPROVED BY



# Planting Schedule

## Trees

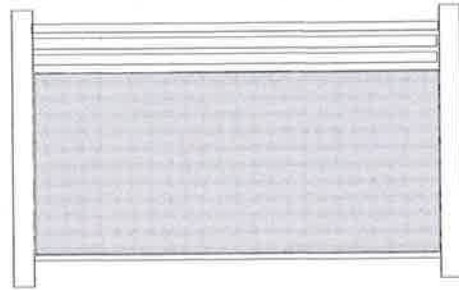
1. 3 Thuja Occidentalis Pryamidalis
2. 2 Prunus Serrulata
3. 1 Malus Spring Snow

- Cedar hedging 2" caliper
- Japanese Flowering 2" caliper
- small tree 2" caliper

## Shrubs and Plants

4. 20 Buxus 'Green Velvet'
5. 6 Choisya Ternata
- 6.10 Cistus X Purpureus
7. 4 Native Fern
8. 8 Lavandula 'Otto Quest'

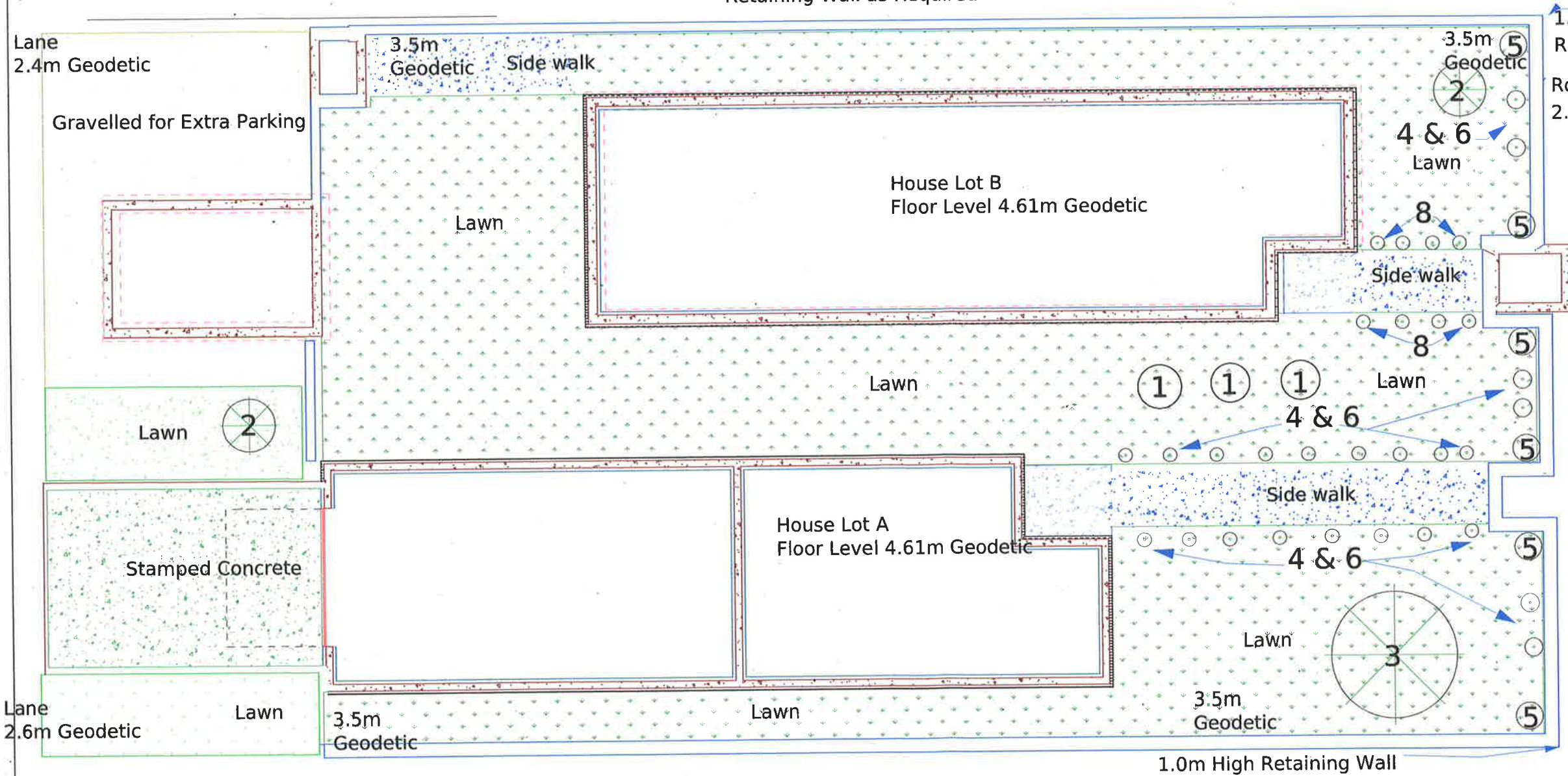
- Green Velvet Boxwood # 3 Pot
- Mexica Orange # 5 Pot
- Rock Rose # 3 Pot
- native fern # 3 Pot
- Otto Quest Lavender # 1 Pot



Proposed Fence along Lot B

Corrigated solid metal  
with 1" \* 6" cedar boards on top

Retaining Wall as Required



## GENERAL NOTES

### Landscape Plan

REVISION/ISSUE	DATE

ORIENTATION	STAMP

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250 361 7081

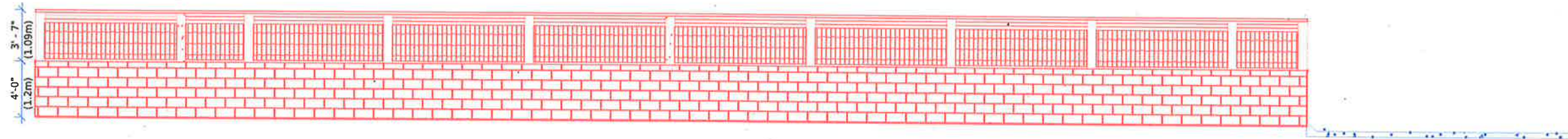
PROJECT NAME:  
**9633 3rd. Street**  
1601 Keating Cross Rd.  
Saanichton

CLIENT:  
Bernd Struck

DRAWING: **FLOOR PLAN**  
DRAWING SUB NAME  
SCALE: 1/4" = 1'-0" DATE: August 28, 2021

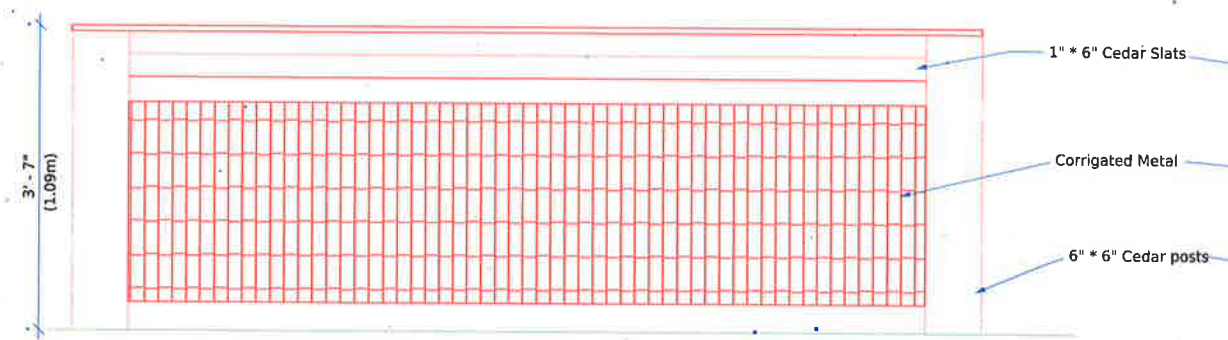
#DRAWN BY	SHEET:
#CHECKED BY	<b>A2</b>
#APPROVED BY	

# FENCE DETAILS LEFT (NORTH) ELEVATION



Scale 1/4" = 1' - 0"

Photo of Existing Fence  
new fence to be built to match



Scale 1" = 1'



## GENERAL NOTES

Fence Details

**RECEIVED**  
SEP 16 2021  
**TOWN OF SIDNEY**

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Company Ltd.  
250 361 7081**

PROJECT NAME:  
**9633 3rd. Street  
1601 Keating Cross Rd.  
Saanichton**

CLIENT:  
**Bernd Struck**

DRAWING:  
**Fence Details**

SCALE: 1/4" = 1'-0"    DATE: April 28, 2021

DRAWN BY:  
Bernd Struck

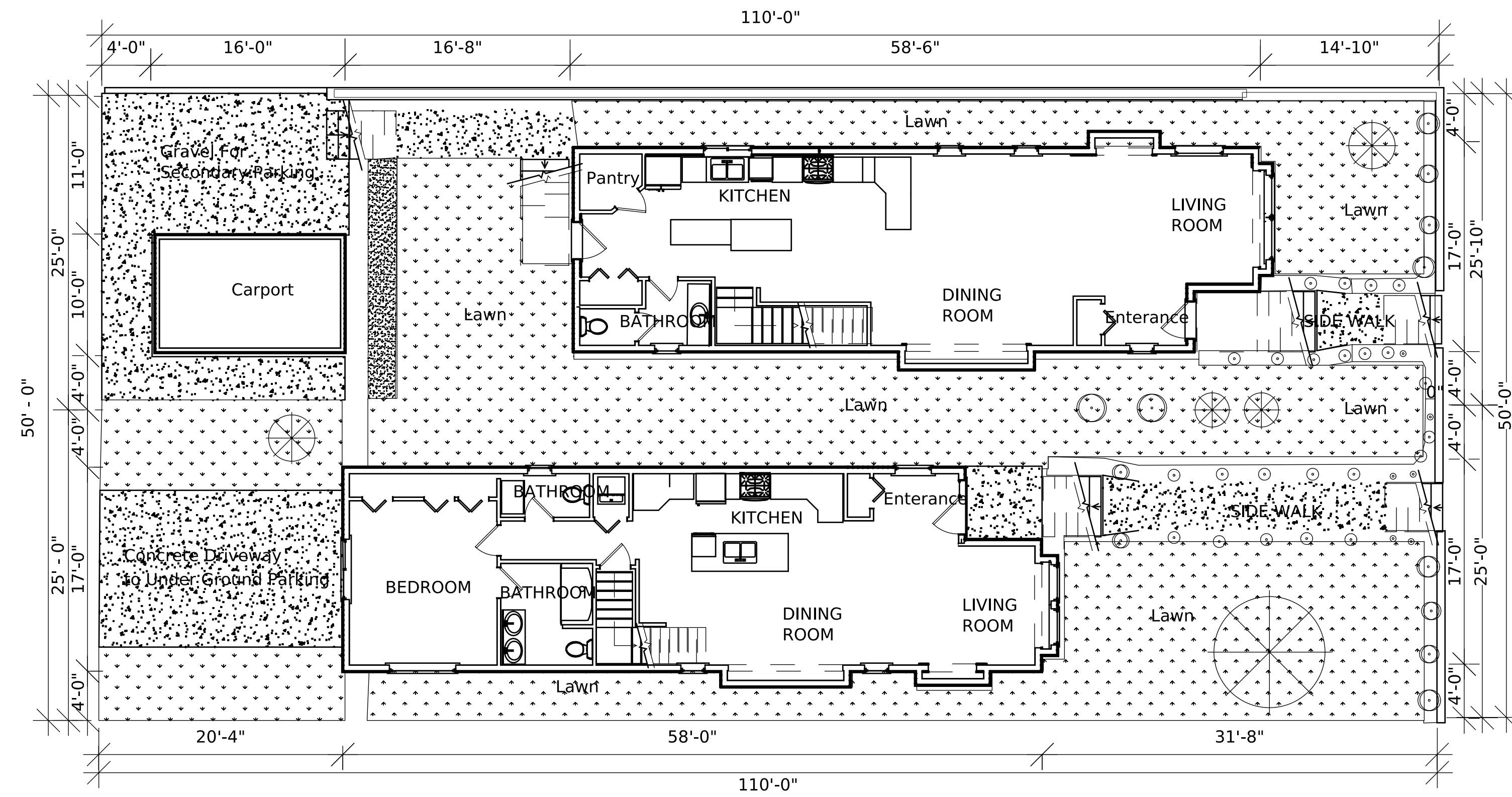
CHECKED BY:

APPROVED BY:

SHEET:  
**A6**

DVI 312

LANE



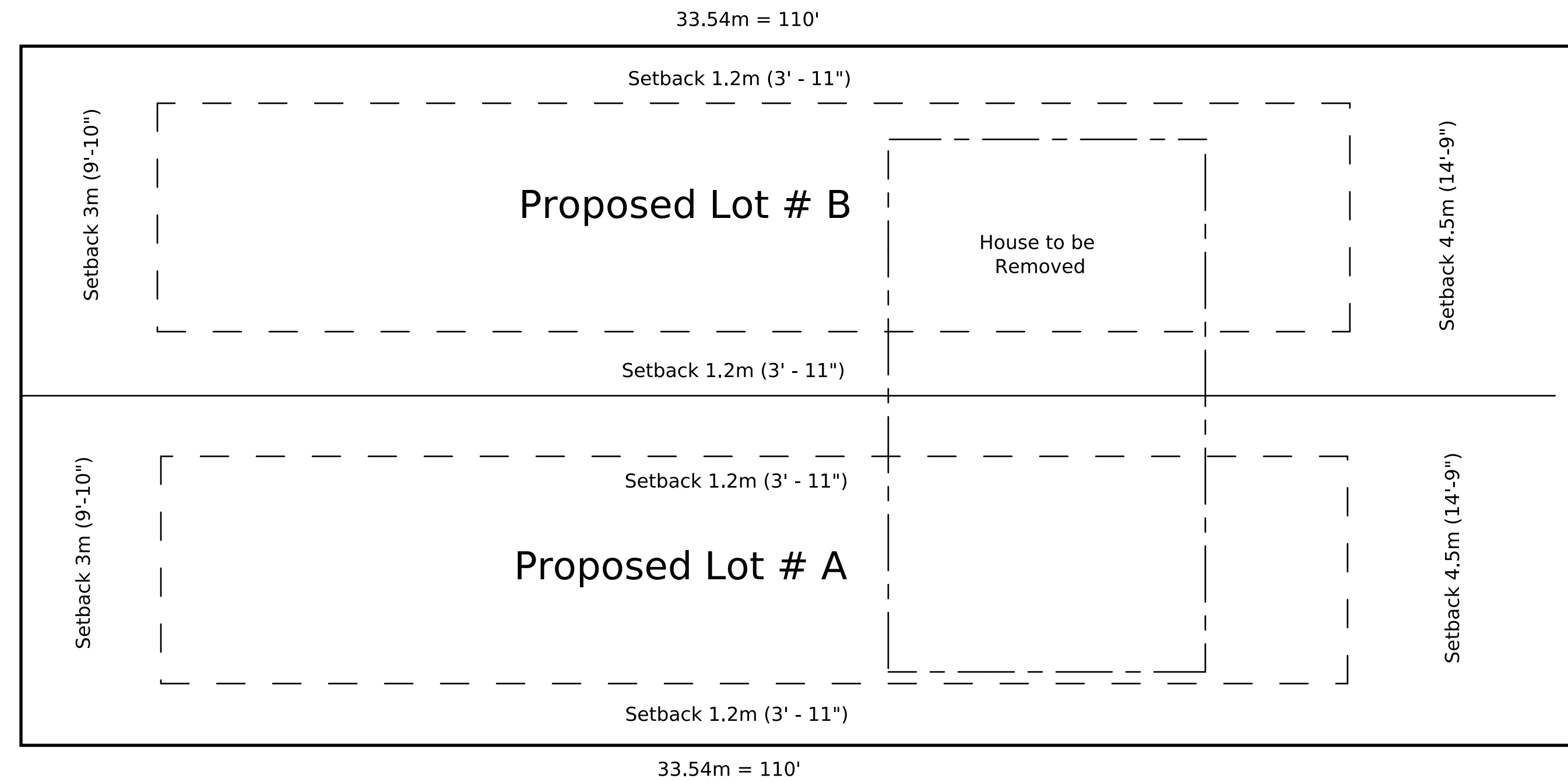
THIRD STREET

Plan of Proposed Subdivision of:  
 Lot3, Block 24, Plan 1552  
 Sec. 10, Range 4 East  
 North Saanich District

Subdivision Application  
 Zoning R 1.3  
 Proposed Lot A

	Proposed	Min. Requirement	Variance Required
Lot size	255m2 (2750ft2)	255m2	No
Main Floor	948 ft2 (88.1m2) = 34.5%	< 30%	Yes
Upper Floor	589 ft2 (54.7m2) = 21.4%	< 30%	No
Garage (underground)	534 ft2 (49.6m2)	N/A	No
Uncovered Decks	269 ft2 (25.0m2)	N/A	No
Number of floors	2.5	2.5	No
Height of Building	25' - 11" = 7.89m	< 8m	No
Front Set Back	31' - 8" = 9.65m.	4.5m	No
Rear Set Back	20' - 4" = 6.20m	3.0m	No
Side Int. Set Back	4' - 0" = 1.2m	1.2m	No

