



***Variances required* ***

CUSTOMER:
ALANA BABCOCK

DRAWING SCALE:
SEE DRAWINGS

CHECKED BY: KL

0.250.590.2468



Java Designs

A1

3

GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.

ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION, AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.

DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE

DRAFTED ELEMENTS ARE FRAMED ONLY, NO ALLOWANCES HAVE BEEN ADDED FOR FINISHING ELEMENTS SUCH AS BUT NOT LIMITED TO G.W.B, CLADDING, SHEATHING, ETC.

SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR

SITE PLAN

ALL LAYOUTS SHOULD BE CONFIRMED BY A REGISTERED B.C. LAND SURVEYOR.
ALL TRACKS SHALL BE CONFIRMED BY THE OWNER/BUILDER.

ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER
AND ANY MODIFICATIONS ARE TO BE MADE ON SITE.

CONFORMITY OF THESE PLANS TO THE ACTUAL SITE IS THE RESPONSIBILITY
OF THE OWNER/BUILDER.

CONCRETE AND FOUNDATIONS

ALL CONCRETE FOOTINGS TO HAVE SOLID BEARING ON COMPACTED,
UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST
PENETRATION.

IF SIZED CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND TYPE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.

GARAGE & CARPORT FLOORS AND EXTERIOR STEPS SHALL NOT BE LESS THAN 32 MPa

FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 2900 psi (20MPa) AT 28 DAYS, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN3-A438.

ALL WALLS ARE 8" CONCRETE UNLESS OTHERWISE NOTED.

ALL GRADES ARE ESTIMATED ONLY AND SHALL BE ADJUSTED ON SITE.

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.

LUMBER, FRAMING, AND BEAMS
 BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING
 SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM
 ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C.
 ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.
 ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN
 BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND
 VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY
 OF THE OWNER/BUILDER.

TRUSSES

ALL TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED, ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACING.

ROOFING

ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP.

PLUMBING & ELECTRICAL

ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY, AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.

FLASHING

- ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING.
- ALL ROOFING SHALL INCORPORATE STEP FLASHING
- ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.
- DOORS - ROUGH OPENING SIZES.
- FRAME OPENING 1 1/4" WIDER THAN DOOR.
- FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS.
- FRAME OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT 81.5".

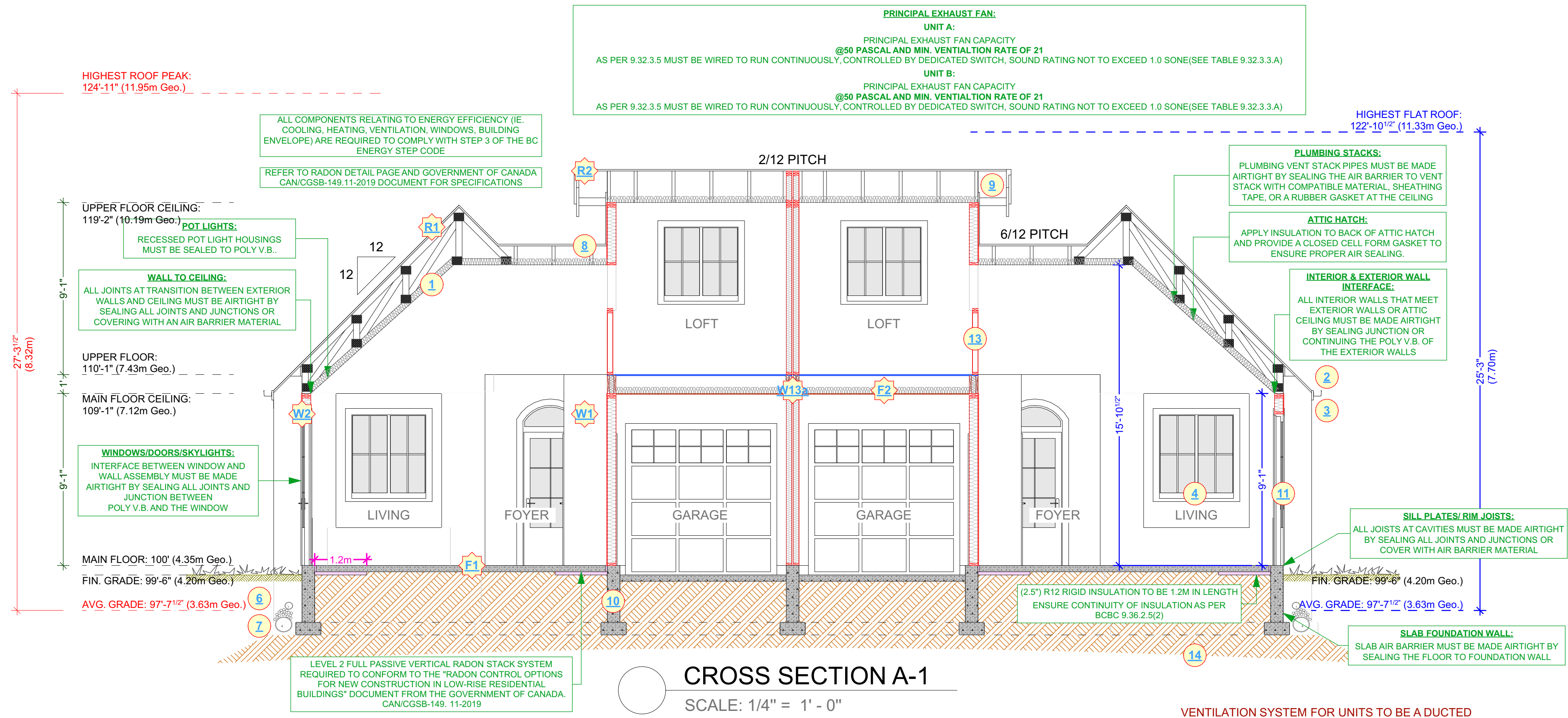
MISC.

CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS.

CARBON MONOXIDE ALRAMS TO CONFORM TO CSA 6.19

NEITHER JAVA DESIGNS INC.
NOR THE DESIGNER
ACCEPT RESPONSIBILITY
FOR THE FOLLOWING:

- INFORMATION PROVIDED ON
EXISTING BUILDINGS OR SITE
- CONFORMITY OF PLANS TO
SITE.
- ERRORS AND OMISSIONS.
- ANY HOUSE BUILT FROM
THESE PLANS.

