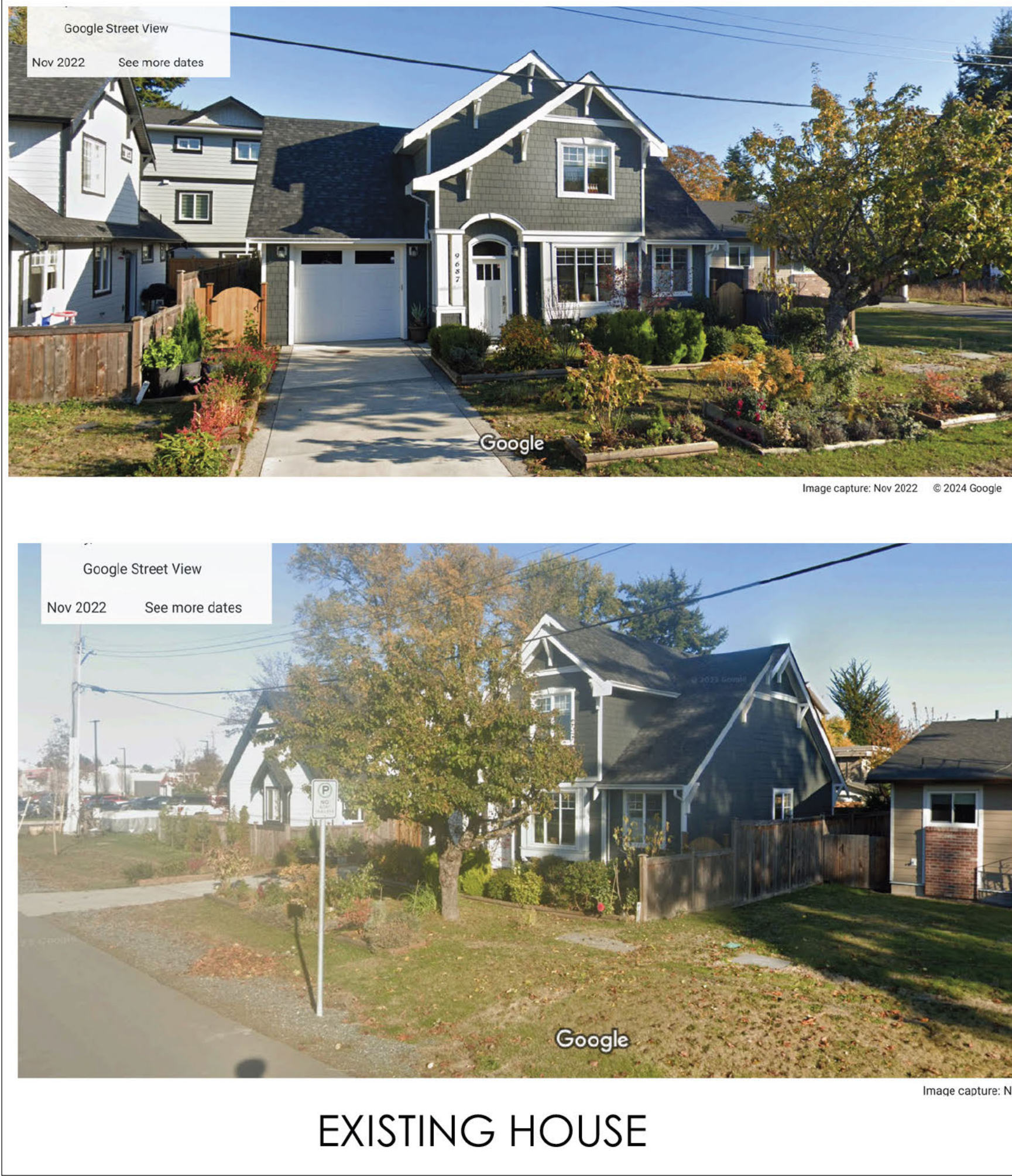