Lane



Third Street

Subdivision Application  
 Zoning R 1.3  
 Proposed Lot B

	Proposed	Min. Requirement	Variance Required
Lot size	255m2 (2750ft2)	255m2	No
Main Floor	934 ft2 (86.8m2) = 34.0%	< 30%	Yes
Upper Floor	795 ft2 (73.9m2) = 28.9%	< 30%	No
Uncovered Decks	56 ft2 (5.2m2)	N/A	No
Number of floors	2.0	2.5	No
Height of Building	25' - 9" = 7.85m	< 8m	No
Front Set Back	14' - 10" = 4.5m.	4.5m	No
Rear Set Back	38' - 4" = 11.7m	3.0m	No
Side Int. Set Back	4' - 0" = 1.2m	1.2m	No
<u>Accessory Building</u>			
Rear Yard Area	657 ft2 = 61m2		No
Height of Building	10' - 6" = 3.20m	< 5m	No
Floor Area	160 ft2 = 14.86m	< 25% of rear yard	No
Rear Set Back	4' - 0" = 1.2m	1.2m	No
Side Set Back	4' - 0" = 1.2m	1.2m	No

GENERAL NOTES

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 Company Ltd.  
 250 361 7081

PROJECT NAME:  
 9633 3rd. Street  
 1601 Keating Cross Rd.  
 Saanichton

CLIENT:  
 Bernd Struck

DRAWING:  
 Site Data  
 Site Data  
 SCALE: 1/8" = 1' - 0" DATE: January 10, 2021

DRAWN BY: #DRAWN BY	SHEET: <b>A1</b>
CHECKED BY: #CHECKED BY	
APPROVED BY: #APPROVED BY	



# Planting Schedule

## Trees

1. 3 Thuja Occidentalis Pryamidalis
2. 2 Prunus Serrulata
3. 1 Malus Spring Snow

- Cedar hedging 2" caliper
- Japanese Flowering 2" caliper
- small tree 2" caliper

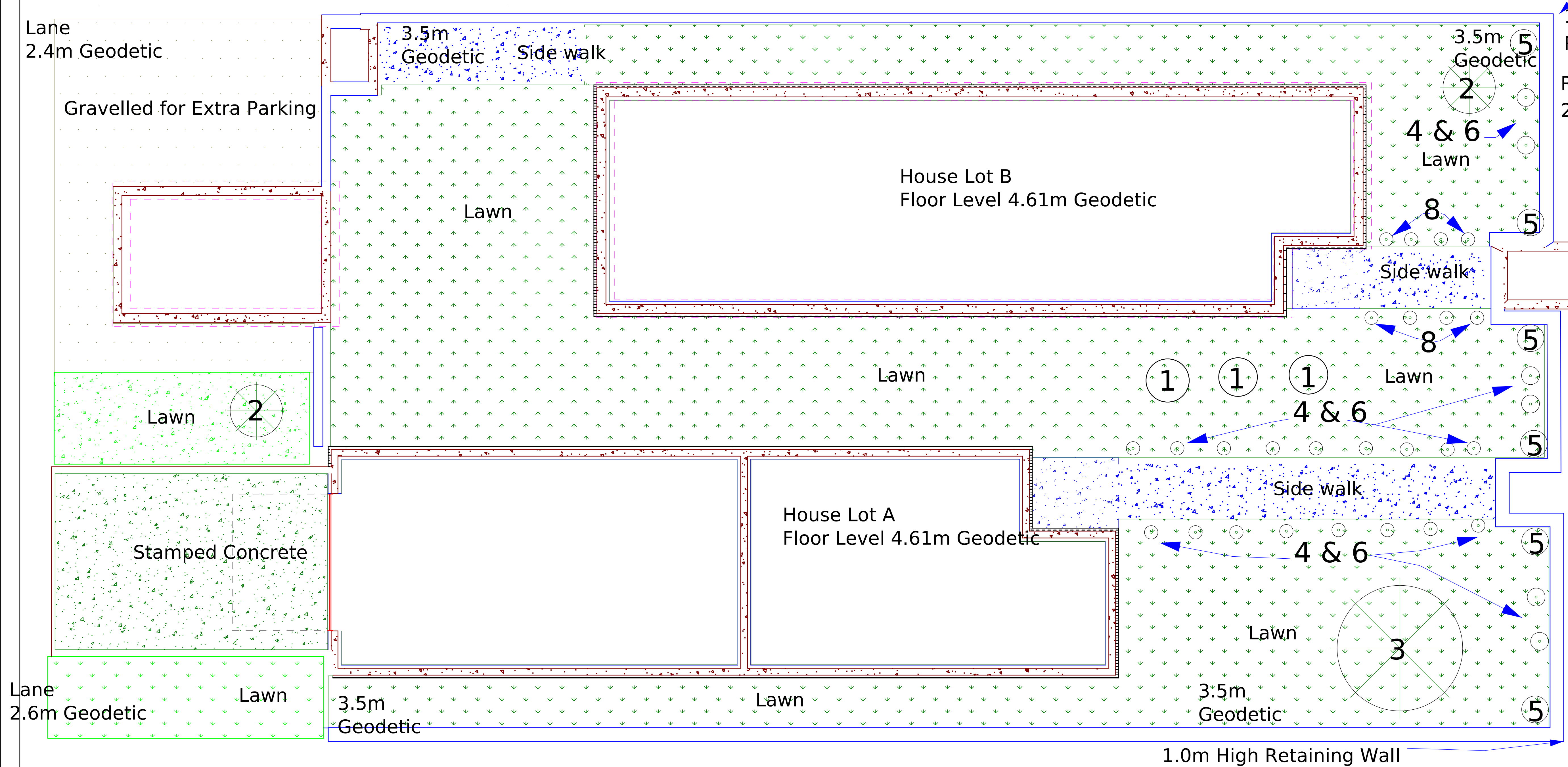
## Shrubs and Plants

- 4. 20 Buxus 'Green Velvet' Green Velvet Boxwood # 3 Pot
- 5. 6 Choisya Ternata Mexica Orange # 5 Pot
- 6.10 Cistus X Purpureus Rock Rose # 3 Pot
- 7. 4 Native Fern native fern # 3 Pot
- 8. 8 Lavandula 'Otto Quest' Otto Quest Lavender # 1 Pot



Proposed Fence along Lot B  
 Corrigated solid metal  
 with 1" \* 6" cedar boards on top

Retaining Wall as Required



## GENERAL NOTES

### Landscape Plan

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 Saanichton

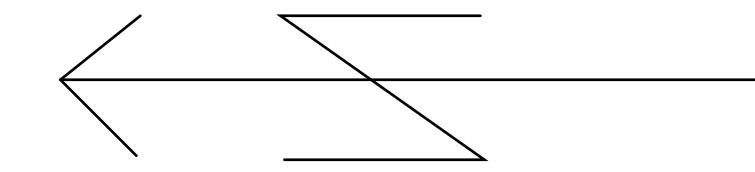
CLIENT:  
 Bernd Struck

DRAWING: FLOOR PLAN  
 DRAWING SUB NAME  
 SCALE: 1/4" = 1'-0" DATE: August 28, 2021

PREPARED BY	SHEET:
#DRAWN BY	<b>A2</b>
CHECKED BY:	
#CHECKED BY	
APPROVED BY:	
#APPROVED BY	

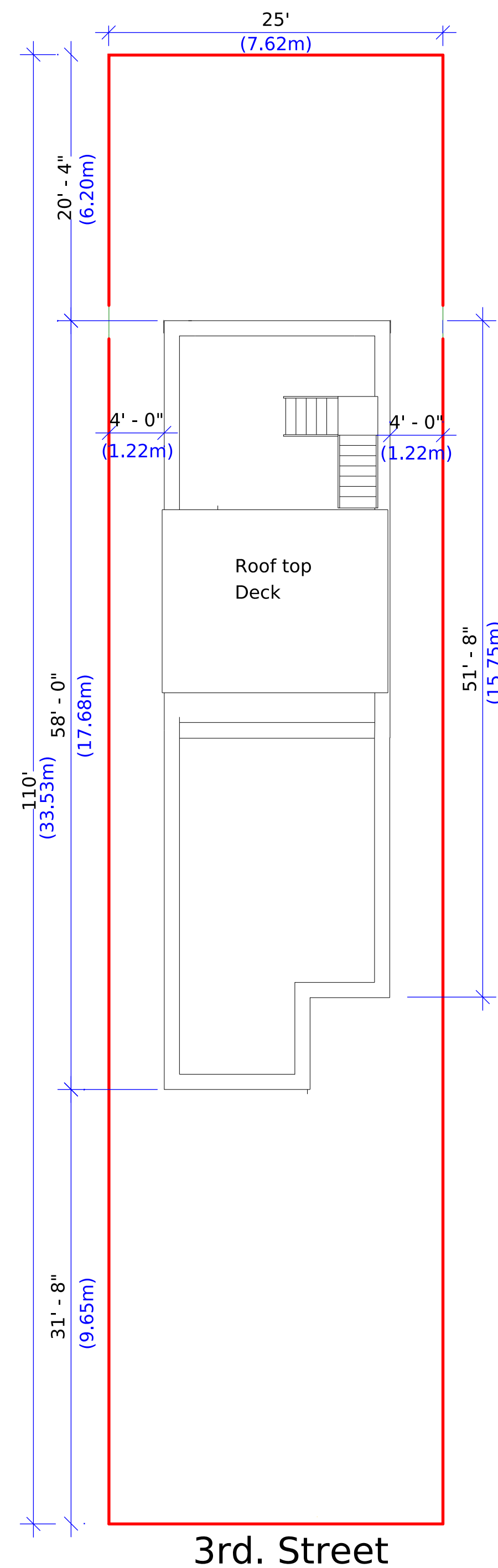
# SUBDIVISION APPLICATION - LOT A

Legal Description Lot 3, Block 24, Plan VIP 1552  
 Sec. 10, Range 4E, North Saanich District  
 PID: 007-210-353



## Site Plan

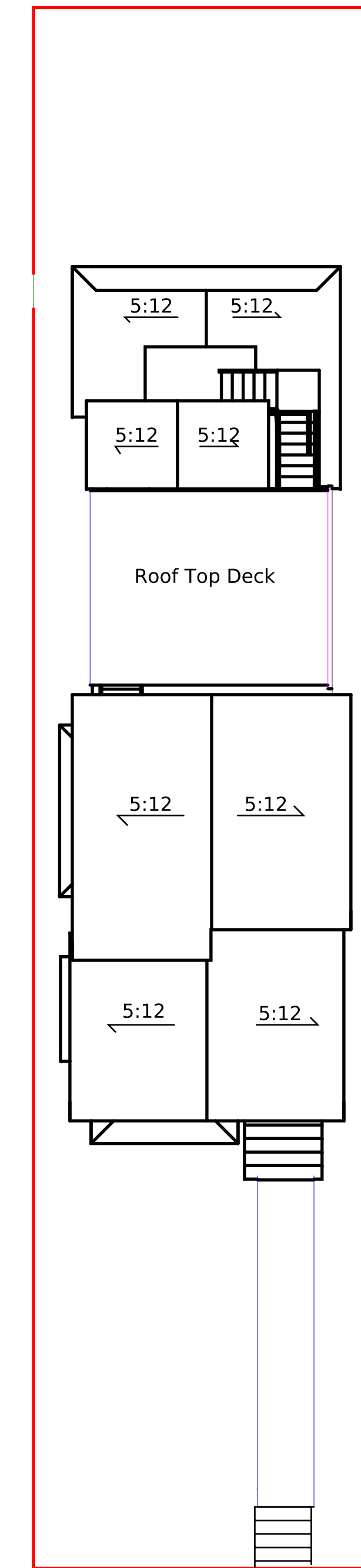
Back Lane



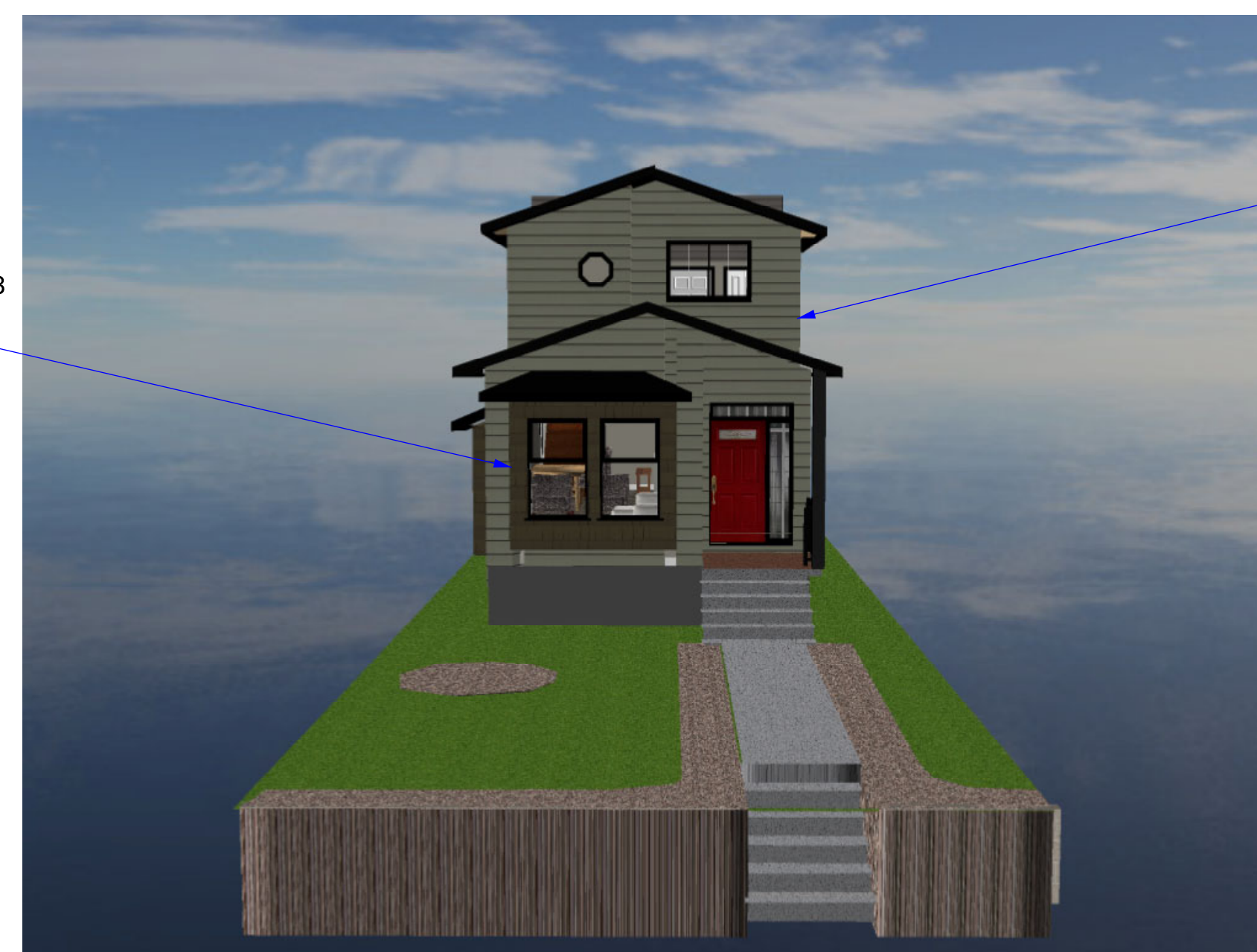
### Zoning R 1.3

	Proposed	Min. Requirements	Variance Required
Lot Size	2750 ft <sup>2</sup> = 255 m <sup>2</sup>	255m <sup>2</sup>	No
Upper Floor	948 ft <sup>2</sup> = 34.5%	< 30%	Yes
Upper Floor	589 ft <sup>2</sup> = 21.4%	< 30%	No
Garage (underground)	534 ft <sup>2</sup>	N/A	No
Uncovered Deck	269 ft <sup>2</sup>	N/A	No
Number of Floors	2.5	< 2.5	No
Height of Building	25' - 11" = 7.89m	< 8m	No
Front Set Back	31' - 8" = 9.65m	4.5m	No
Rear Set Back	20' - 4" = 6.2m	3 m	No
Side Int. Set Back	1.2m	1.2 m	No

## Roof Plan



Bump Out  
 Cementitious Shingle Siding  
 Benjamin Moore CC - D24-2-0220-3  
 Monk's Cloth