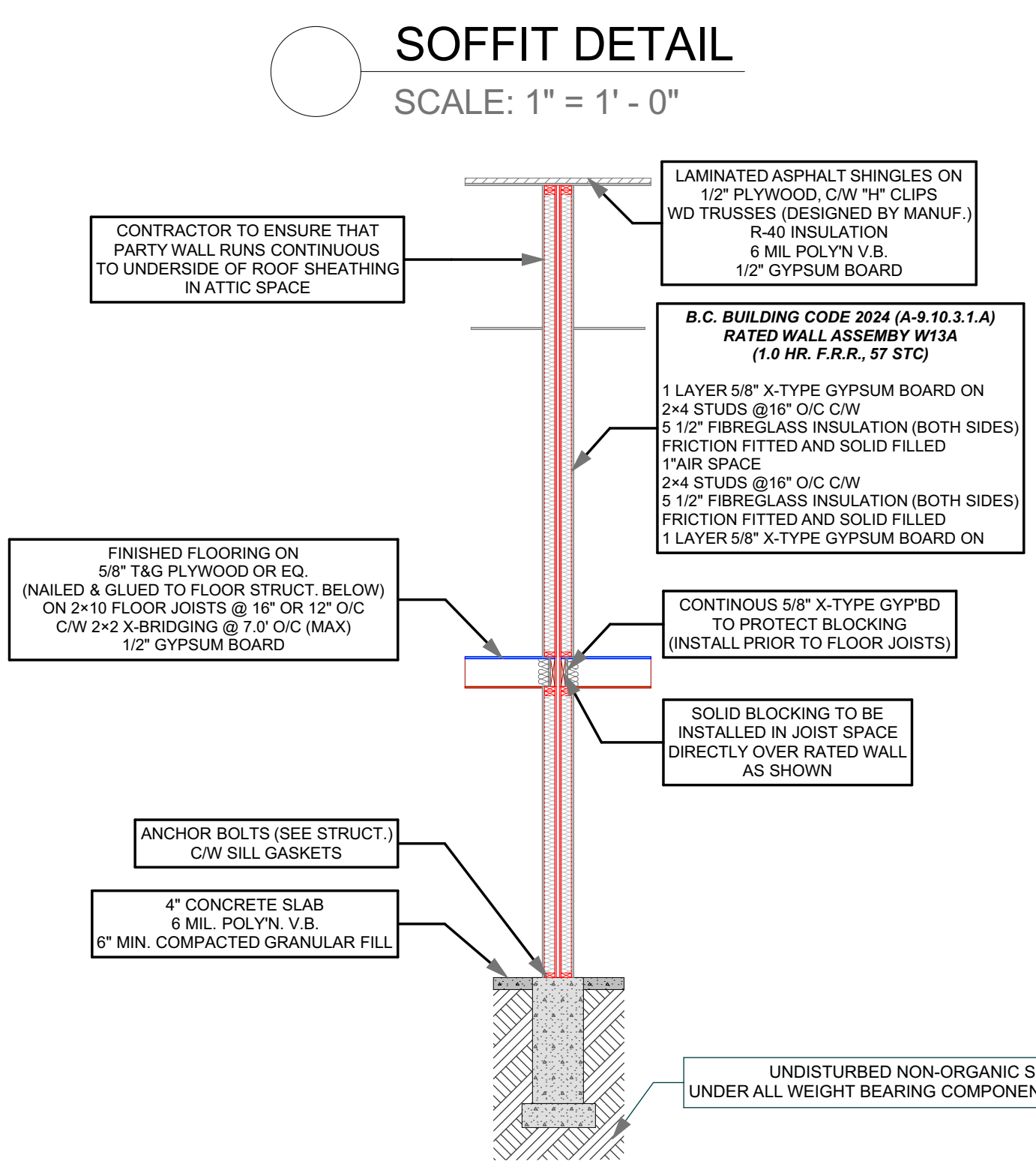
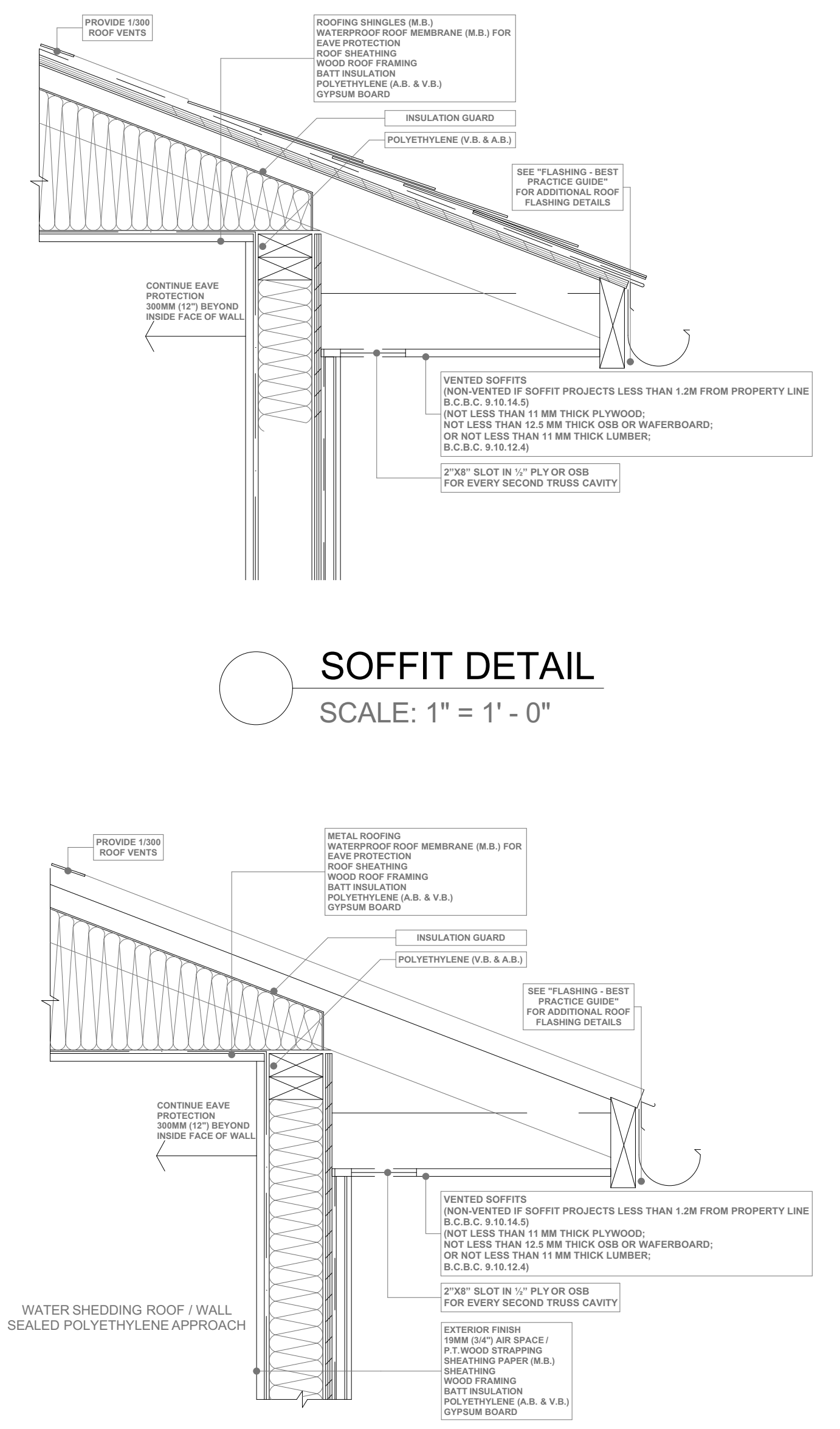
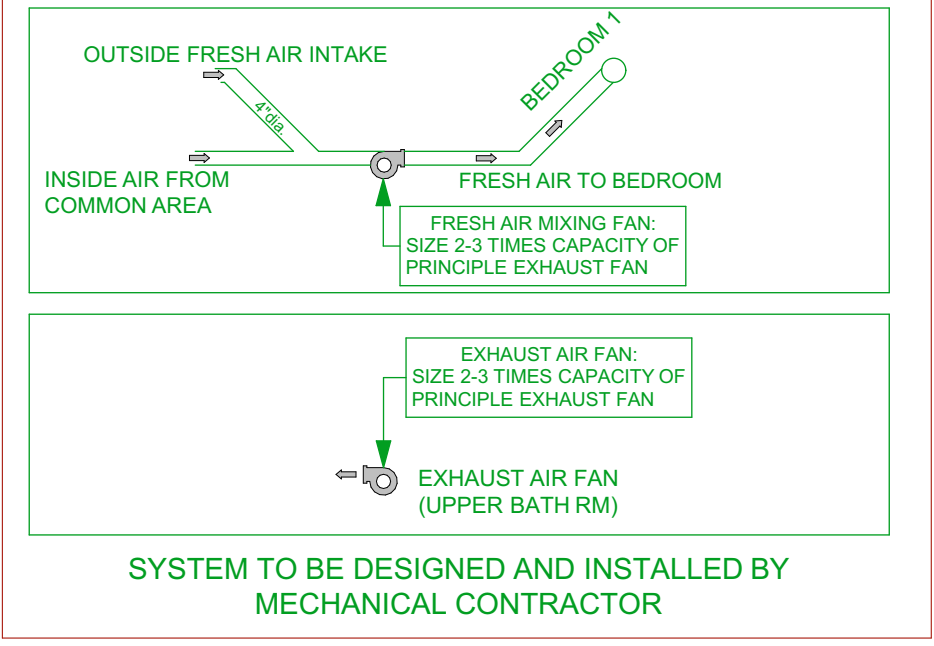