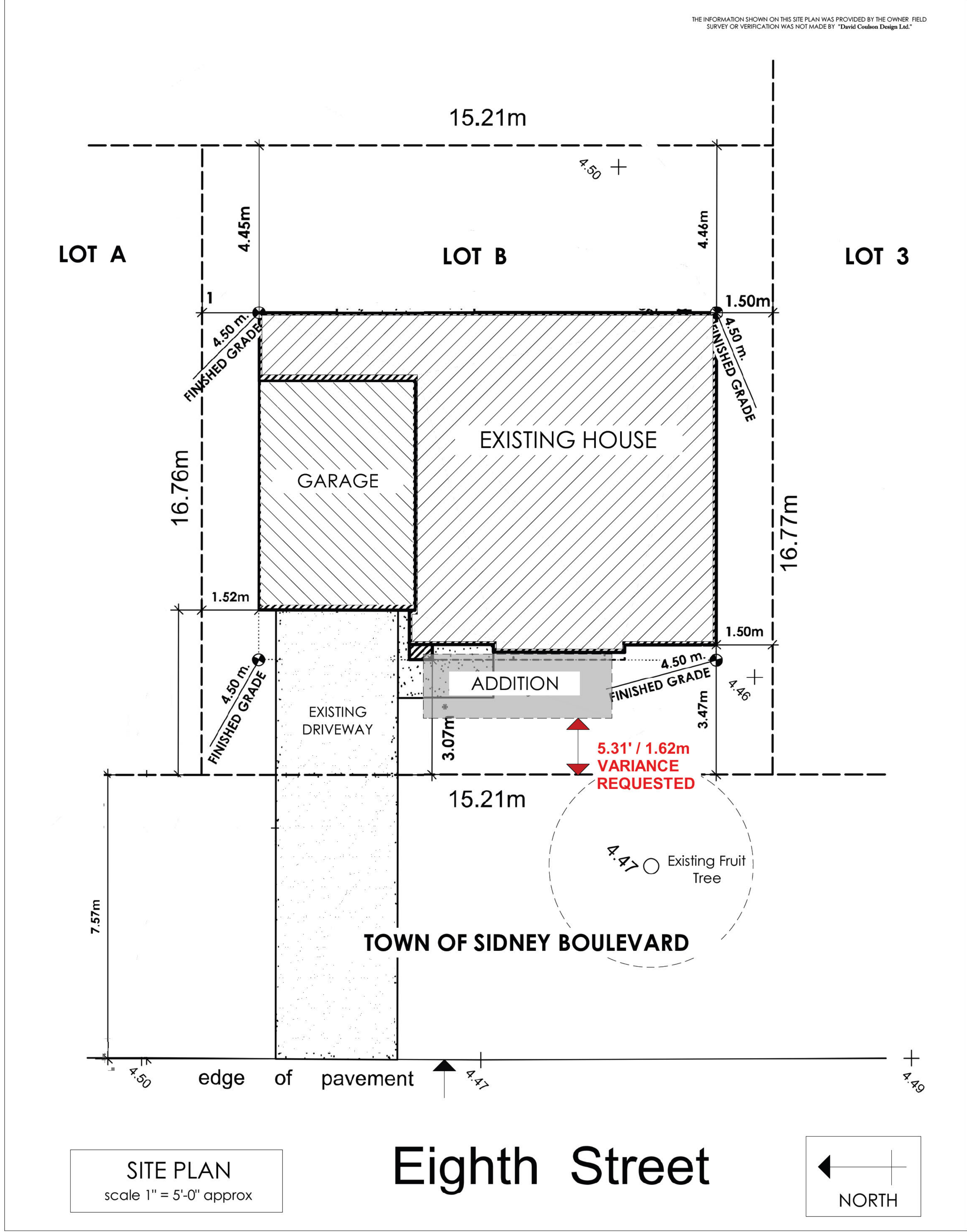