Cementitious Siding  
 Benjamin Moore CC - 700  
 Smoky Green

### GENERAL NOTES

Lot A

No.	REVISION/ISSUE	DATE

ORIENTATION	STAMP

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 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER

**Cardinal Consulting**  
 1601 Keating Cross Rd.  
 Saanichton, B.C.  
 V8M 1W9  
 250 361 7081

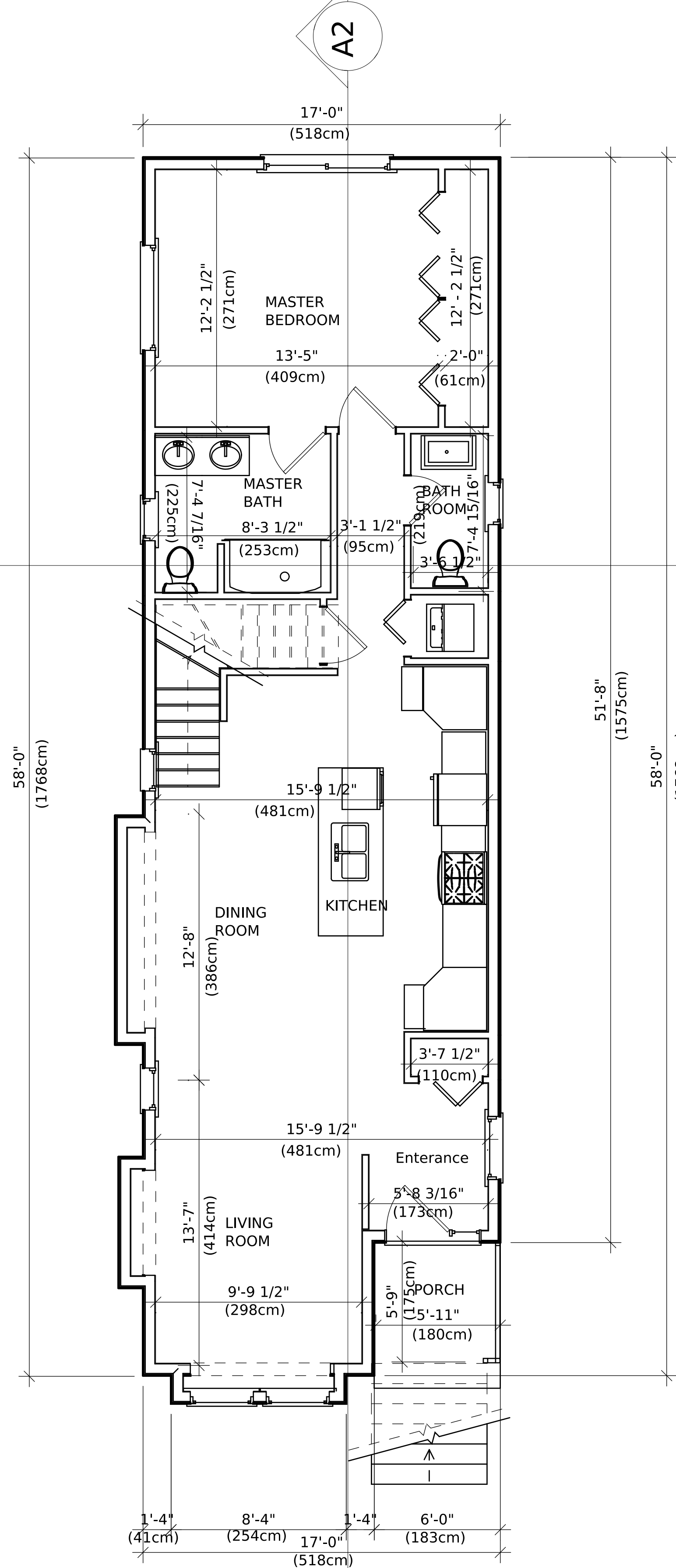
PROJECT NAME:  
**9633 3RD. Street**  
 Sidney

CLIENT:  
 Bernd Struck

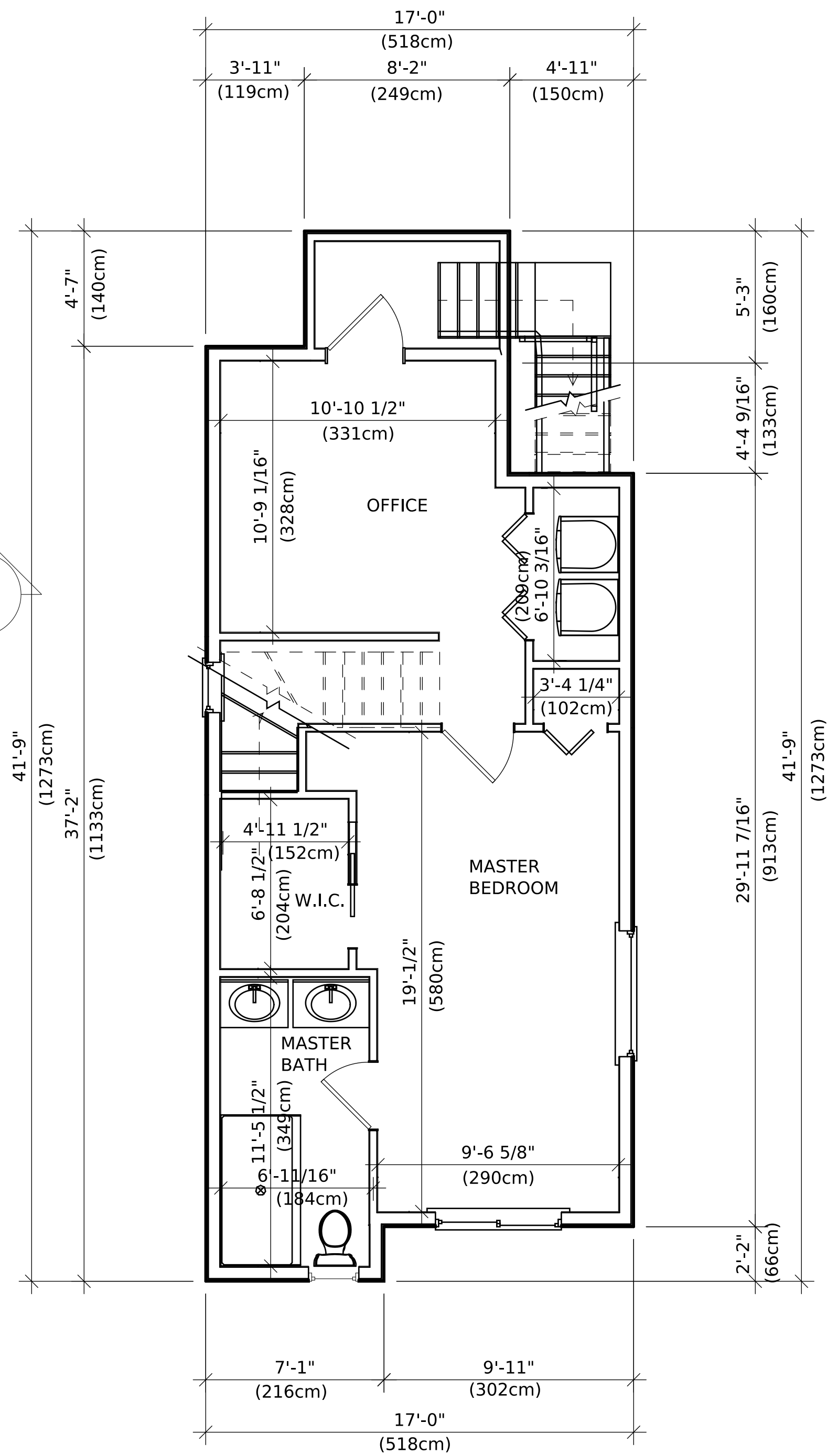
DRAWING:  
**SITE PLAN**  
 DRAWING SUB NAME  
 SCALE: 1/8" = 1'-0"    DATE: June 2021

DRAWN BY: #DRAWN BY	SHEET:
CHECKED BY: #CHECKED BY	<b>A1</b>
APPROVED BY: #APPROVED BY	

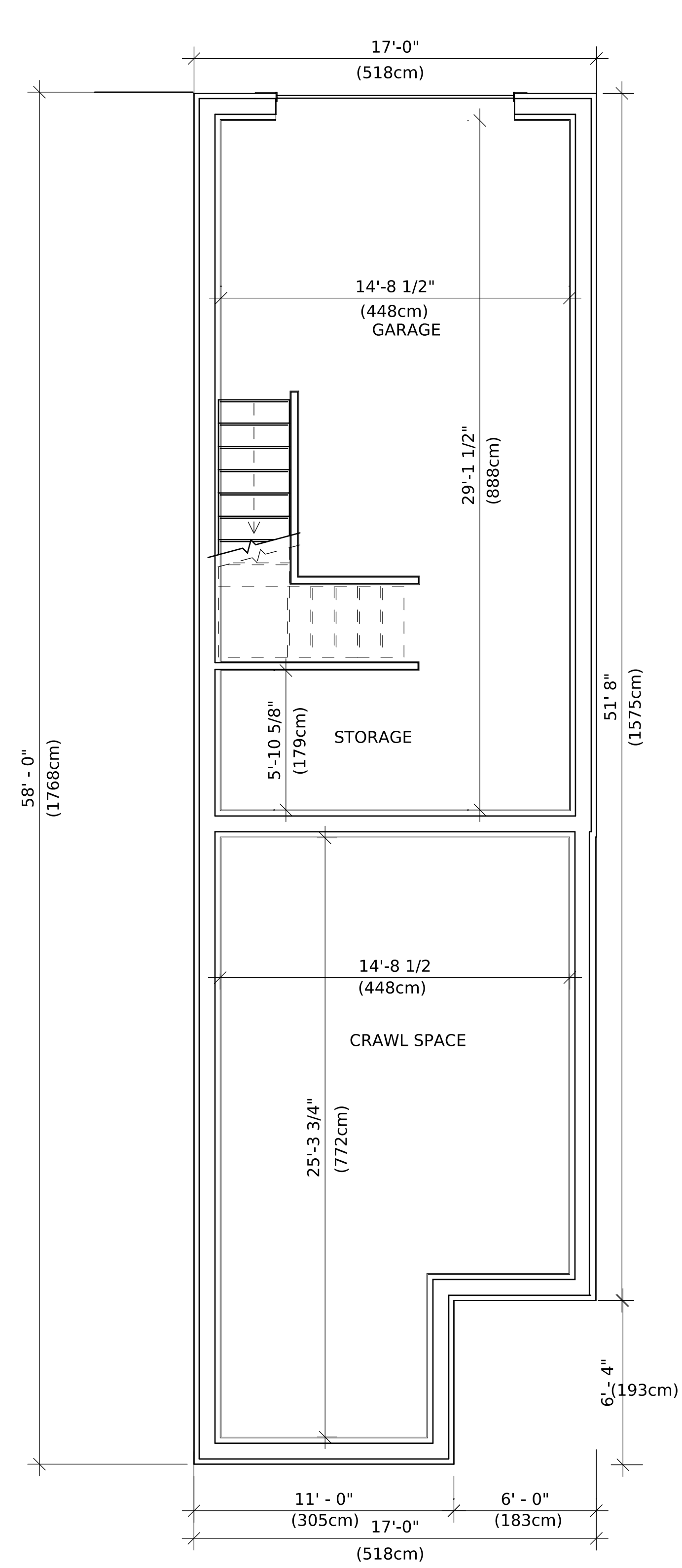
**Main Floor**  
948 ft<sup>2</sup>  
(88.07 m<sup>2</sup>)



**Second Floor**  
589 ft<sup>2</sup>  
(54.72 m<sup>2</sup>)



**Foundation**  
948 ft<sup>2</sup>  
(88.07 m<sup>2</sup>)



GENERAL NOTES

Lot A

No.	REVISION/ISSUE	DATE

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1601 Keating Cross Rd.  
Saanichton, B.C.  
V8M 1W9  
250 361 7081

PROJECT NAME:  
**9633 3RD. Street**  
Sidney

CLIENT:  
Bernd Struck

DRAWING:  
**FLOOR PLAN**  
FLOOR PLANS  
SCALE: 1/4" = 1'-0"    DATE: June 2021

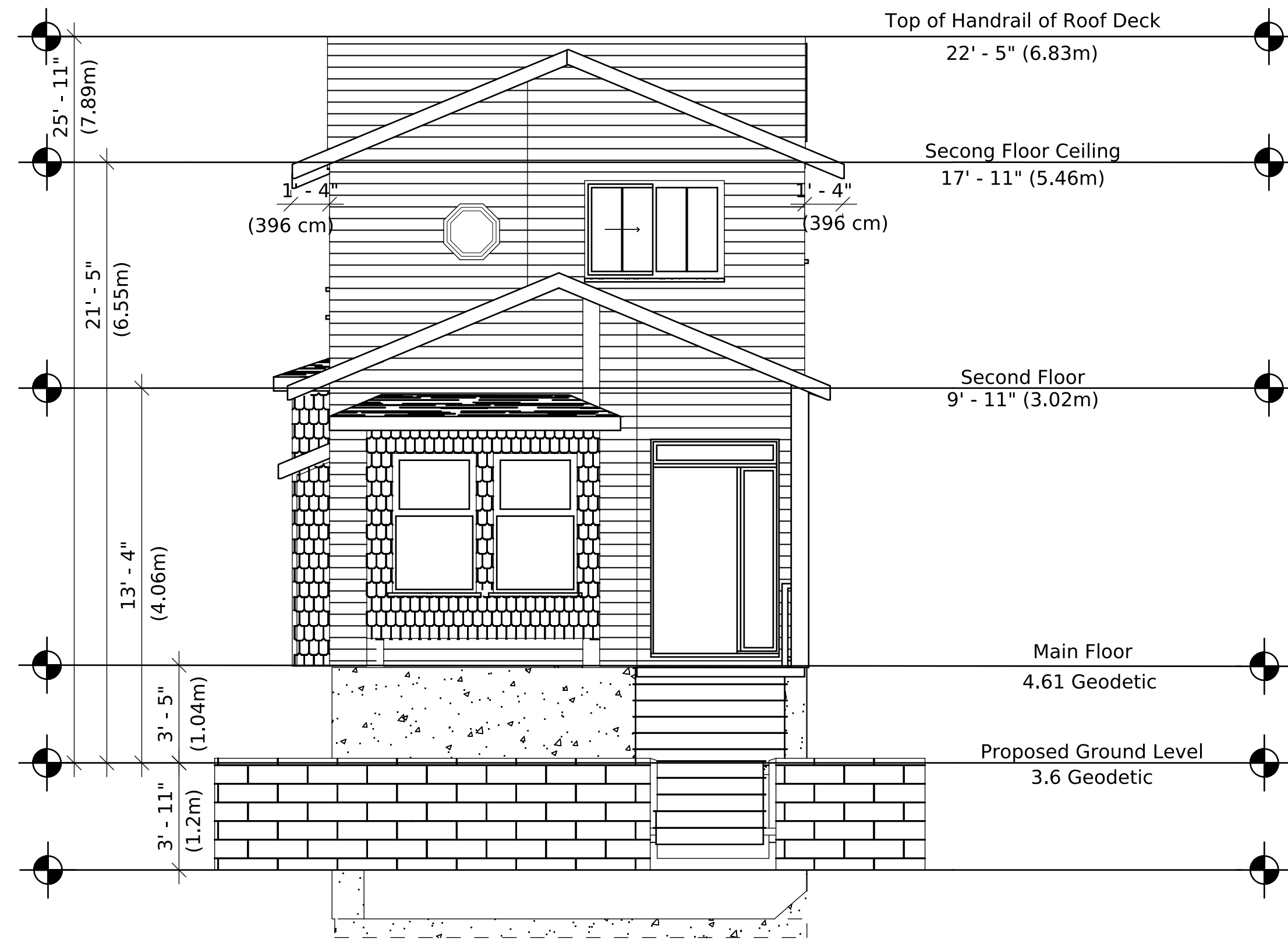
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CHECKED BY: #CHECKED BY	
APPROVED BY: #APPROVED BY	