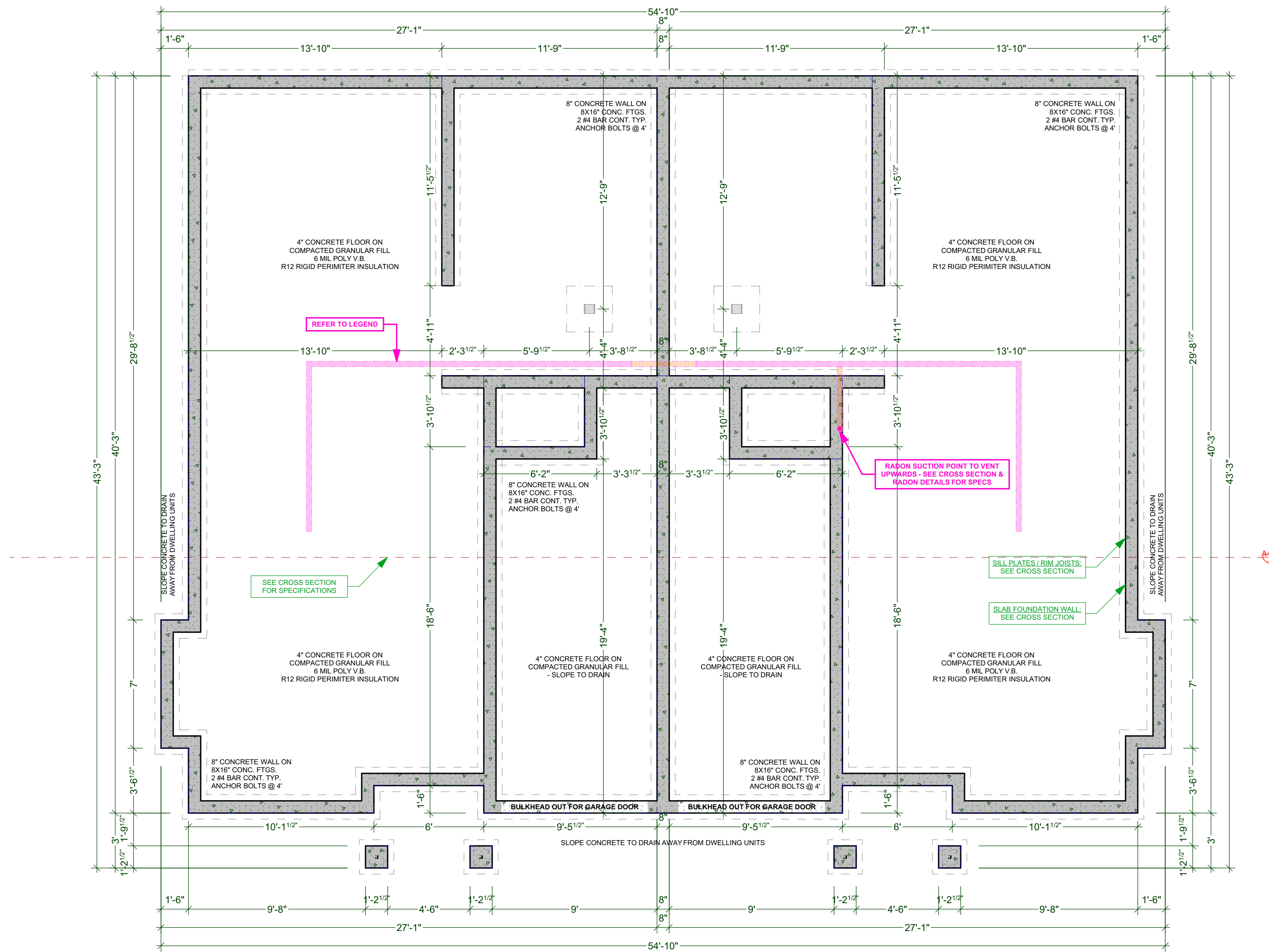
CONSTRUCTION NOTES:

1	R40 INSULATION, 6 MIL POLY V.B. 1/2" CEILING BOARD	6	PROVIDE DRAINS TO PERIMETER SYSTEM	11	CAULK OVER AND AROUND ALL EXTERIOR OPENINGS
2	CONTINUOUS GUTTERS	7	4" DRAIN TILE WITH 6" ROCK OVER	12	10"x10" POST SADDLE ON 8" PILASTER 25"x25" CONCRETE FOOTING (NOT SHOWN)
3	ALUMINUM GUTTERS AND VENTED SOFFITS - ROOF OVERHANGS AS PER PLANS	8	PROVIDE ROOF VENTS: VENT 1/150 USING SHINGLE VENT II RIDGE VENT	13	42" NON-CLIMBABLE CONTINUOUS HANDRAIL
4	ALL WINDOWS VINYL, SUPPLY RAIN PAN UNDER RAINSCREEN AS PER BCBC. WINDOWS IN DOORS TO BE SAFETY GLASS	9	EAVE PROTECTION TO 12" BEYOND HEATED WALL	14	UNDISTURBED NON-ORGANIC SOIL
5	STAIRS: 7.50" RISE, 10.00" TREAD, 1" NOSING WITH CONTINUOUS HANDRAIL	10	8" CONCRETE WALL ON 8"x16" CONCRETE FOOTINGS - 2#4 BAR CONTINUOUS - R12 RIGID INSULATION - 2 COATS DAMP PROOFING		

CONSTRUCTION ASSEMBLIES:

F1	4" CONCRETE FLOOR ON 6 MIL POLY V.B. COMPACTED GRANULAR FILL	R1	ASPHALT SHINGLES, BUILDING PAPER, 7/16" O.S.B. (OR 1/2" PLYWOOD), ENGINEERED TRUSSES DESIGNED BY SUPPLIER @ 24" O.C. TYP., R40 BATT INSULATION, 6 MIL U.V. POLY V.B. 1/2" GWB
F2	2X12 FLOOR JOIST 16" O.C. TYP. NAIL AND GLUE 3/4" T&G PLYWOOD X BRIDGING @ 8" O.C. TYP. R28 BATT INSULATION OVER UNHEATED SPACE	R2	STANDING SEEM METAL ROOFING ON 1X4 STRAPPING, BUILDING PAPER, 7/16" O.S.B. (OR 1/2" PLYWOOD), 2X4 STRAPPING TO ALLOW FOR CROSS VENTILATION, ENGINEERED JOISTS DESIGNED BY SUPPLIER
W1	2X4 FRAMING 16" O.C. TYP. 1/2" GWB FINISH THROUGHOUT	W13a	DEMISING WALL: 1" HAS PER W13a - TABLE A-9.10.3.1.A • TWO ROWS 38 MM X 140 MM STUDS, EACH SPACED 400 MM OR 600 MM O.C. ON SEPARATE 38 MM X 89 MM PLATES SET 25 MM APART • 89 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE • 1 LAYER OF 15.9 MM TYPE X GYPSUM BOARD ON EACH SIDE
W2	EXTERIOR FINISH, 3/4" AIR SPACE, PRESSURE TREATED STRAPPING, SHEATHING PAPER, 1/2" SHEATHING, 2X6 STUDS AT 16" O.C., R-20 BATT INSULATION, 6 MIL POLY V.B. 1/2" GWB. (SEE ELEVATIONS)		





FOUNDATION PLAN
SCALE: 1/4" = 1' - 0"

RADON ROUGH IN LEGEND

- SUCTION POINT
- PERFORATED PIPE
- SOLID PIPE

REFER TO CROSS SECTION FOR DETAILS AND NOTATIONS

ADDRESS: 9650 THIRD ST, SIDNEY BC
CUSTOMER: ALANA BABCOCK

DRAWING NAME: FOUNDATION PLAN
DRAWING SCALE: 1/4"=1'-0"