| PROPOSED ENTRY ADDITION                                                                                                  |                                         |
|--------------------------------------------------------------------------------------------------------------------------|-----------------------------------------|
| Total Proposed Entry Addition Floor Area                                                                                 | = <b>83.32sf (7.74m<sup>2</sup>)</b>    |
| <hr/>                                                                                                                    |                                         |
| Existing Structures Coverage (Gross floor area)                                                                          |                                         |
| Existing House & Garage                                                                                                  | 1,145.35sf (106.40m <sup>2</sup> )      |
| <u>Proposed Entry Addition</u>                                                                                           | <u>83.32sf (7.74m<sup>2</sup>)</u>      |
| Total Coverage                                                                                                           | 1,228.67sf (114.14m <sup>2</sup> )      |
| <b>Total Coverage Area</b>                                                                                               | <b>1,228.67sf (114.14m<sup>2</sup>)</b> |
| <b>Total Coverage:</b> 1,228.67sf (114.14m <sup>2</sup> ) / 2,747.74sf (255.27m <sup>2</sup> ) = <b>44.721% Coverage</b> |                                         |
| <b>Maximum Allowable Coverage for R1 zoned property = 50%</b>                                                            |                                         |

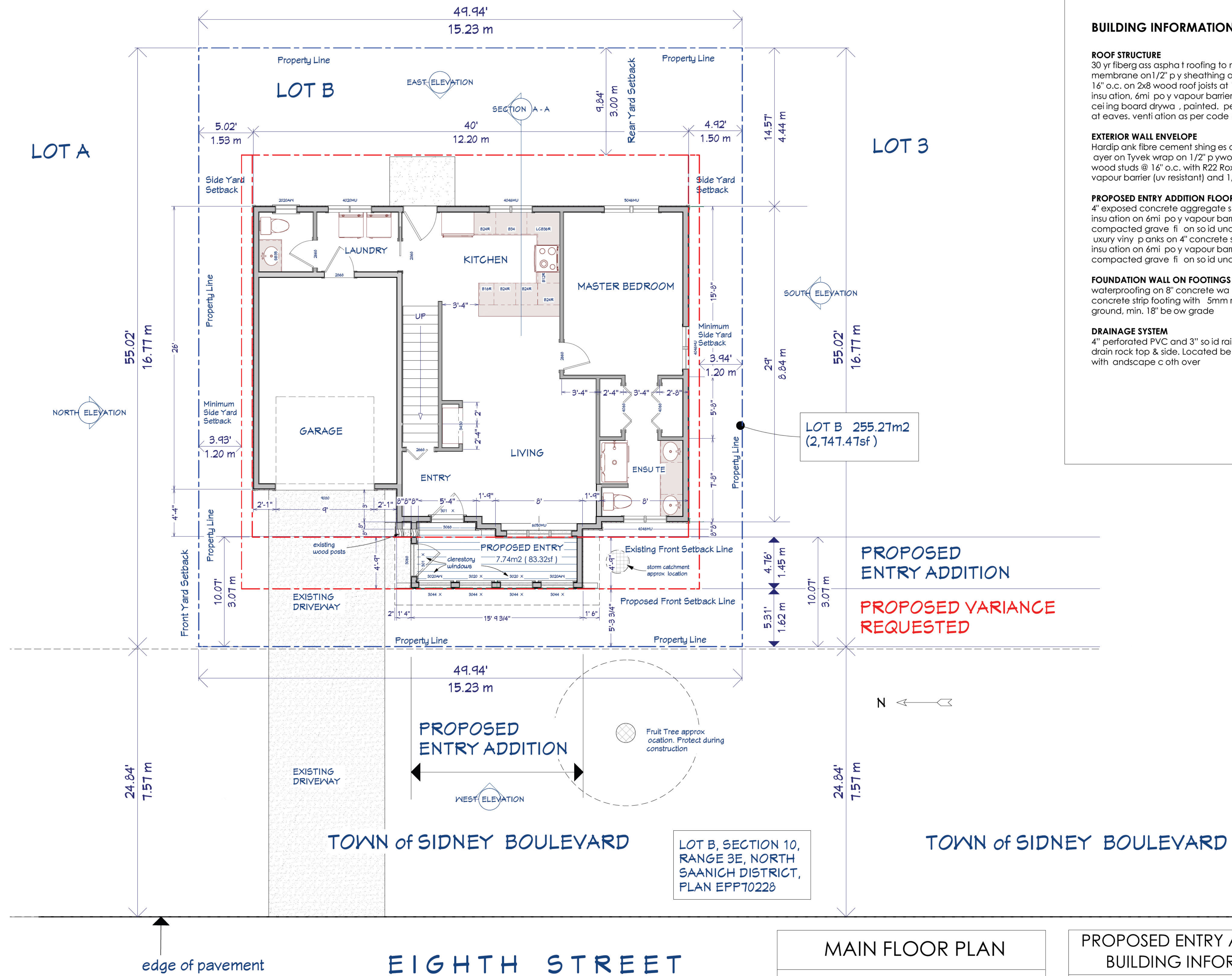
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|                       |
|-----------------------|
| SITE PLAN & SITE DATA |
| scale : as shown      |