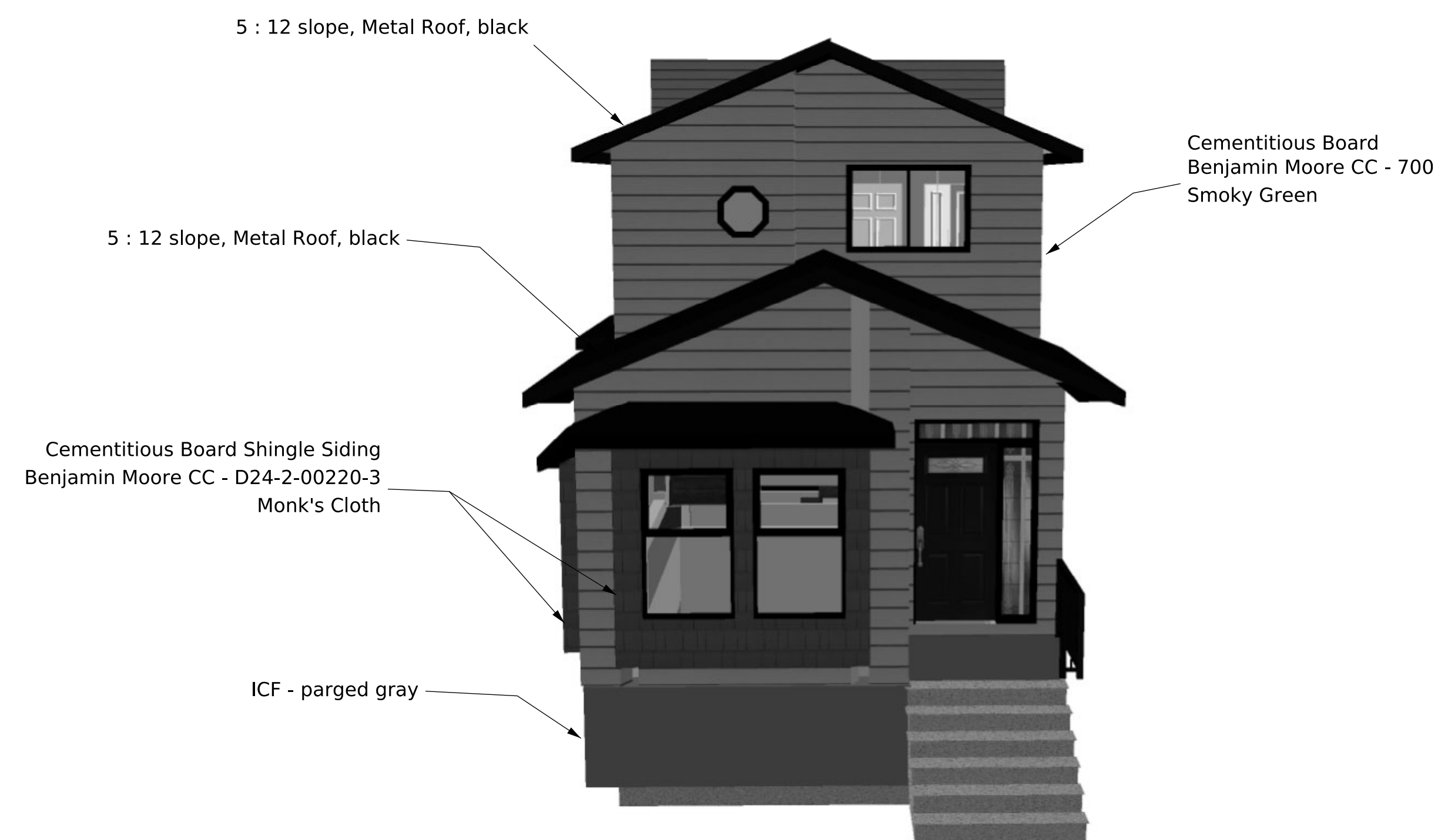
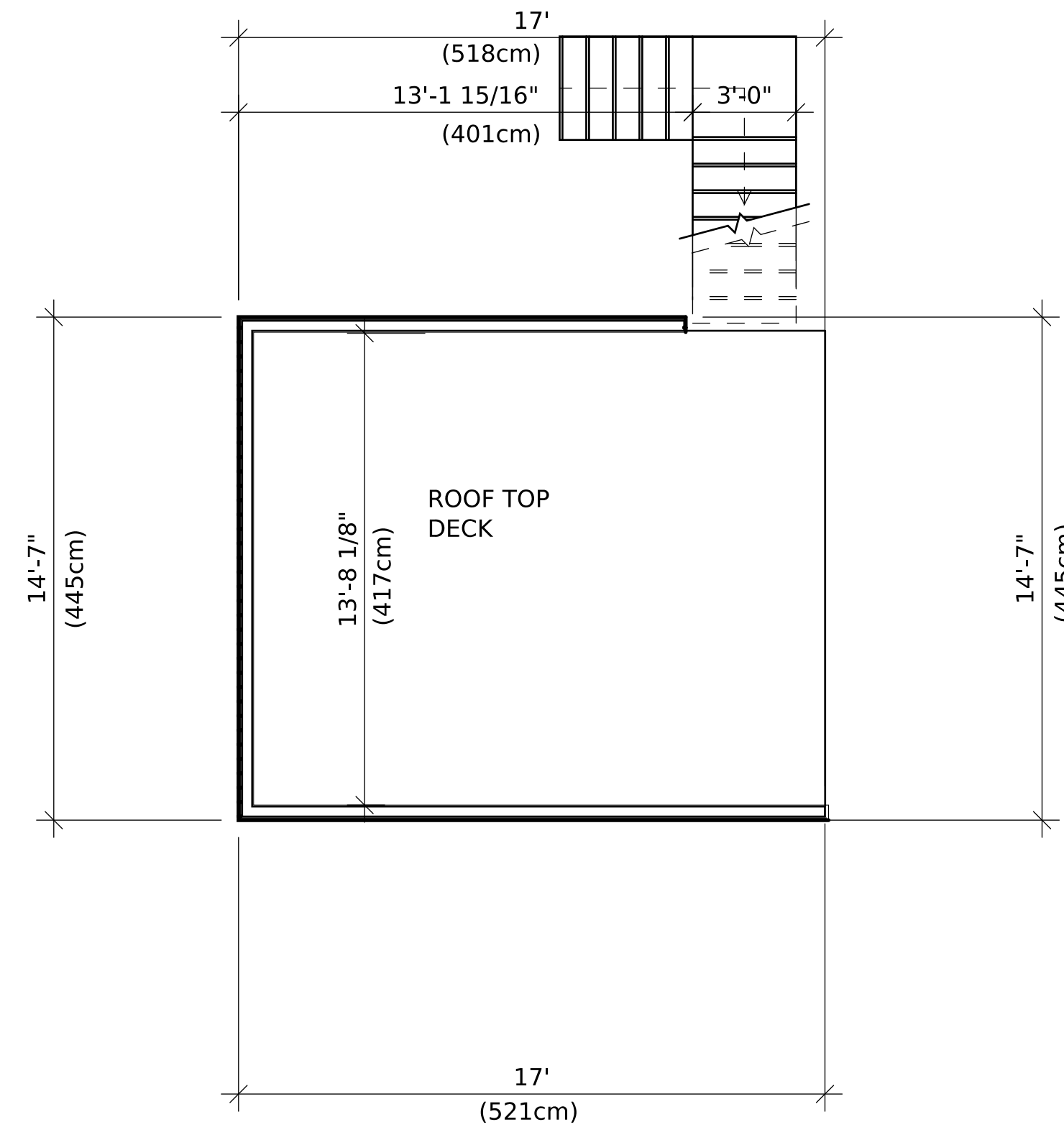
### FRONT ELEVATION West Facing

Measurements Taken From Proposed Ground Level

Measurements Taken From Ground Floor



### Roof Top Deck Floor Plan



#### GENERAL NOTES

Lot A

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V8M 1W9  
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PROJECT NAME:  
**9633 3RD. Street**  
Sidney

CLIENT:  
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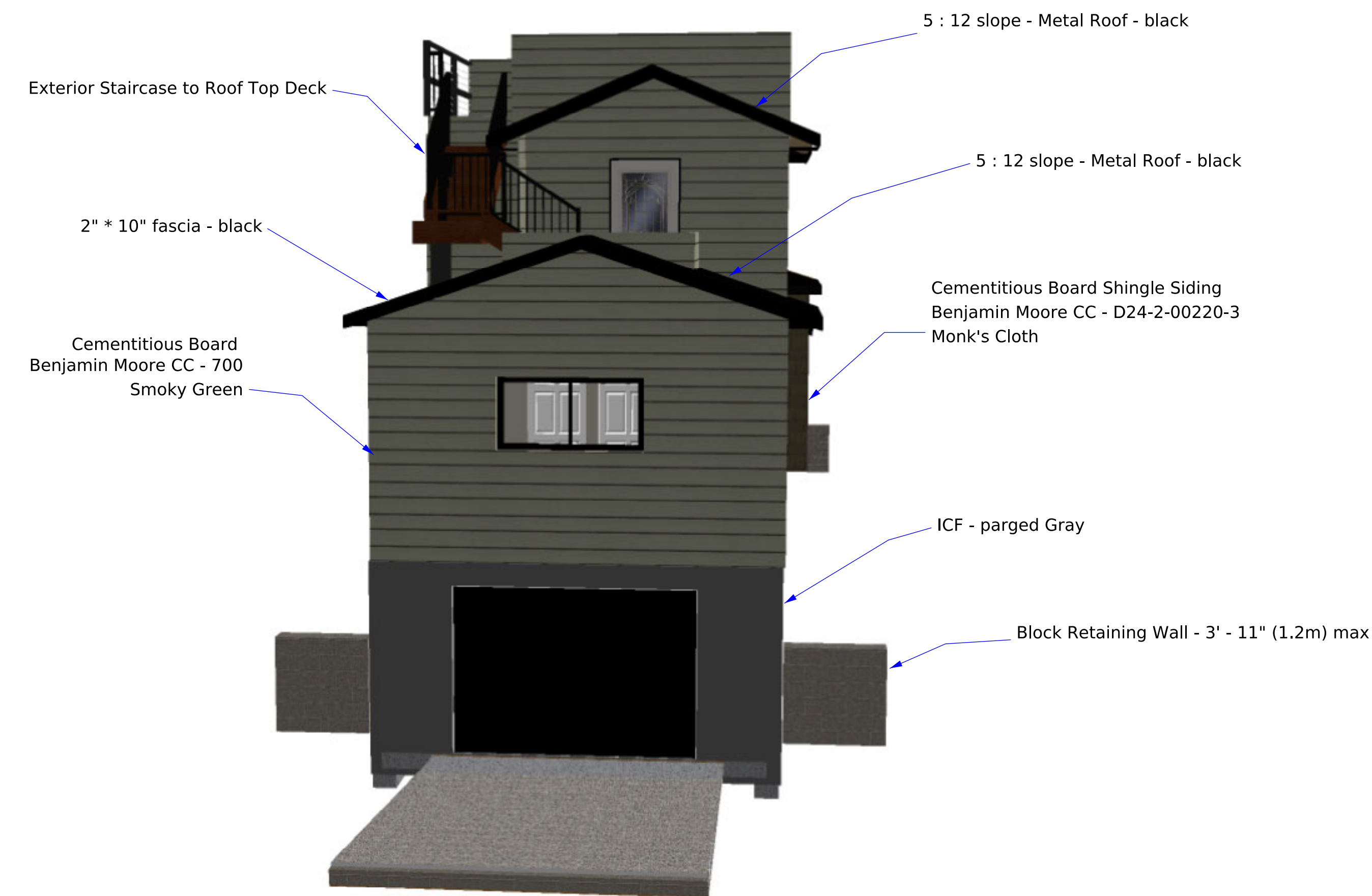
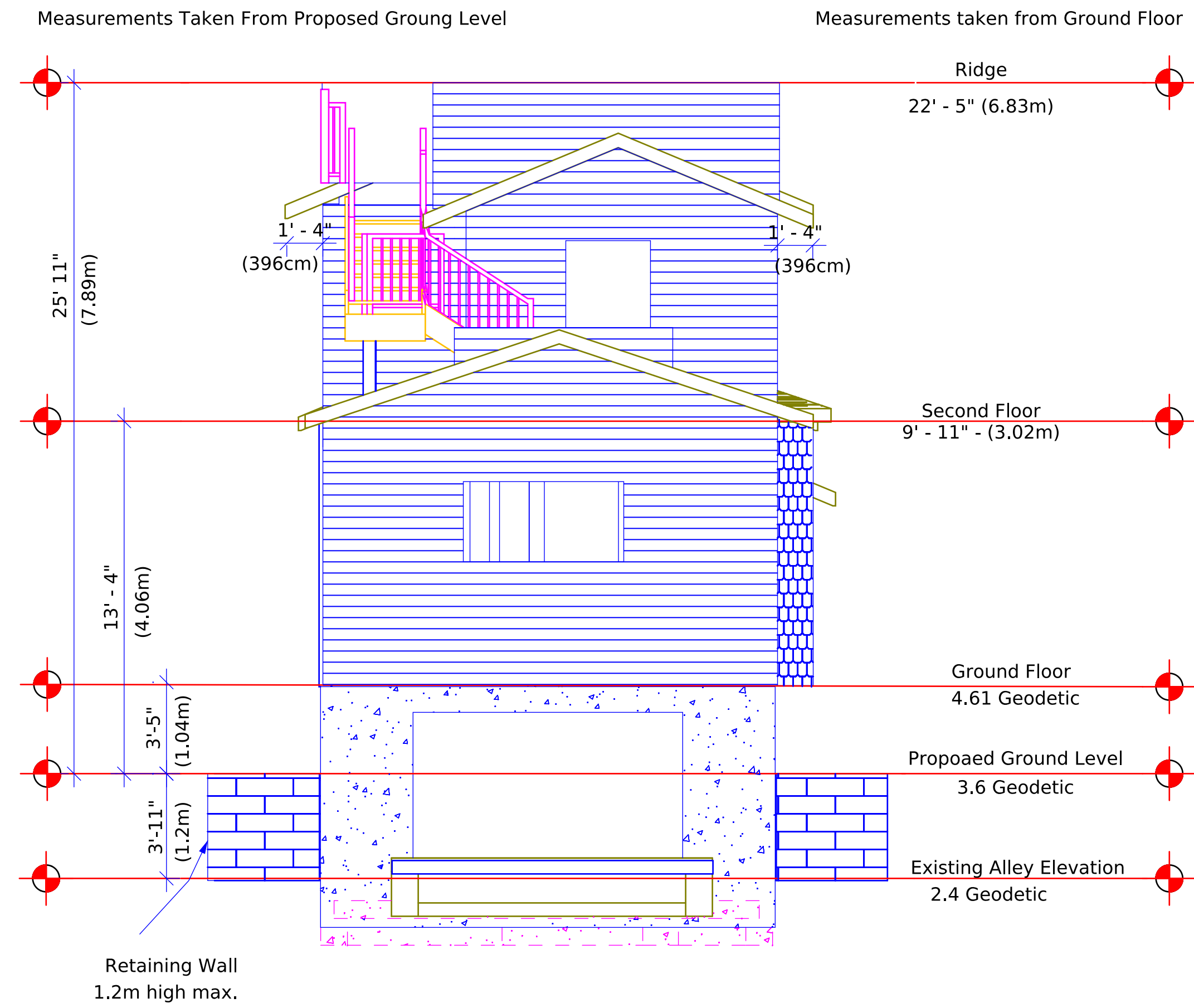
DRAWING:  
**Elevations  
Elevations**

SCALE: 1/4" = 1'-0"    DATE: June 2021

DRAWN BY: #DRAWN BY	SHEET: <b>A3</b>
CHECKED BY: #CHECKED BY	
APPROVED BY: #APPROVED BY	

# EAST (Rear) ELEVATION

Scale 1/4" = 1' - 0"