ISSUE DATE: NOV 18, 2025
DRAWN BY: NS
CHECKED BY: KL

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JAVA DESIGNS

SHEET NUMBER

A3

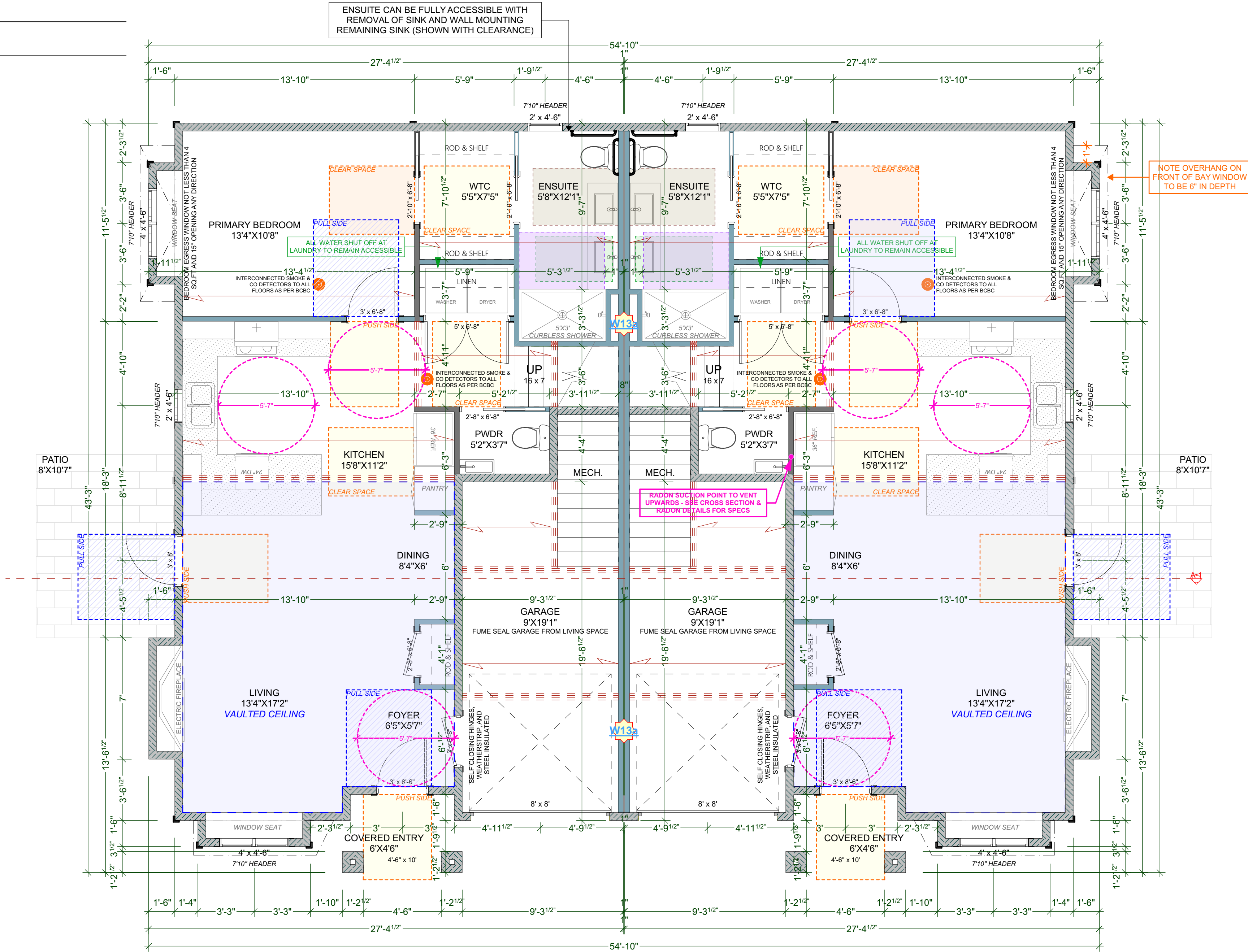
Clear Floor Space Legend

	Door – Pull Side: 1500mm by 1700mm with 600mm beside latch
	Door – Push Side: 1200mm wide by 1500mm deep with 300mm beside latch
	Sliding Door – Both Sides: 1200mm wide by 1500mm deep
	Pre-wired Power Door Operator – Both Sides: 1000mm wide by 1500mm deep
	Lavatory: 800mm wide by 1350mm deep with max 430 beneath lavatory
	Shower: 1500mm wide by 900mm deep in front of shower
	Toilet: 900mm wide by 1500mm deep adjacent toilet
	Kitchen and Bedroom: 1700mm diameter OR 1700mm by 1500mm

ADAPTABLE DWELLING UNIT CONSTRUCTION TO COMPLY WITH SECTION 3.8.5 OF 2024 BC BUILDING CODE

LEGEND SOURCE - 2024 BC BUILDING CODE ADAPTABLE DWELLING UNIT ILLUSTRATIVE DESIGN GUIDE

https://www2.gov.bc.ca/assets/gov/farming-natural-resources-and-industry/construction-industry/building-codes-and-standards/guides/adaptable_dwelling_unit_design_guide.pdf



MAIN FLOOR PLAN (9'-0 3/4" WALLS)

SCALE: 1/4" = 1' - 0"

UNIT A - MAIN FLOOR AREA: 821.00 sq ft
UNIT A - GARAGE FLOOR AREA: 211.47 sq ft
UNIT B - MAIN FLOOR AREA: 821.00 sq ft
UNIT B - GARAGE FLOOR AREA: 211.47 sq ft

DEMISING WALL: (H AS PER W13A - TABLE A-9.10.3.1.A)
• TWO ROWS 38 MM X 140 MM STUDS, EACH SPACED 400 MM OR
600 MM O.C. ON SEPARATE 38 MM X 89 MM PLATES SET 25 MM APART
• 89 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE
• 1 LAYER OF 15.9 MM TYPE X GYPSUM BOARD ON EACH SIDE

ADDRESS: 9650 THIRD ST, SIDNEY BC

CUSTOMER: ALANA BABCOCK

DRAWING NAME: MAIN FLOOR PLAN

DRAWING SCALE: 1/4"=1'-0"