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## BUILDING INFORMATION

## ROOF STRUCTURE

30 yr fiberglass asphalt roofing to match existing, on roofing membrane on 1/2" plywood sheathing on 2x4 wood strapping at 16" o.c. on 2x8 wood roof joists at 16" o.c. with R40 Roxul insulation, 6mil poly vapour barrier (uv resistant) and 1/2" ceiling board drywall, painted. perforated aluminum soffit at eaves, ventilation as per code (1/300).

## EXTERIOR WALL ENVELOPE

Hardip ank fibre cement shing es on rain screen drainage  
ayer on Tyvek wrap on 1/2" plywood sheathing on 2x6  
wood studs @ 16" o.c. with R22 Roxu insulation, 6mi poly  
vapour barrier (uv resistant) and 1/2" drywa , painted.

### PROPOSED ENTRY ADDITION FLOOR

4" exposed concrete aggregate slab on 2 1/2" SM rigid insulation on 6mi po y vapour barrier (uv resistant) on compacted grave fi on solid undisturbed grade (or use luxury vinyl planks on 4" concrete slab on 2 1/2" SM rigid insulation on 6mi po y vapour barrier (uv resistant) on compacted grave fi on solid undisturbed grade )

## FOUNDATION WALL ON FOOTINGS

waterproofing on 8" concrete walls with 8"x16" continuous concrete strip footing with 5mm re bar on undisturbed ground, min. 18" below grade

## DRAINAGE SYSTEM

4" perforated PVC and 3" so id rain water eader with 6" drain rock top & side. Located be ow interior s ab height with andscape c oth over

A2  
SHEET

Scale: as sho

10/21/20.

|               |
|---------------|
| Design        |
| David Coulson |
| Drawn         |
| Bill Robson   |
| S u c u r a l |