## GENERAL NOTES

Lot A

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V8M 1W9  
250 361 7081

PROJECT NAME:  
**9633 3RD. Street**  
Sidney

CLIENT:  
**Bernd Struck**

DRAWING:  
**Elevations**

SCALE: 1/4" = 1'-0"    DATE: June 2021

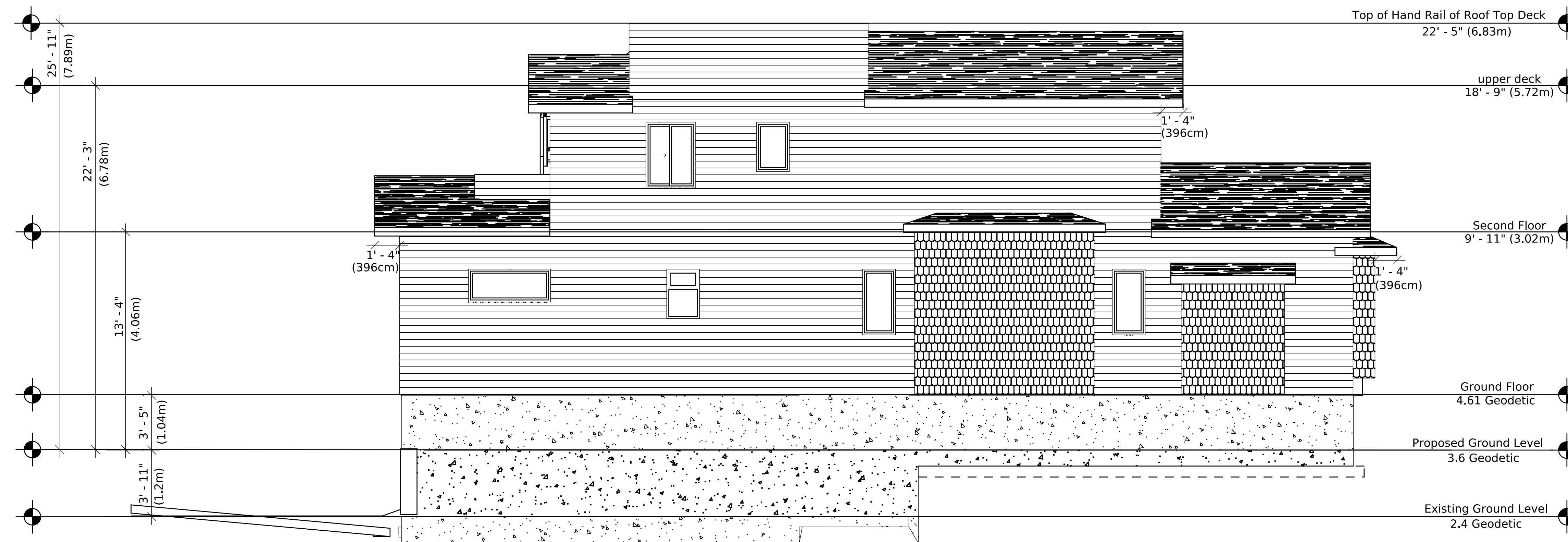
DRAWN BY: #DRAWN BY	SHEET:
CHECKED BY: #CHECKED BY	<b>A4</b>
APPROVED BY: #APPROVED BY	

# NORTH ELEVATION

Scale 1/4" = 1' - 0"

Measurements Taken From Proposed Ground Level

Measurements Taken From Ground Floor



## GENERAL NOTES

Lot A

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 250 361 7081

PROJECT NAME:  
**9633 3RD. Street**  
 Sidney

CLIENT:  
**Bernd Struck**

DRAWING:  
**Elevations**

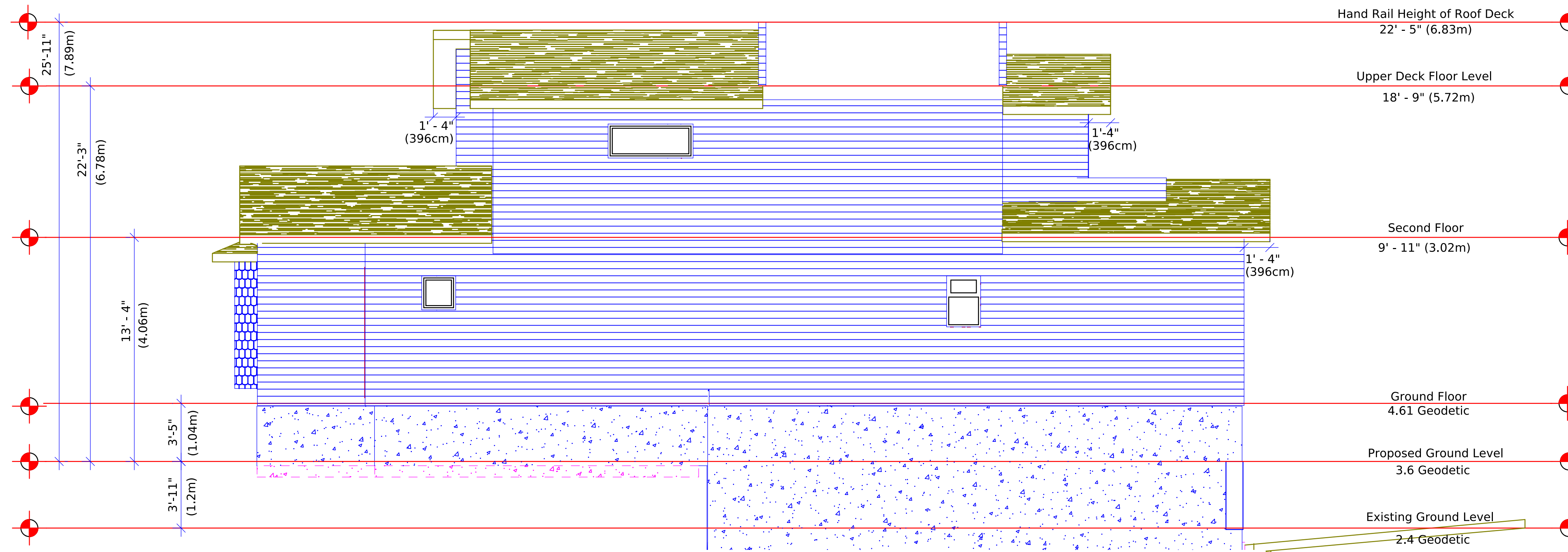
SCALE: 1/4" = 1'-0"      DATE: June 2021

DRAWN BY: #DRAWN BY	SHEET:
CHECKED BY: #CHECKED BY	<b>A5</b>
APPROVED BY: #APPROVED BY	

# SOUTH ELEVATION

Scale 1/4" = 1' - 0"

Measurements Taken From Posposed Ground Level



Measurements Taken From Ground Floor

Hand Rail Height of Roof Deck  
22' - 5" (6.83m)

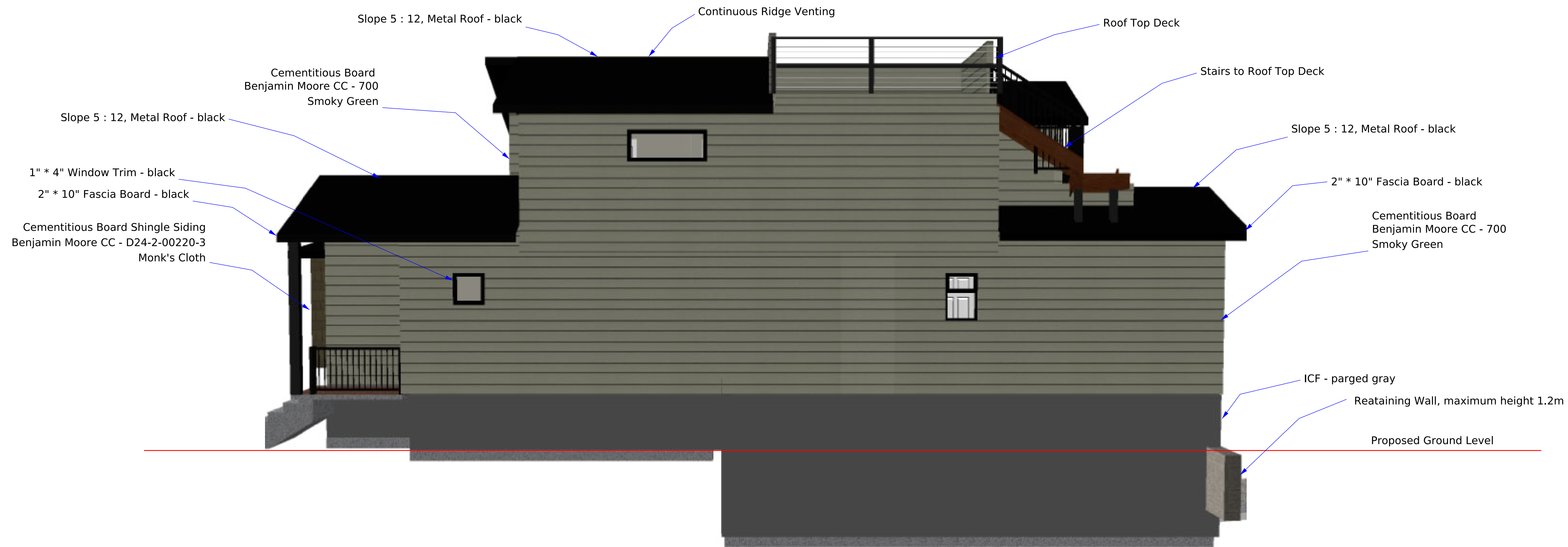
Upper Deck Floor Level  
18' - 9" (5.72m)

Second Floor  
9' - 11" (3.02m)

Ground Floor  
4.61 Geodetic

Proposed Ground Level  
3.6 Geodetic

Existing Ground Level  
2.4 Geodetic



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DRAWING:  
**Elevations**

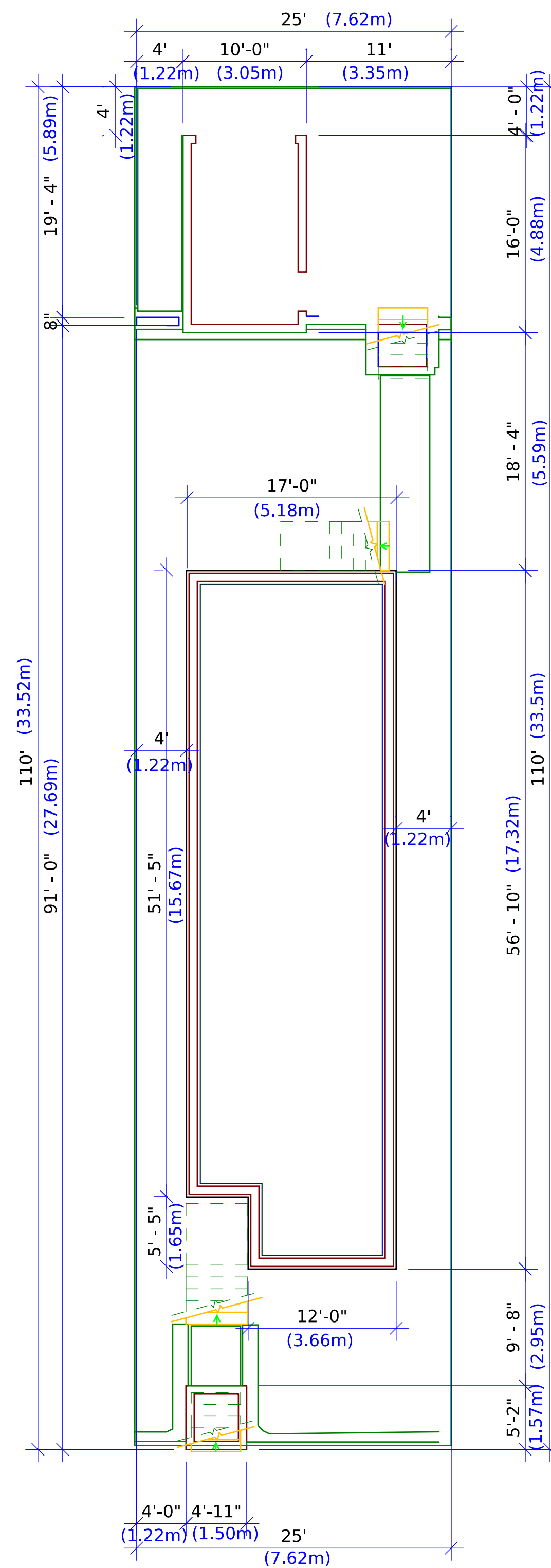
SCALE: 1/4" = 1'-0"    DATE: June 2021

DRAWN BY: #DRAWN BY	<b>A6</b>
CHECKED BY: #CHECKED BY	
APPROVED BY: #APPROVED BY	

# SUBDIVISION APPLICATION PROPOSED LOT B

Legal Description: Lot 3, Block 24, Plan VIP 1552  
 Sec. 10, Range 4E, North Saanich District  
 PID: 007-210-353

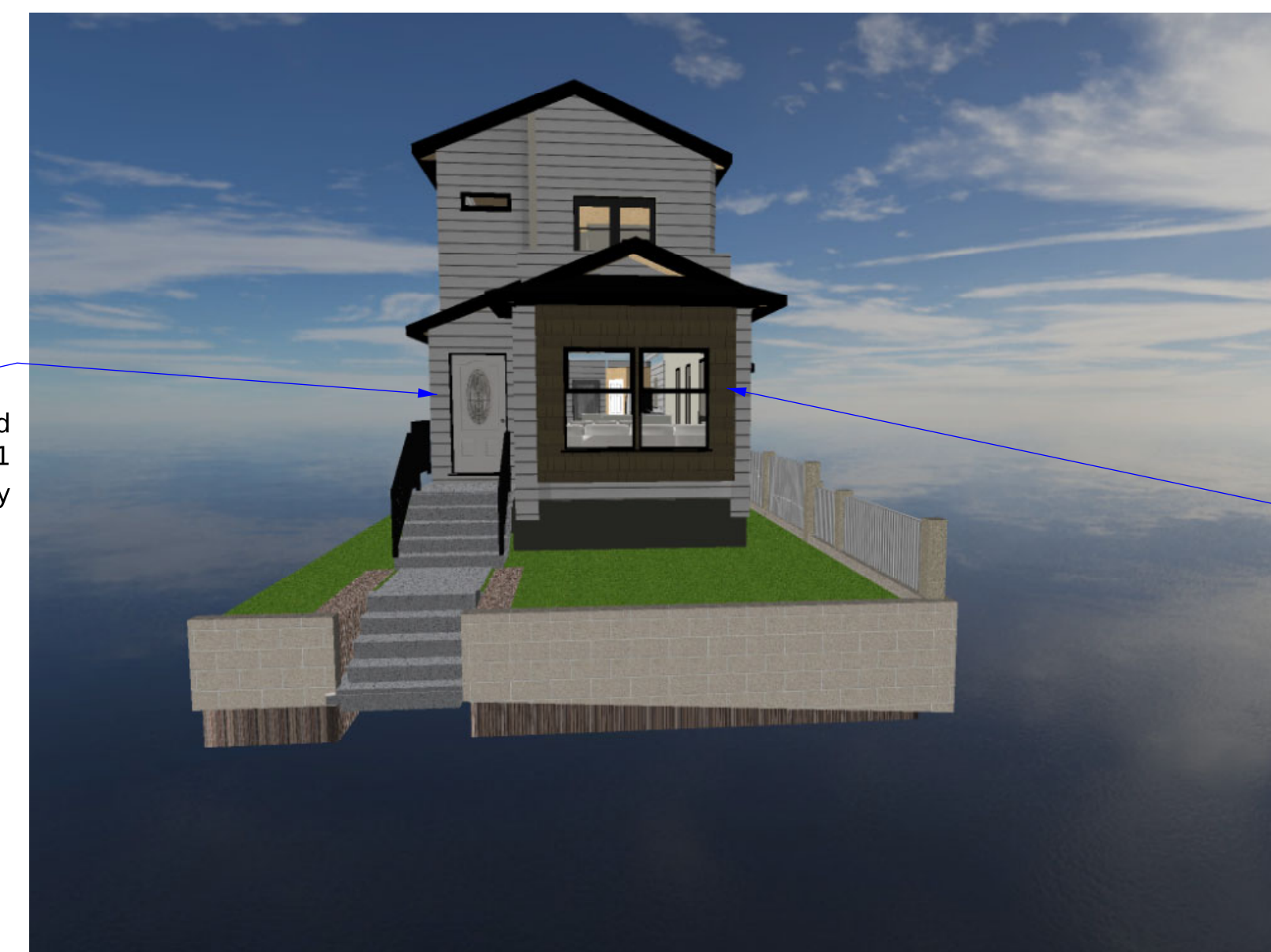
Site Plan  
 1/8" = 1' - 0"



Zoning R 1.3	Proposed	Min. Requirement	Variance Required
Lot Size	255m <sup>2</sup> = 2750 ft <sup>2</sup>	255m <sup>2</sup> = 2750 ft <sup>2</sup>	No
Main Floor	934 ft <sup>2</sup> (86.6m <sup>2</sup> ) = 34%	< 30%	Yes
Upper Floor	795 ft <sup>2</sup> (73.9m <sup>2</sup> ) = 28.9%	< 30%	No
Uncovered Deck	56 ft <sup>2</sup> (5.2m <sup>2</sup> )	N/A	No
Number of floors	2	< 2.5	No
Height of Building	25' - 9" = 7.85m	< 8 m	No
Front Set Back	14' - 10" = 4.5m	4.5 m	No
Rear Set Back	38' - 4" = 11.7m	3.0 m	No
Side Inter. Set Back	1.2m	1.2 m	No
Accessory Building			
Rear Yard Area	657 ft <sup>2</sup> = 61 m <sup>2</sup>	< 5 m	No
Height of Building	10' - 6" = 3.20 m	< 5 m	No
Floor Area	160 ft <sup>2</sup> = 14.86m <sup>2</sup>	25% of rear yard < 164 ft <sup>2</sup> = 15.2m <sup>2</sup>	No
Rear Set Back	1.2m	1.2 m	No
Side Set Back	1.2m	1.2 m	No

5' high fence will be installed along South side of property and will act as a guard rail. Lot shall be graded and lawn seeded once construction is completed.