ISSUE DATE: NOV 18, 2025

DRAWN BY: NS

CHECKED BY: KL

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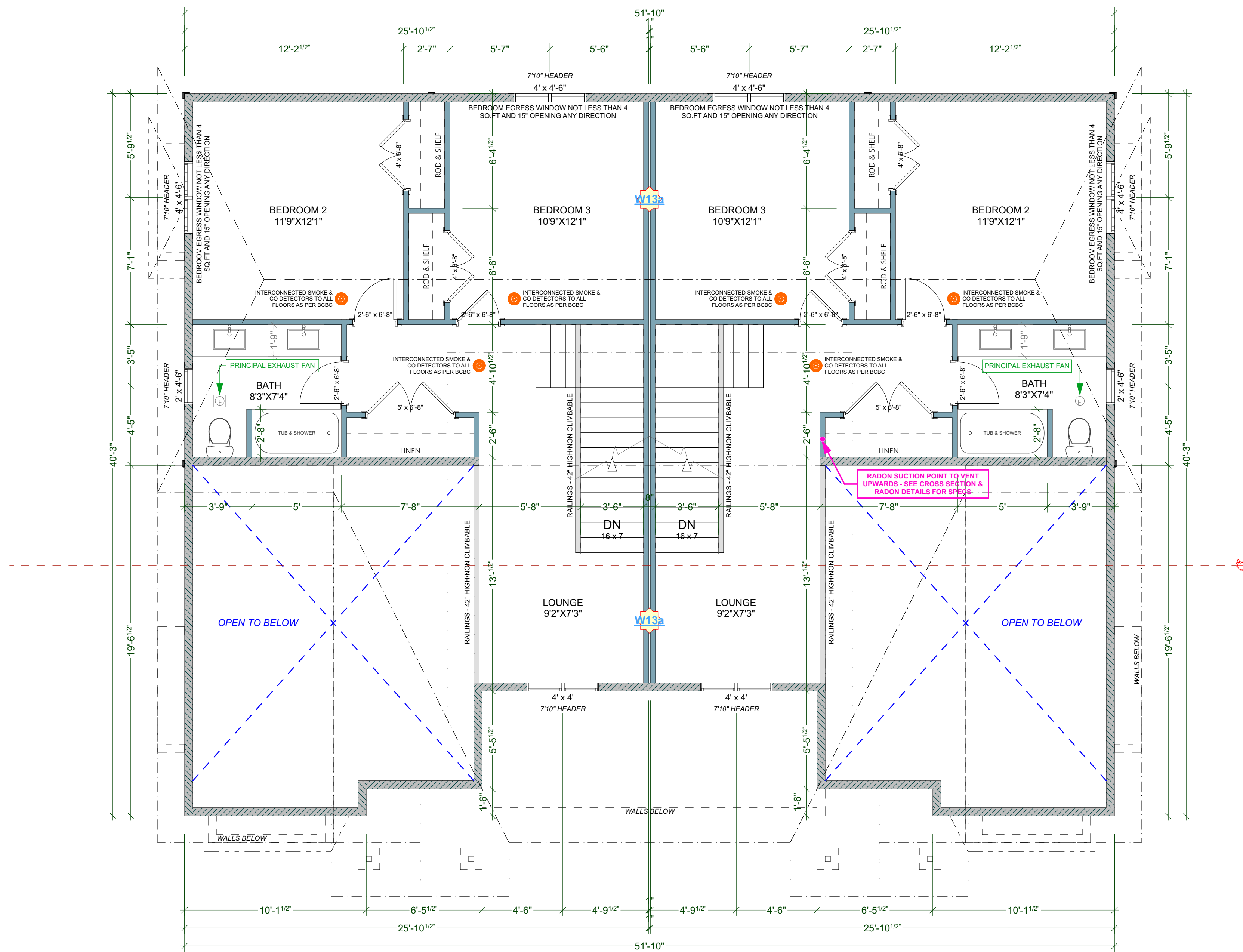
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A4



UPPER FLOOR PLAN (9'-0 3/4" WALLS)
SCALE: 1/4" = 1' - 0"
UNIT A - UPPER FLOOR AREA: 633.38 sq ft
UNIT B - UPPER FLOOR AREA: 633.38 sq ft

W13a
DEMISING WALL: (1H AS PER W13a - TABLE A-9.10.3.1.A)
• TWO ROWS 38 MM X 140 MM STUDS, EACH SPACED 400 MM OR
600 MM O.C. ON SEPARATE 38 MM X 89 MM PLATES SET 25 MM APART
• 89 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE
• 1 LAYER OF 15.9 MM TYPE X GYPSUM BOARD ON EACH SIDE

ADDRESS:
9650 THIRD ST, SIDNEY BC

CUSTOMER:
ALANA BABCOCK

DRAWING NAME:
UPPER FLOOR PLAN

DRAWING SCALE:
1/4"=1'-0"

ISSUE DATE:
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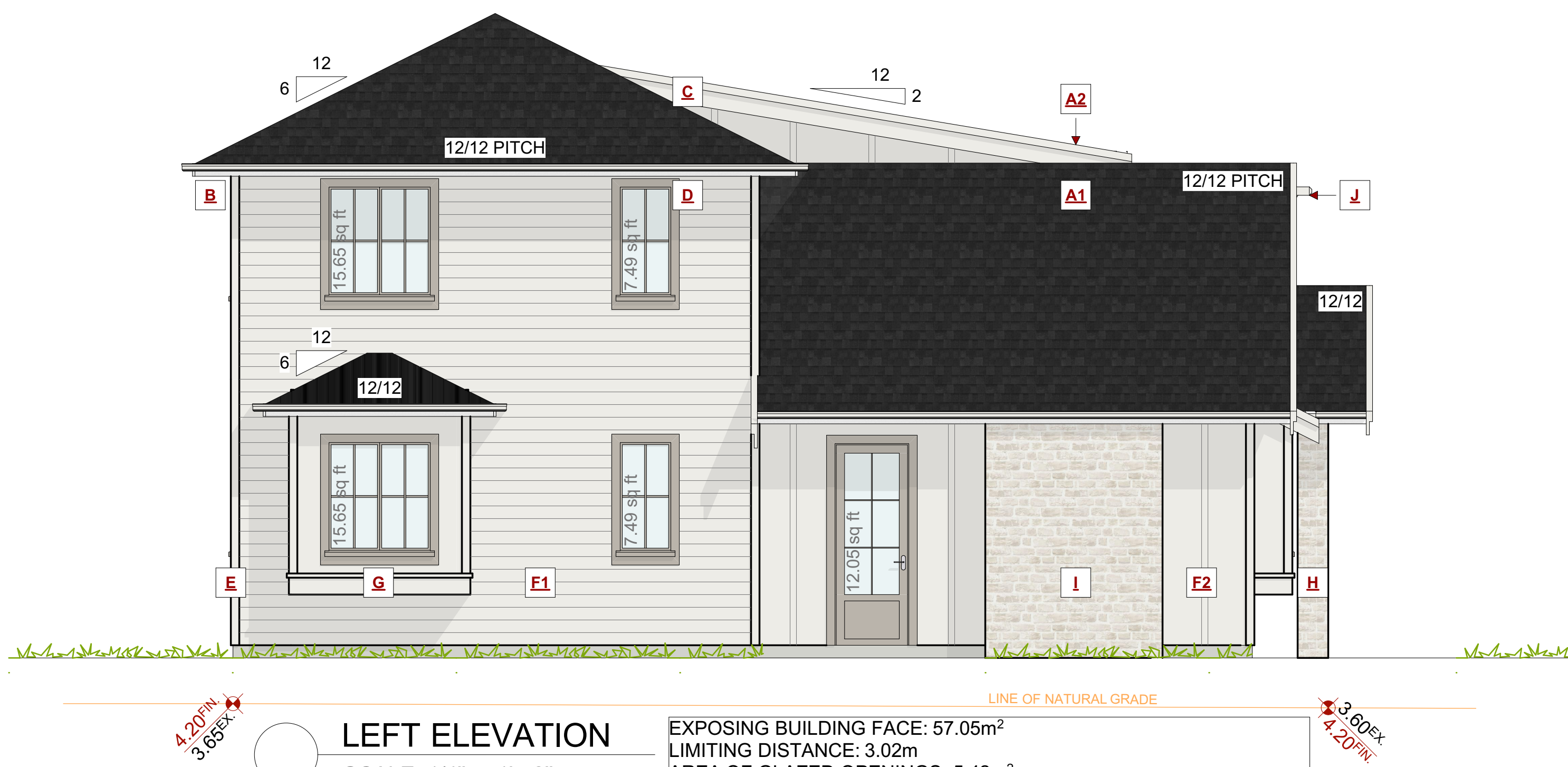
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A5