Revision  
11/08/20

9687 Eighth Street, Sidney, BC

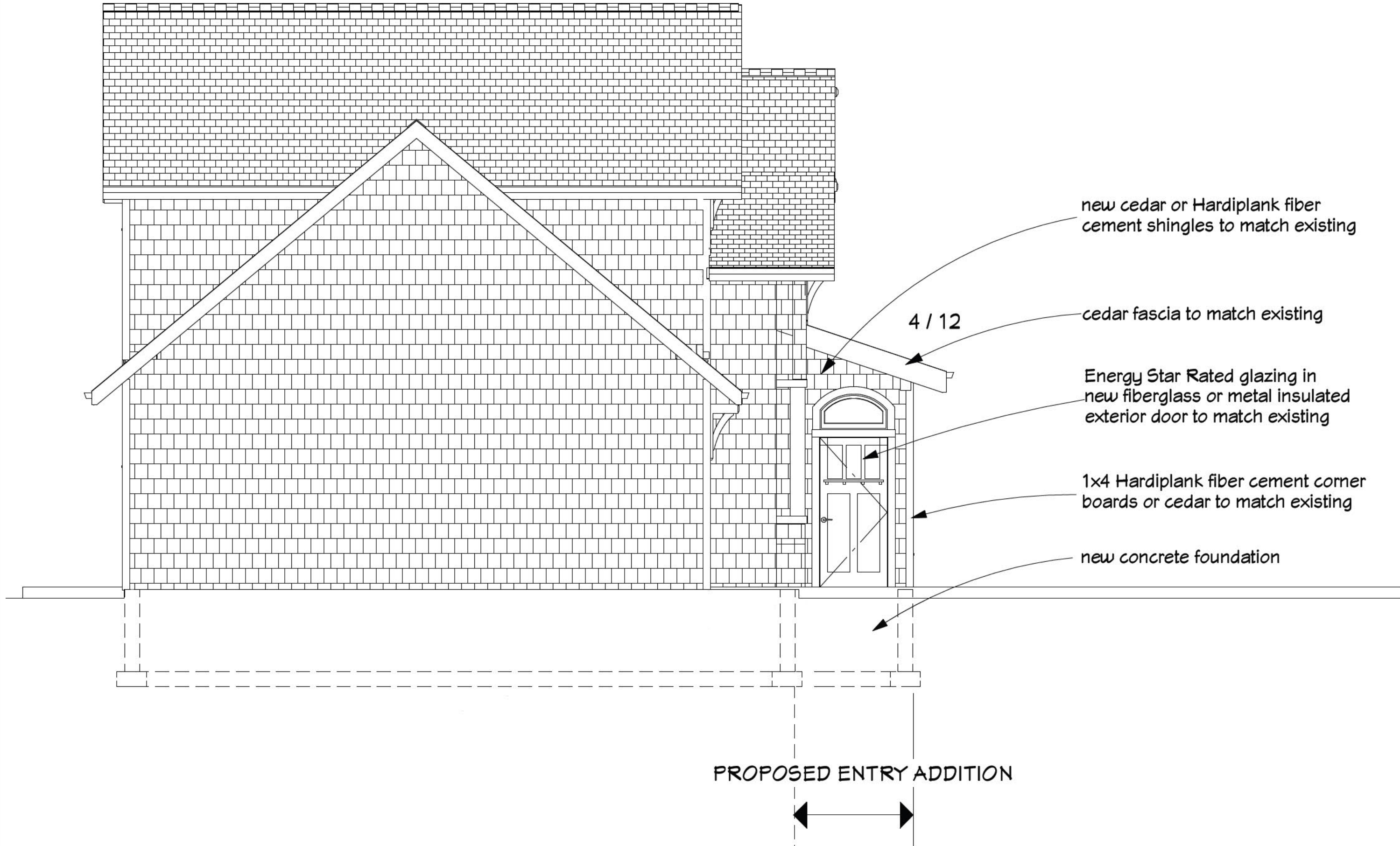
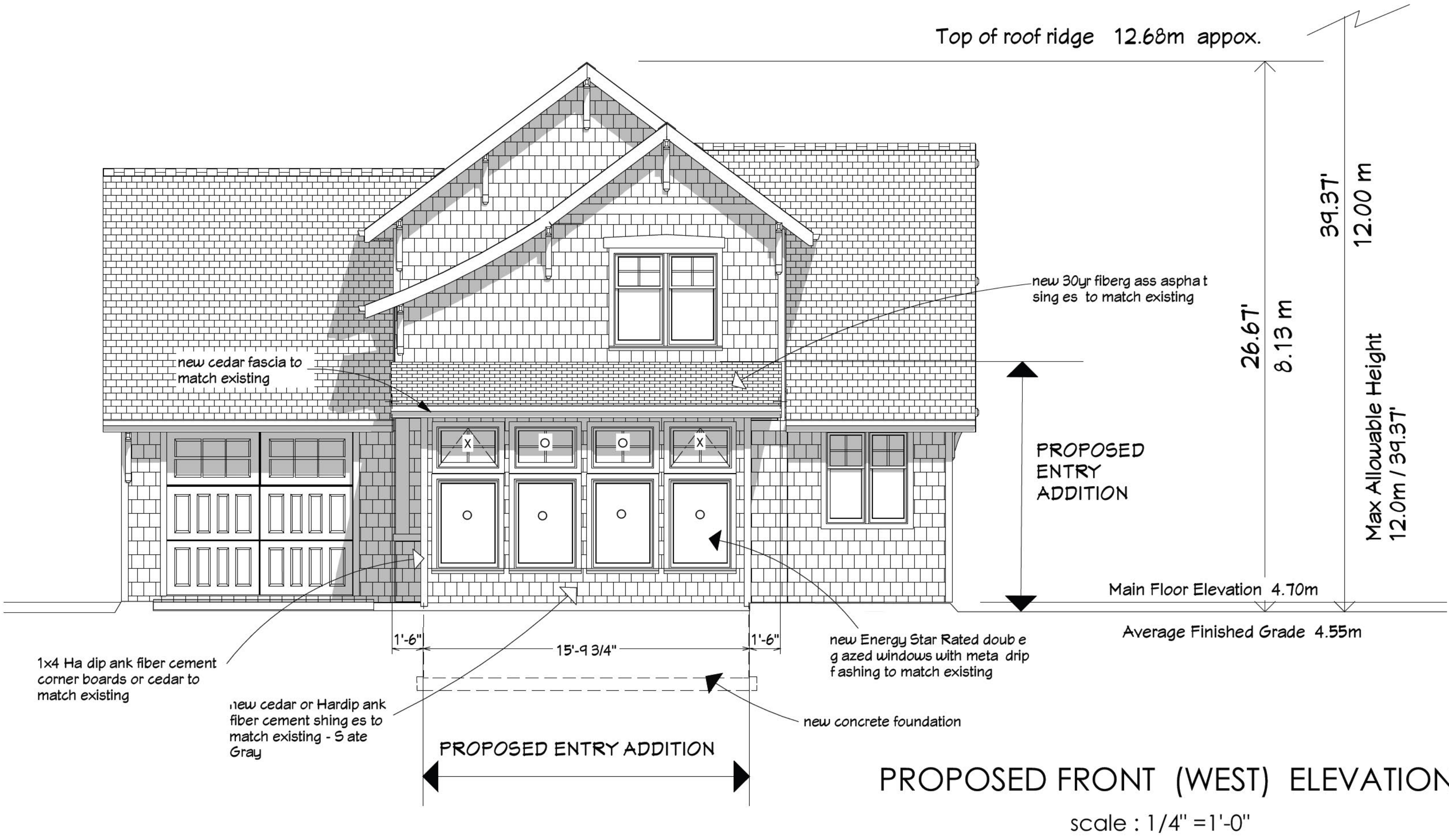