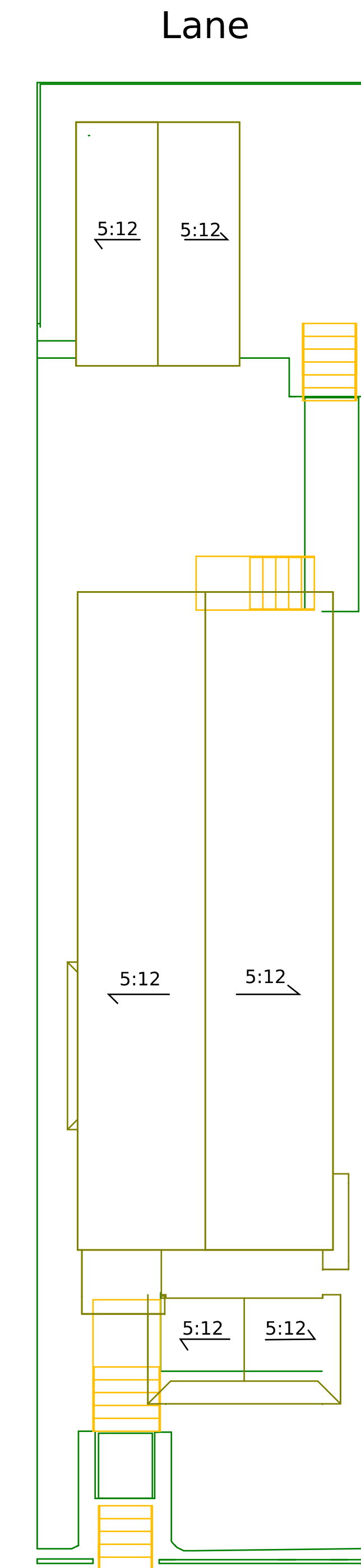
Wiring shall be under ground.



Cementitious Board  
 Benjamin Moore CC - HC - 111  
 Nantucket Gray

Cementitious Shingle  
 Benjamin Moore CC - D24-2-0220-3  
 Monk's Cloth

ROOF PLAN



3rd. Street  
 Scale 1/8" - 1' - 0"

GENERAL NOTES

Lot B

No.	REVISION/ISSUE	DATE

ORIENTATION	STAMP

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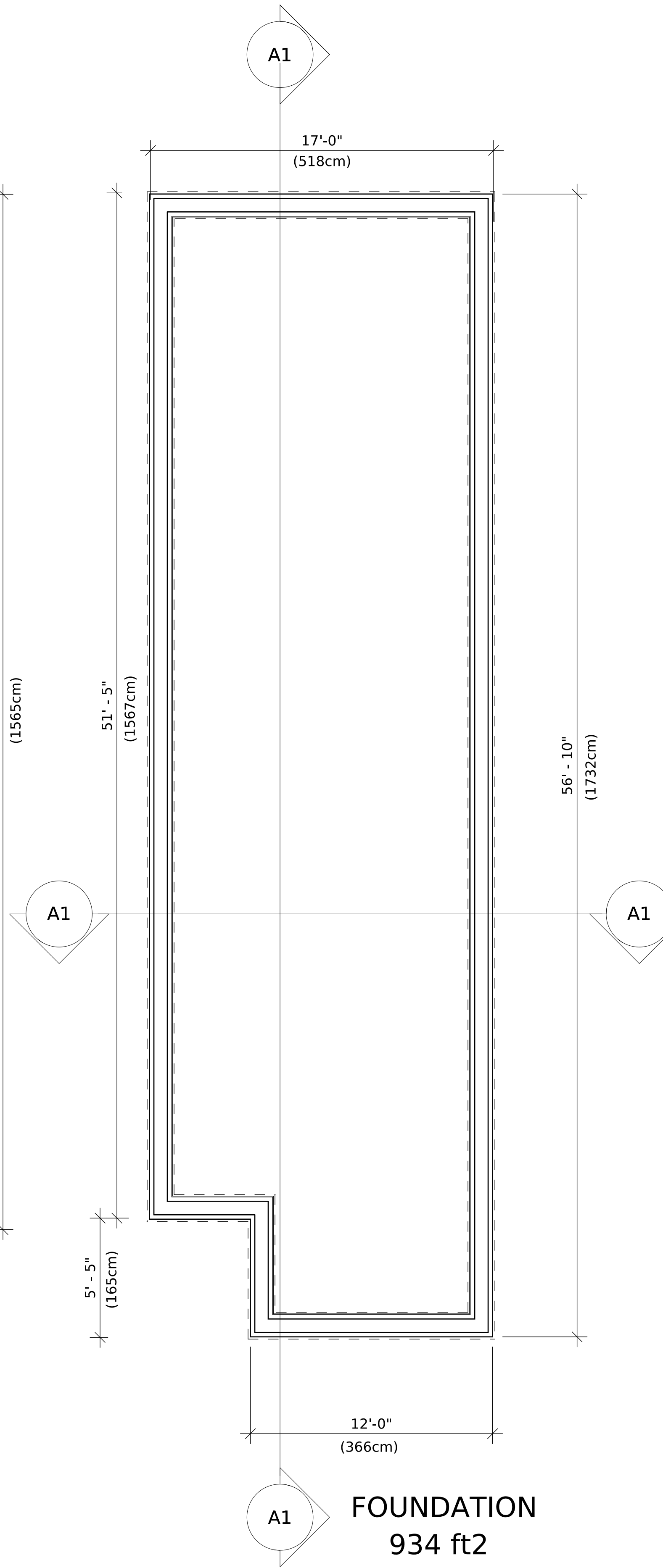
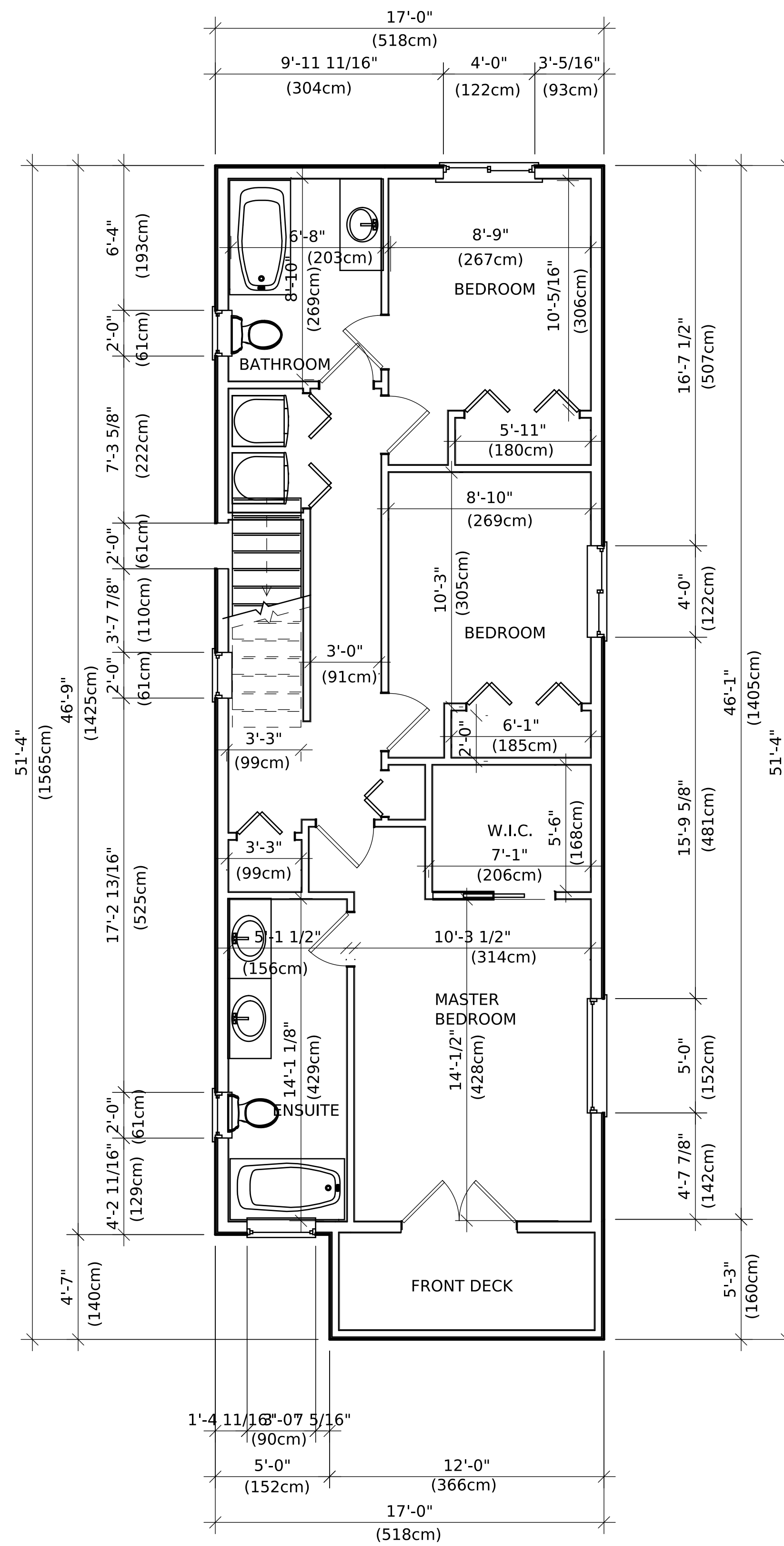
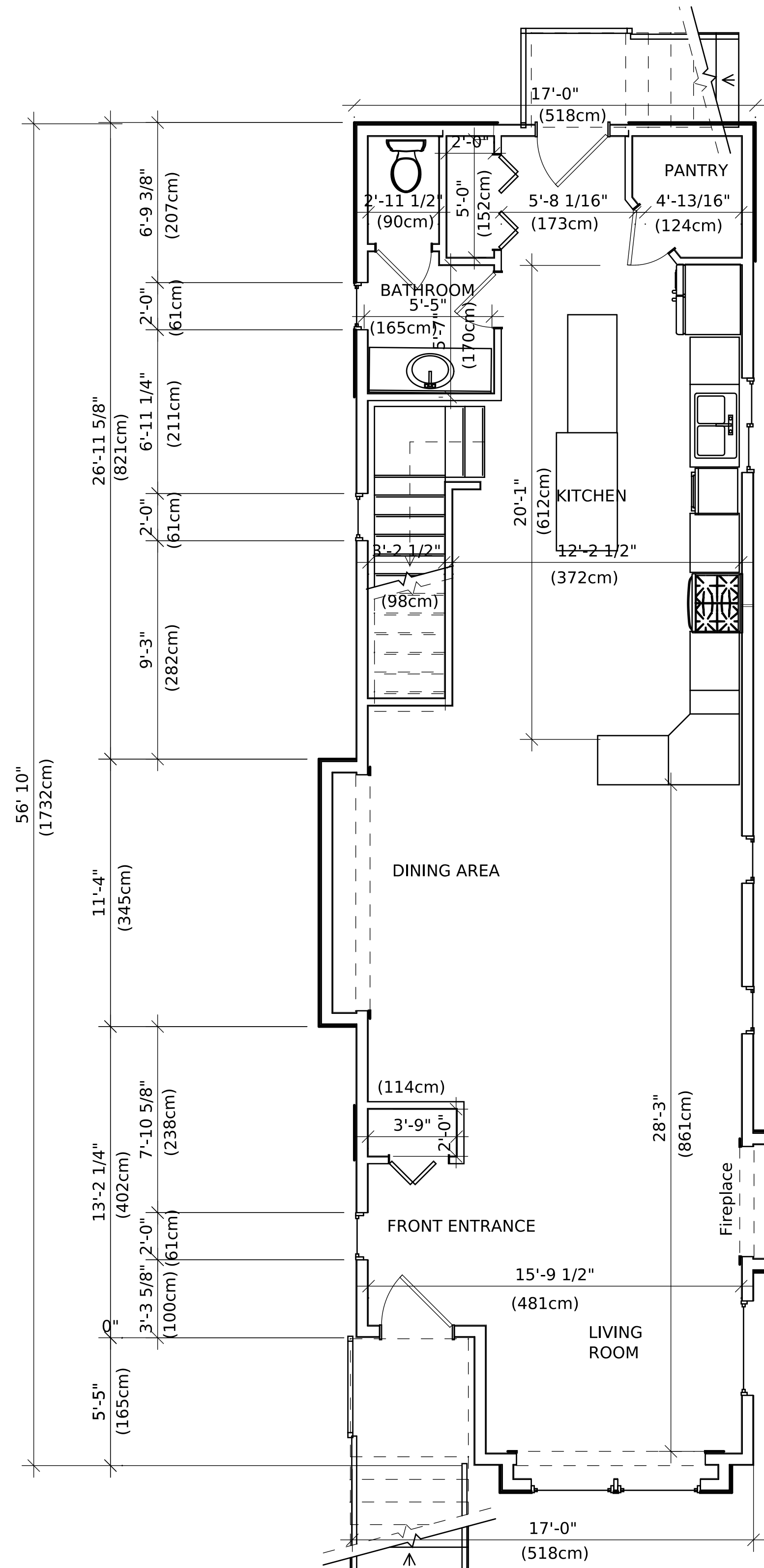
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 Company Ltd.  
 250 361 7081