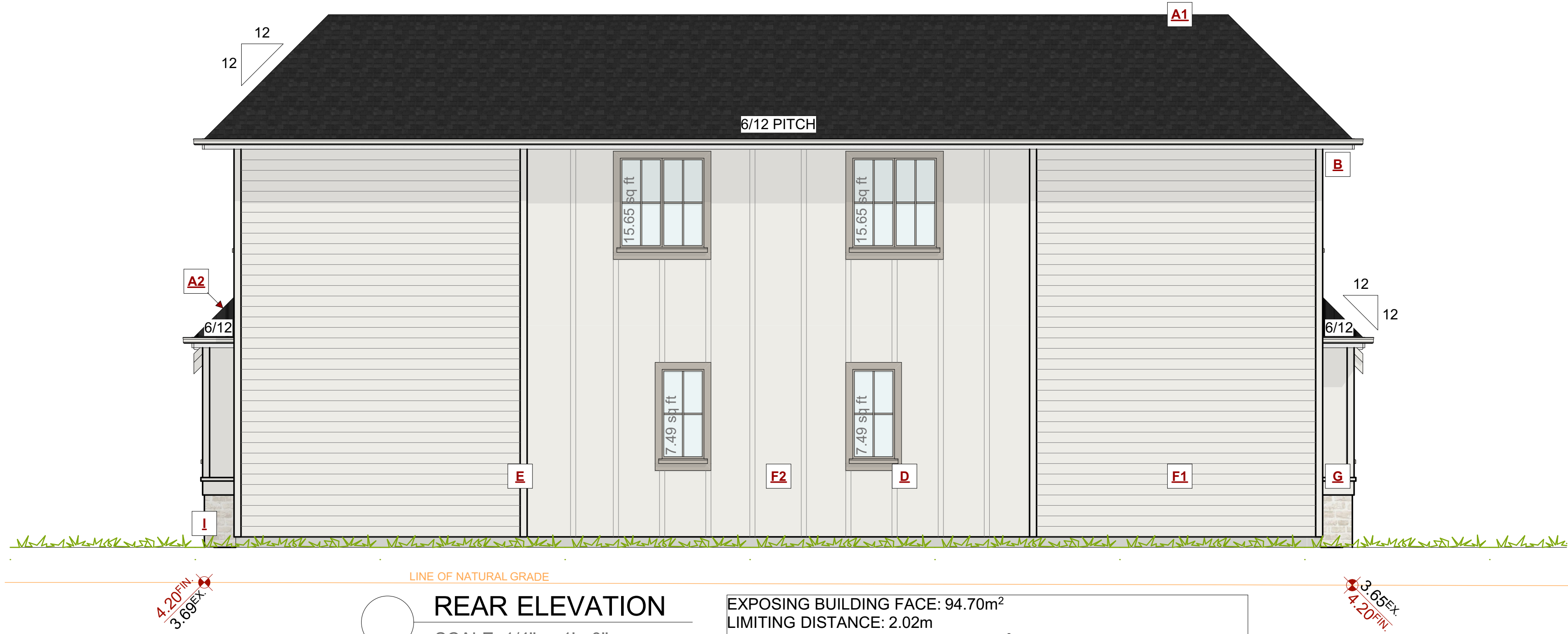
FRONT ELEVATION
SCALE: 1/4" = 1' - 0"

EXTERIOR FINISHES SCHEDULE					
A1	ROOFING:	ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS	F1	WALL FINISH:	HARDIE-PLANK SIDING - LAPPED TO 8" EXPOSURE - COLOUR AS PER OWNERS SPECS
A2	ROOFING:	BUILT UP TORCH-ON/ METAL STANDING SEAM ROOFS AS PER MANUFACTURERS SPECS	F2	WALL FINISH:	HARDIE-BOARD AND BATTEN 1x4 @ 16" O.C. RAINSCREEN AS PER BCBC
B	GUTTER & SOFFIT:	ALUMINUM GUTTER AND NON-VENTED SOFFIT	G	BELLY BAND:	2x10 PAINTED BELLY BAND WITH FLASHING, PAINTED TRIM COLOR
C	BARGE BOARD:	2x10 WITH 1x4 DOUBLE BARGE BOARD, PAINTED TRIM COLOUR	H	POSTS / INTEGRATED ENTRY GABLE	BUILT OUT AND FINISHED AS PER OWNERS SPECS
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I	STONE:	AS PER OWNERS SPECS - RAIN SCREEN AS PER BCBC
E	CORNER TRIM:	1x4 CORNER BOARDS - PAINTED/ STAINED	J	KNEE BRACES:	DECORATIVE WOOD BRACES IN GABLES - SEE ELEVATIONS



LEFT ELEVATION
SCALE: 1/4" = 1' - 0"

EXPOSING BUILDING FACE: 57.05m²
LIMITING DISTANCE: 3.02m
AREA OF GLAZED OPENINGS: 5.42m²
% GLAZED OPENINGS: 9.50%
45 min FIRE-RESISTANCE RATING: not required
TYPE OF CLADDING: no limits
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 15.99%
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 9.12m²

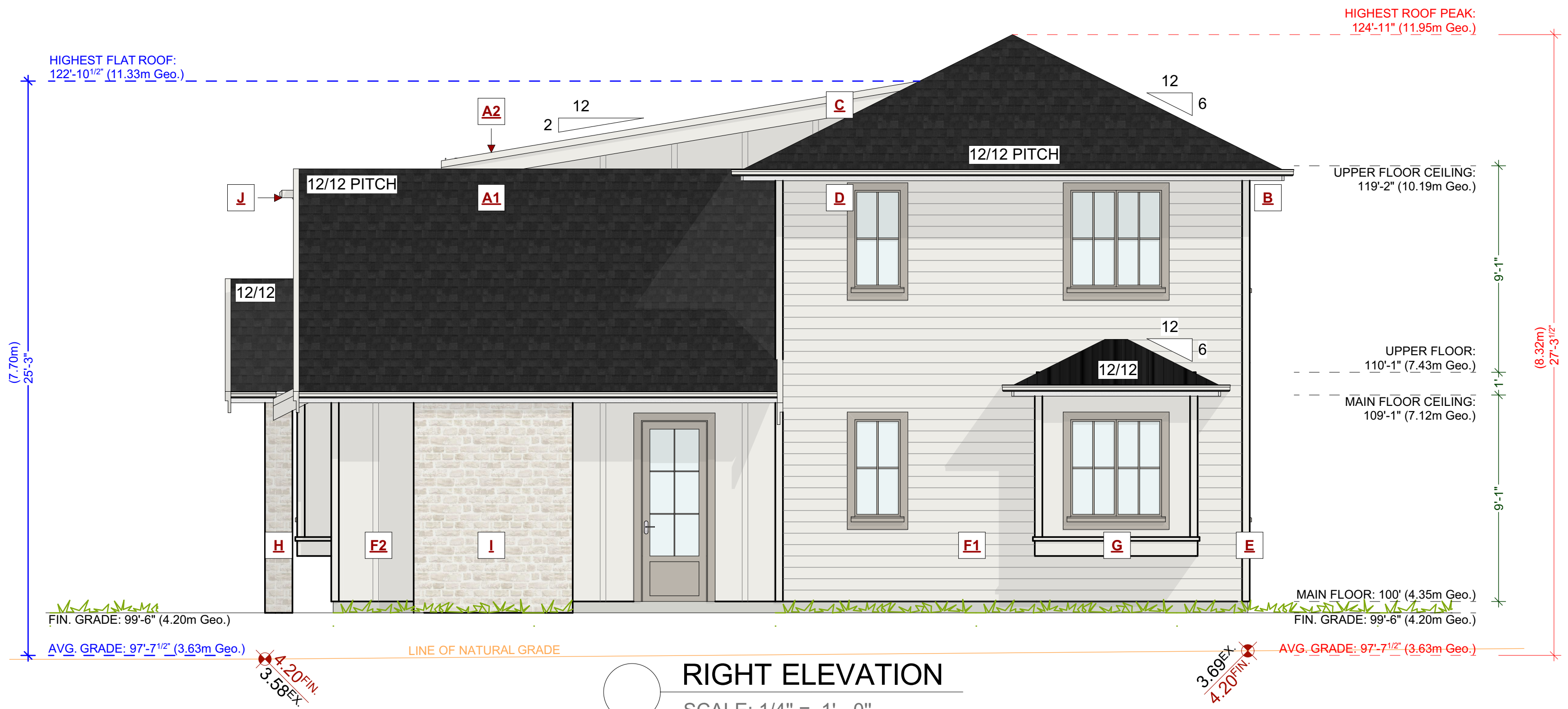


REAR ELEVATION

SCALE: 1/4" = 1' - 0"

EXPOSING BUILDING FACE: 94.70m²
LIMITING DISTANCE: 2.02m
AREA OF GLAZED OPENINGS: 4.30m²
% GLAZED OPENINGS: 4.54%
45 min FIRE-RESISTANCE RATING: not required
TYPE OF CLADDING: no limits
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 9.00%
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 8.52m²

EXTERIOR FINISHES SCHEDULE				
A1	ROOFING:	ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS	F1	WALL FINISH: HARDIE-PLANK SIDING LAPPED TO 1" EXPOSURE - COLOUR AS PER OWNERS SPECS
A2	ROOFING:	BUILT UP TORCH-ON METAL STANDING SEAM ROOFS AS PER MANUFACTURERS SPECS	F2	WALL FINISH: HARDIE-BOARD AND BATTEN 1x4 @ 16" O.C. RAINSCREEN AS PER BCBC
B	GUTTER & SOFFIT:	ALUMINUM GUTTER AND NON-VENTED SOFFIT	G	BELLY BAND: 2x10 PAINTED BELLY BAND WITH FLASHING, PAINTED TRIM COLOR
C	BARGE BOARD:	2x10 WITH 1x4 DOUBLE BARGE BOARD, PAINTED TRIM COLOUR	H	POSTS / INTEGRATED ENTRY GABLE BUILT OUT AND FINISHED AS PER OWNERS SPECS
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I	STONE: AS PER OWNERS SPECS - RAIN SCREEN AS PER BCBC
E	CORNER TRIM:	1x4 CORNER BOARDS - PAINTED/ STAINED	J	KNEE BRACES: DECORATIVE WOOD BRACES IN GABLES - SEE ELEVATIONS



RIGHT ELEVATION

SCALE: 1/4" = 1' - 0"

ADDRESS: 9650 THIRD ST, SIDNEY BC

CUSTOMER: ALANA BABCOCK

DRAWING NAME: ELEVATIONS

DRAWING SCALE: 1/4"=1'-0"

ISSUE DATE: NOV 18, 2025

DRAWN BY: NS

CHECKED BY: KL

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