PROJECT NAME:  
 9633 3rd. Street  
 1601 Keating Cross Rd.  
 Saanichton

CLIENT:  
 Bernd Struck

DRAWING:  
 SITE PLAN  
 DRAWING SUB NAME  
 SCALE: 1/8" = 1'-0" DATE: April 28, 2021

DRAWN BY:  
 Bernd Struck  
 SHEET:  
 A1



GENERAL NOTES

Lot B

No.	REVISION/ISSUE	DATE

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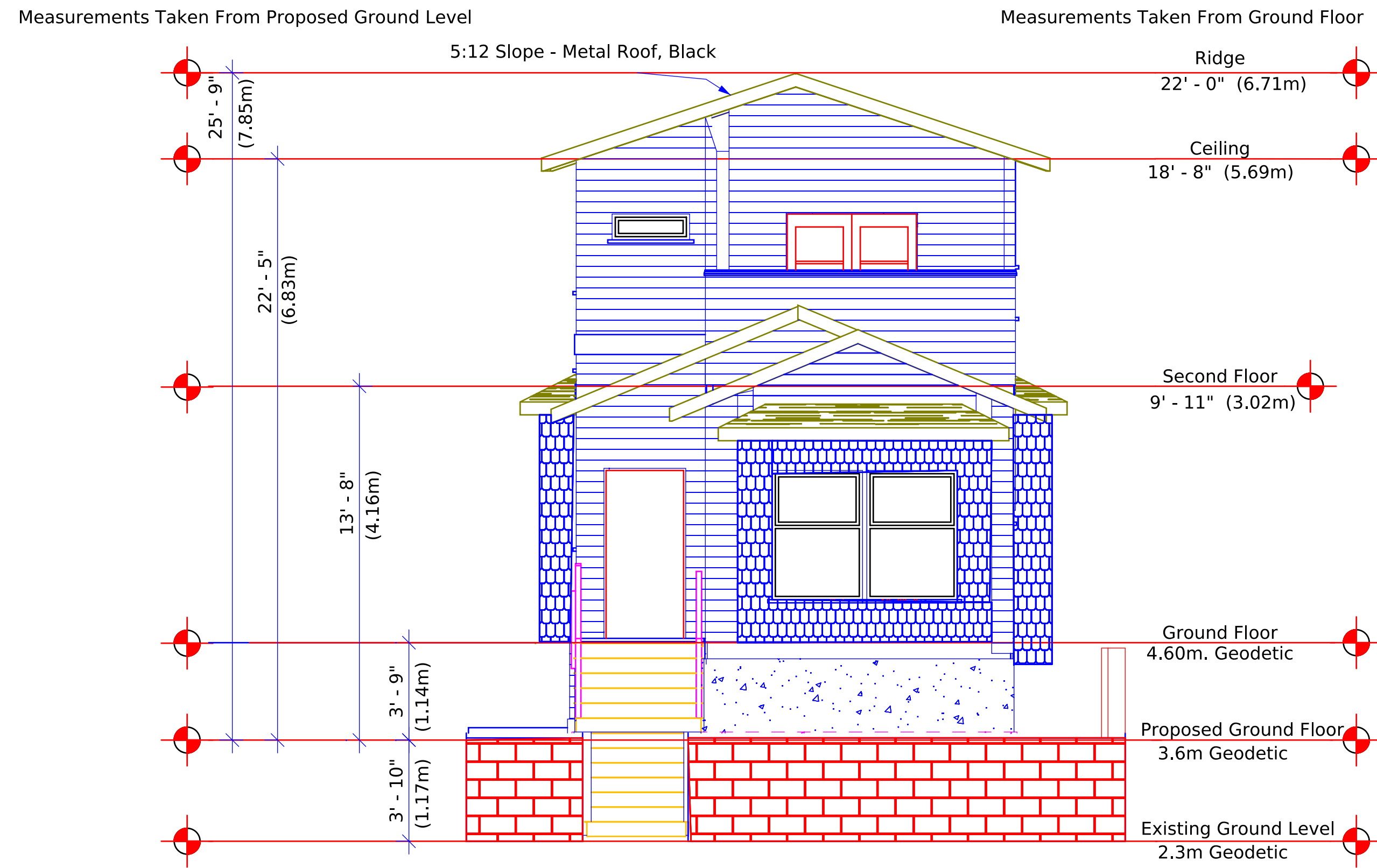
PROJECT NAME:  
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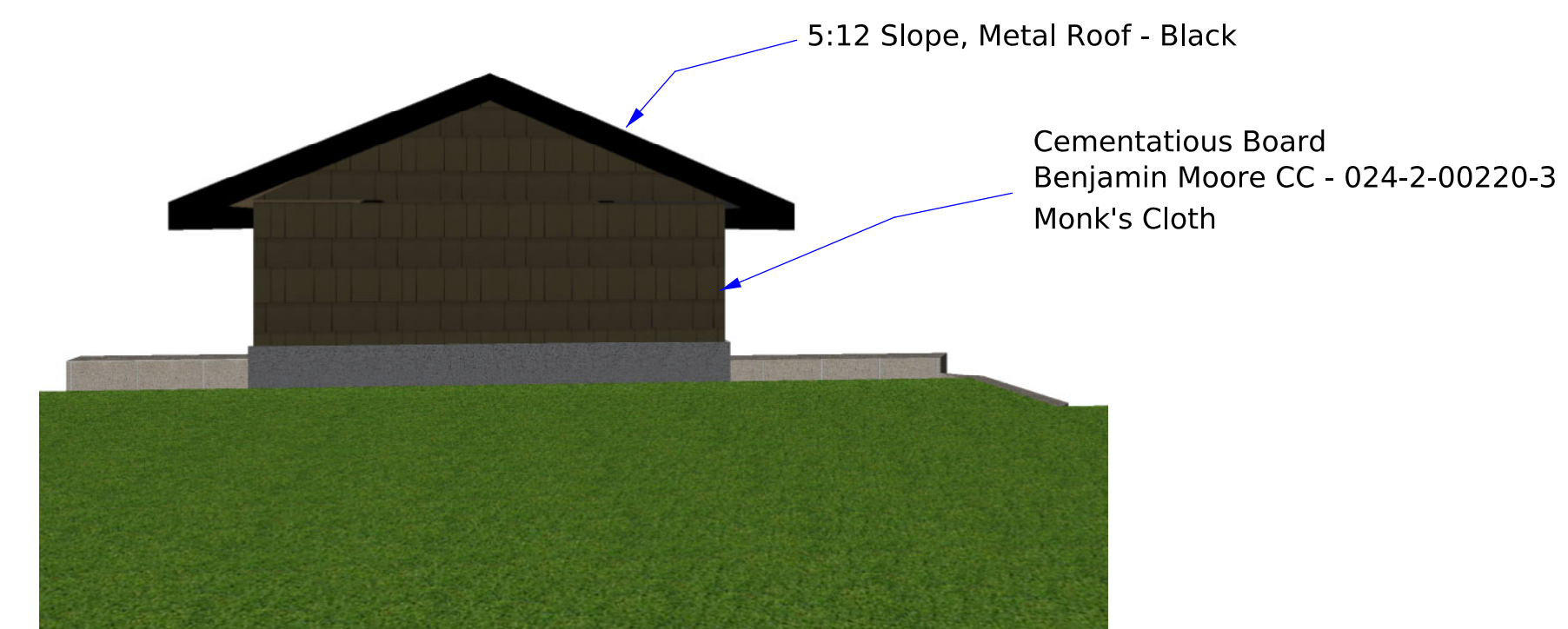
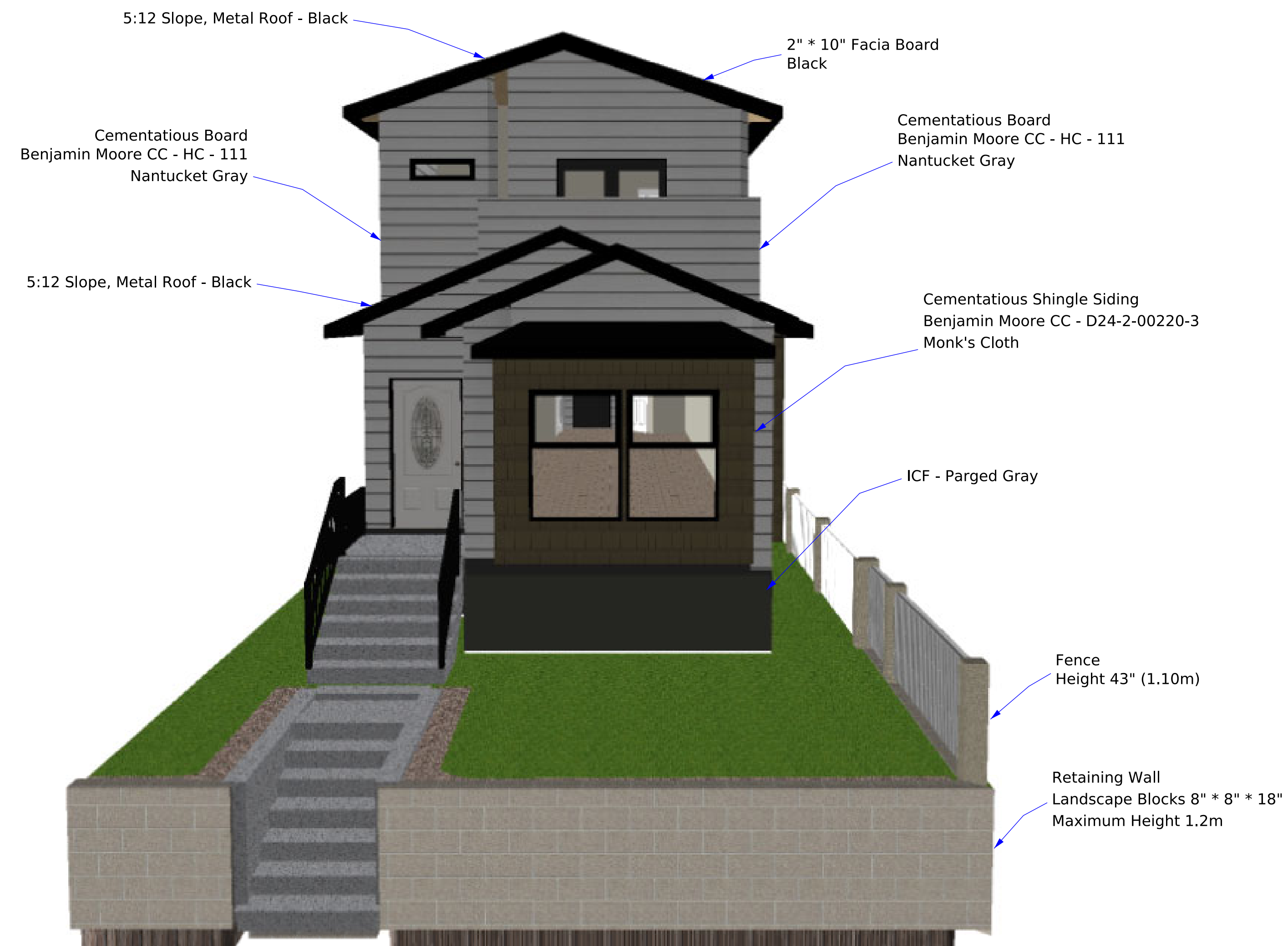
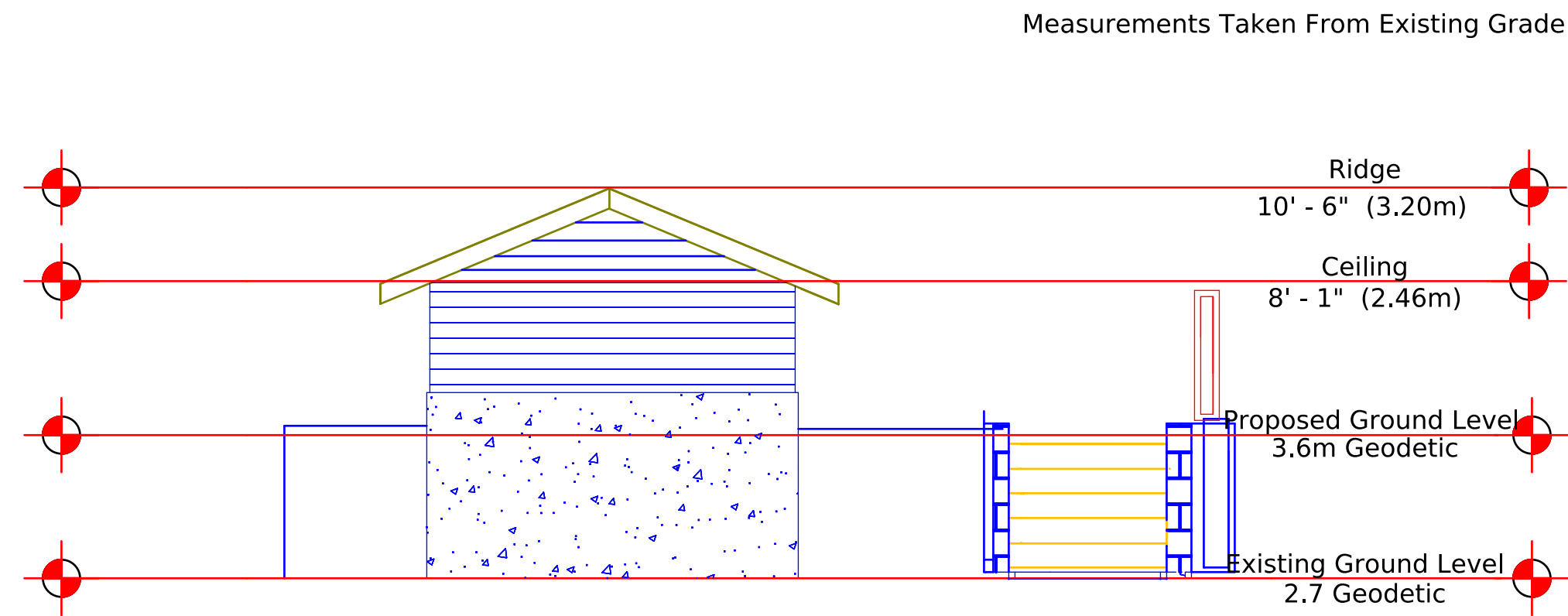
DRAWING:  
**FLOOR PLAN  
DRAWING SUB NAME**  
SCALE: 1/4" = 1'-0"    DATE: April 28, 2021

DRAWN BY: Bernd Struck	SHEET: <b>A2</b>
CHECKED BY:	
APPROVED BY:	

# Front Elevation (East) Facing



## Accessory Building East Facing



### GENERAL NOTES

Lot B

No.	REVISION/ISSUE	DATE

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PROJECT NAME:  
**9633 3rd. Street  
1601 Keating Cross Rd.  
Saanichton**

CLIENT:  
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DRAWING:  
**ELEVATIONS**

SCALE: 1/4" = 1'-0"    DATE: April 28, 2021

DRAWN BY:  
Bernd Struck

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APPROVED BY:

SHEET:

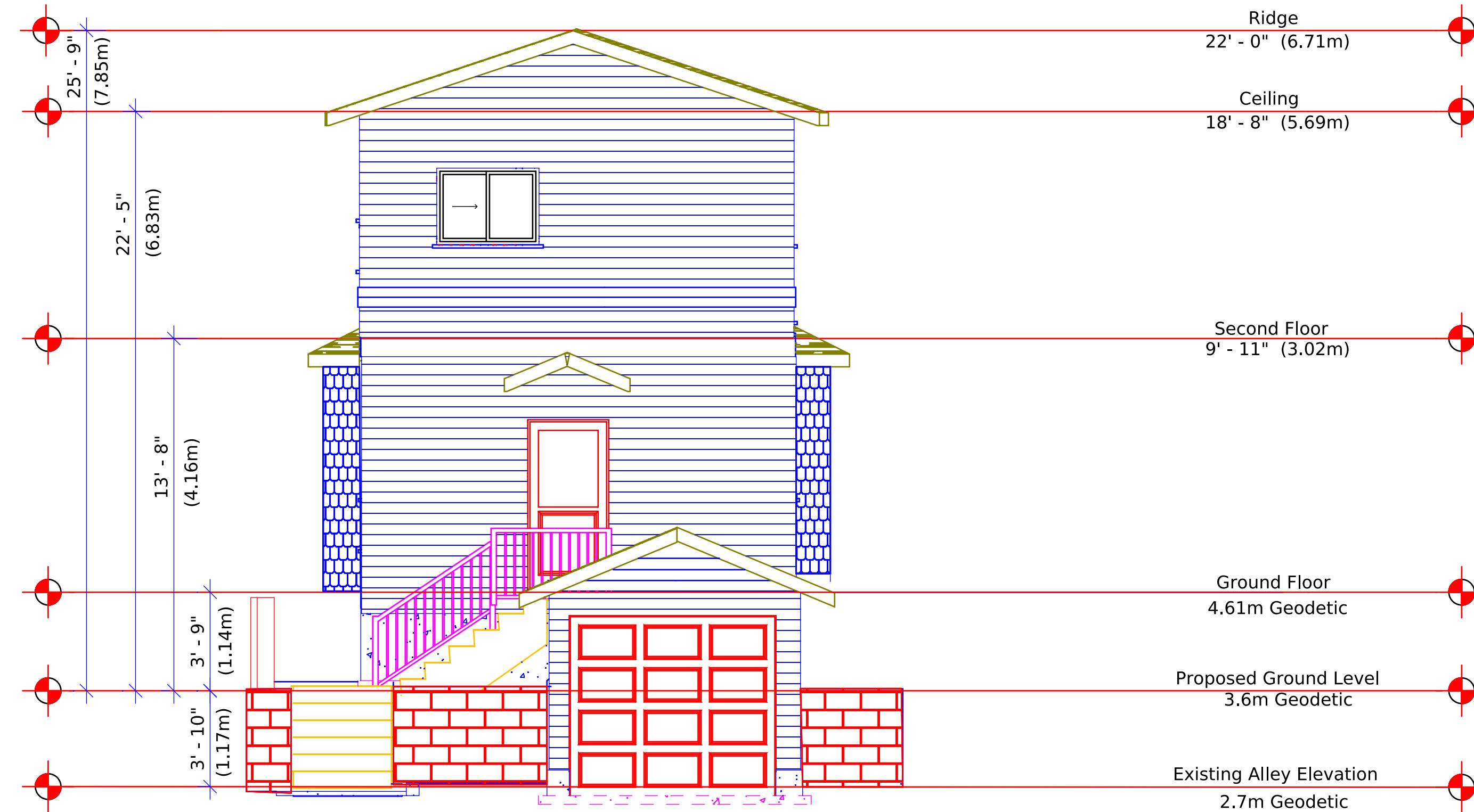
**A3**

# REAR (WEST) ELEVATION

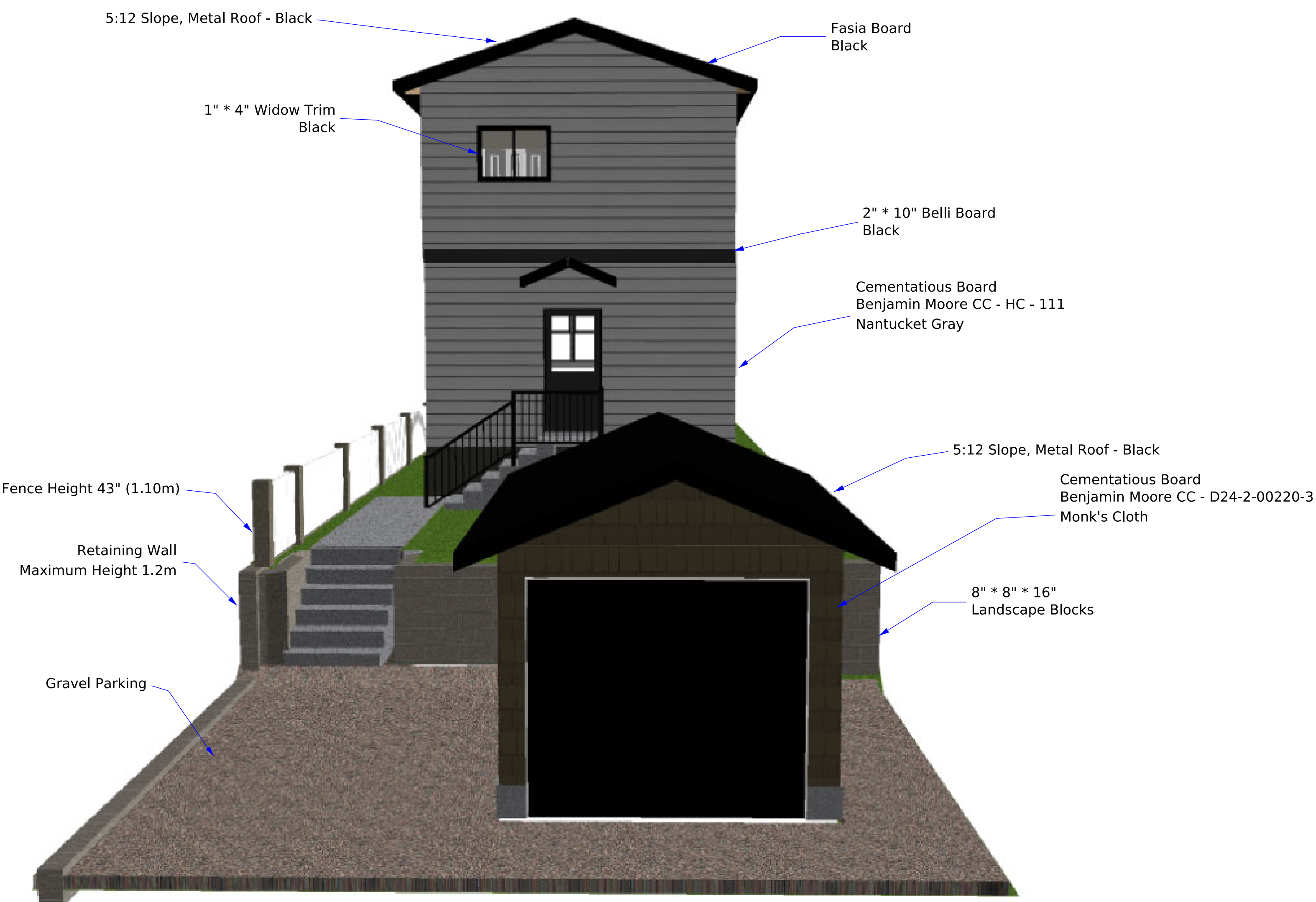
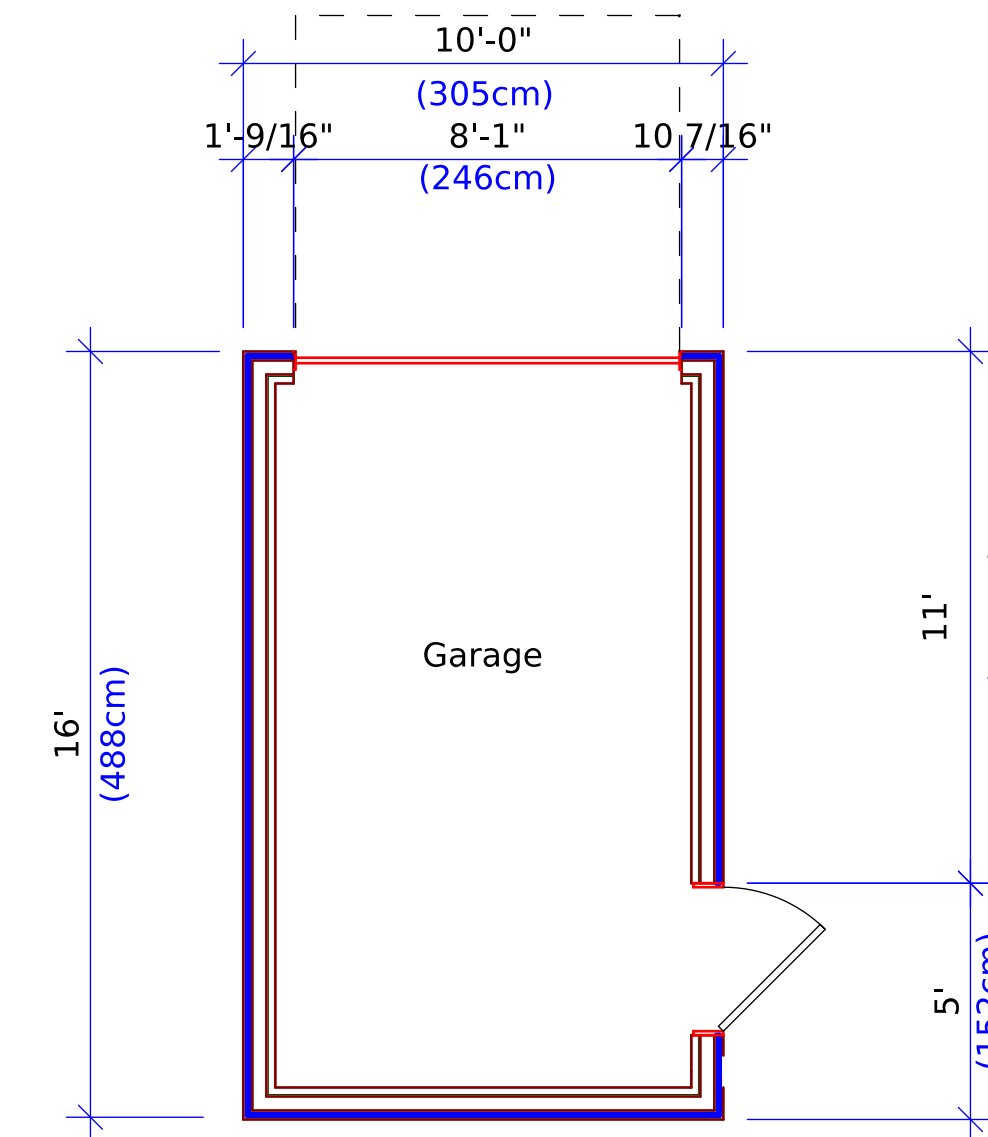
Scale 1/4" = 1' - 0"

Measurements Taken From Proposed Grade

Measurements Taken From Ground Floor



## Floor Plan Accessory Building



### GENERAL NOTES

Lot B

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Saanichton**

CLIENT:  
**Bernd Struck**

DRAWING:  
**ELEVATIONS**

SCALE: 1/4" = 1'-0"      DATE: April 28, 2021

DRAWN BY:  
Bernd Struck

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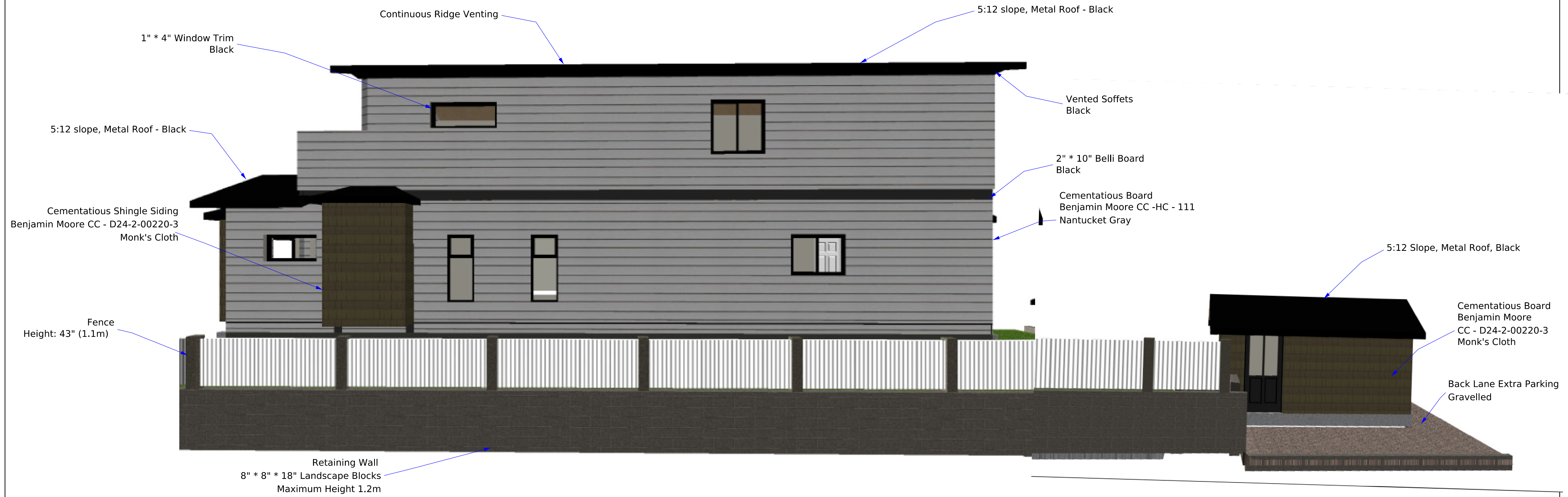
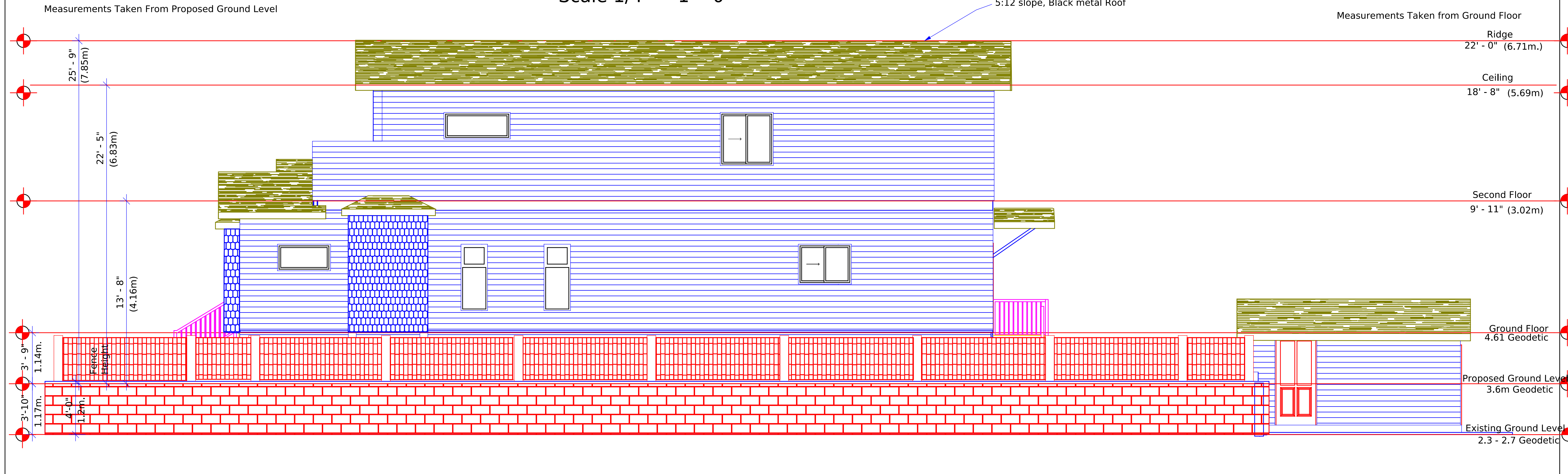
SHEET:

**A4**



# RIGHT (SOUTH) ELEVATION

Scale 1/4" = 1' - 0"



## GENERAL NOTES

### LOT B

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 1601 Keating Cross Rd.  
 Saanichton**

CLIENT:  
**Bernd Struck**

DRAWING:  
**ELEVATIONS  
 DRAWING SUB NAME**

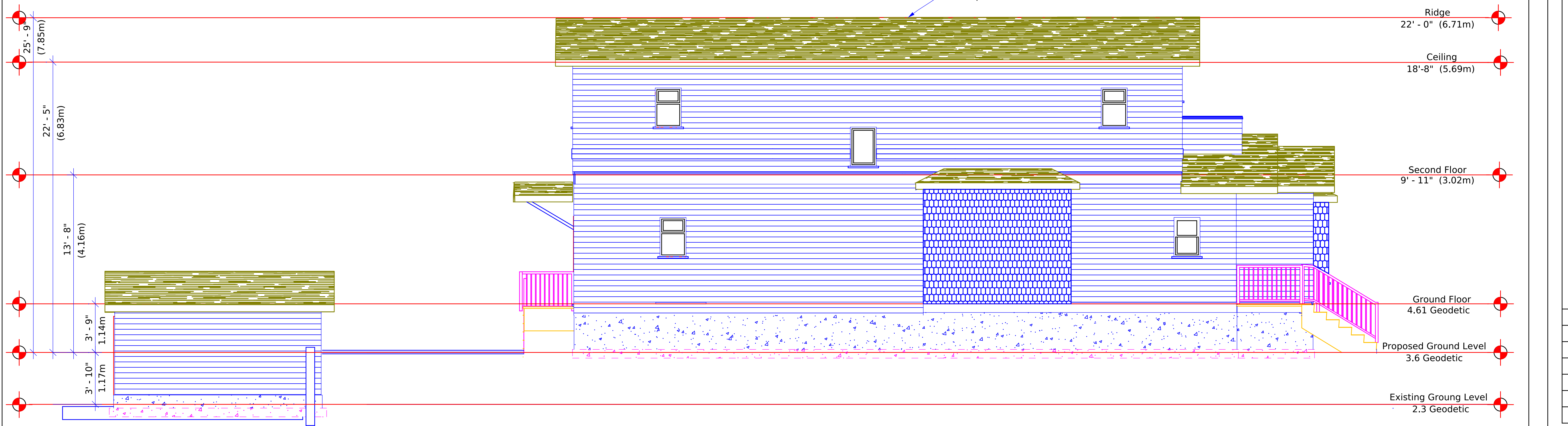
SCALE: 1/4" = 1' - 0"    DATE: April 28, 2021

DRAWN BY: Bernd Struck	SHEET: <b>A5</b>
CHECKED BY:	
APPROVED BY:	

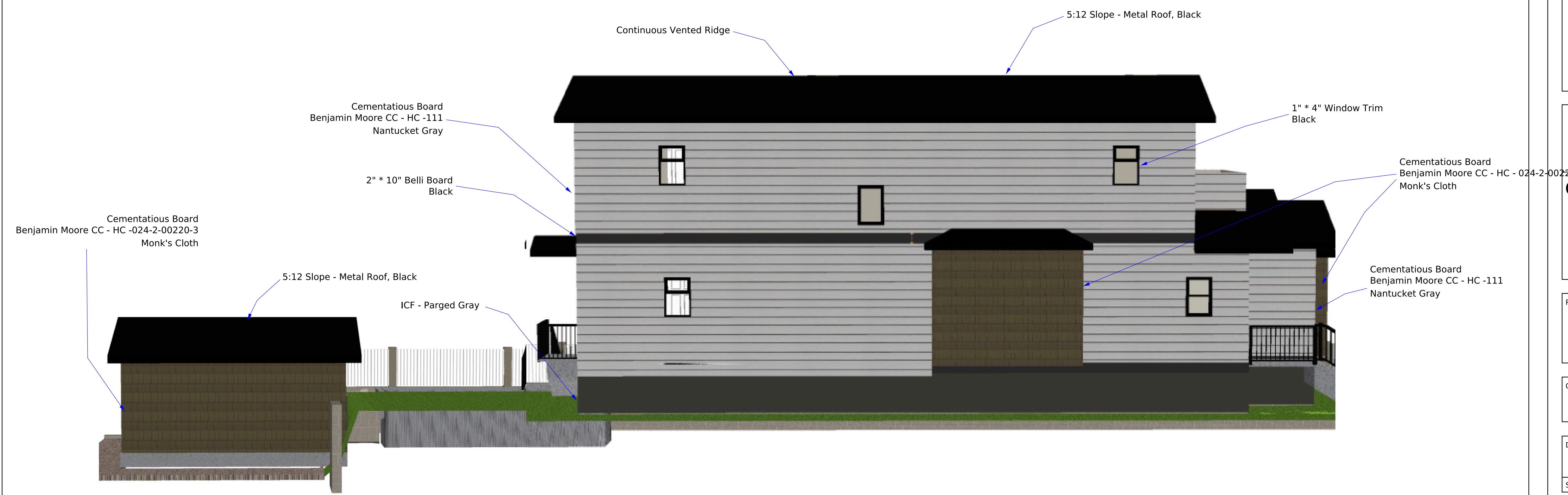
# LEFT (SOUTH) ELEVATION

Scale 1/4" = 1' - 0"

Measurements Taken From Proposed Ground Level



Measurements Taken From Ground Floor



## GENERAL NOTES

Lot B

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Saanichton**

CLIENT:  
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DRAWING:  
**ELEVATIONS**

SCALE: 1/4" = 1'-0"      DATE: April 28, 2021

DRAWN BY: Bernd Struck	SHEET: <b>A4</b>
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