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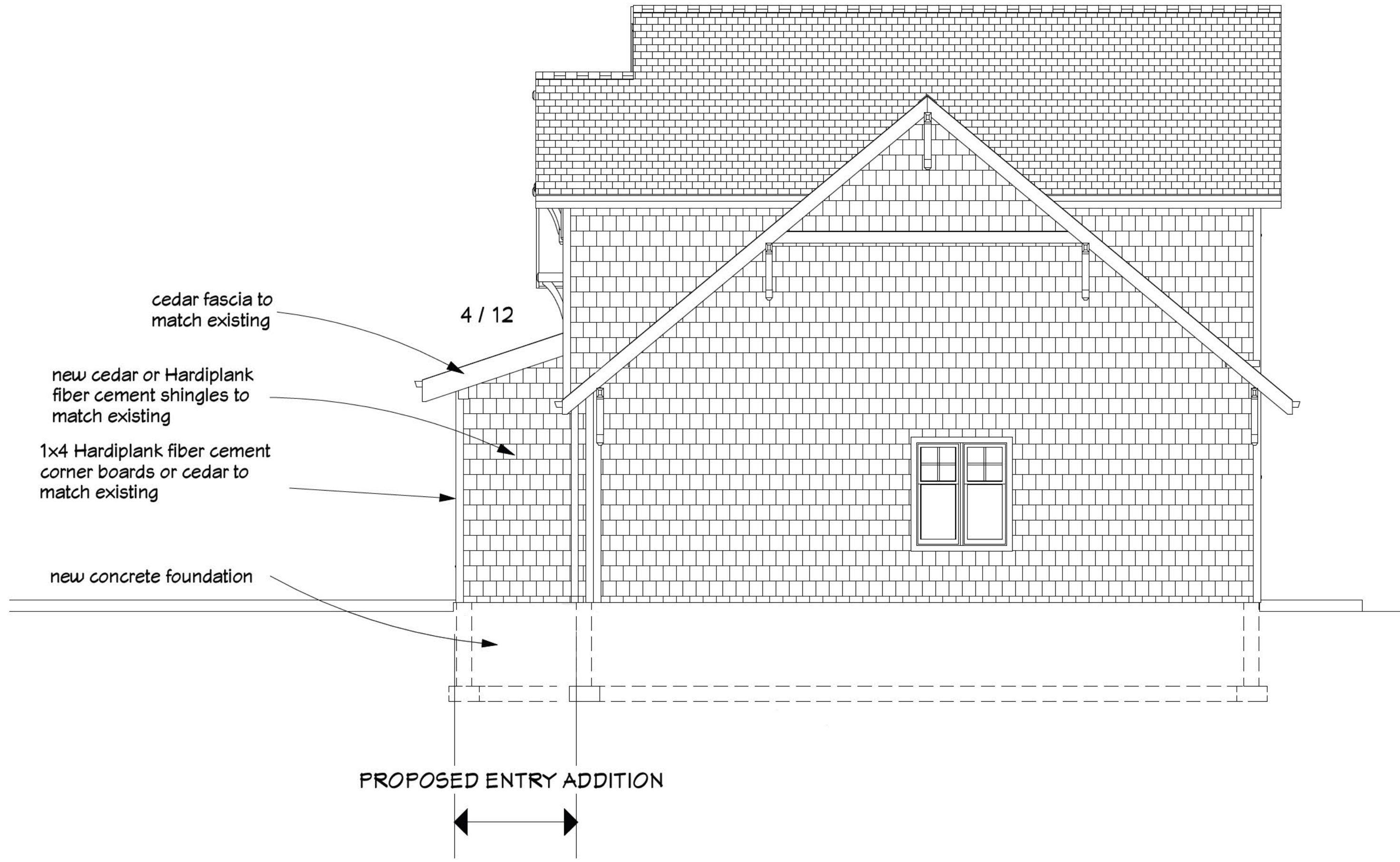
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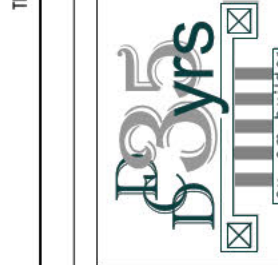


SIDE (NORTH) ELEVATION  
scale : 1/4" = 1'-0"



SIDE (SOUTH) ELEVATION  
scale : 1/4" = 1'-0"

ELEVATIONS  
scale as shown



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9687 Eighth Street, Sidney, BC

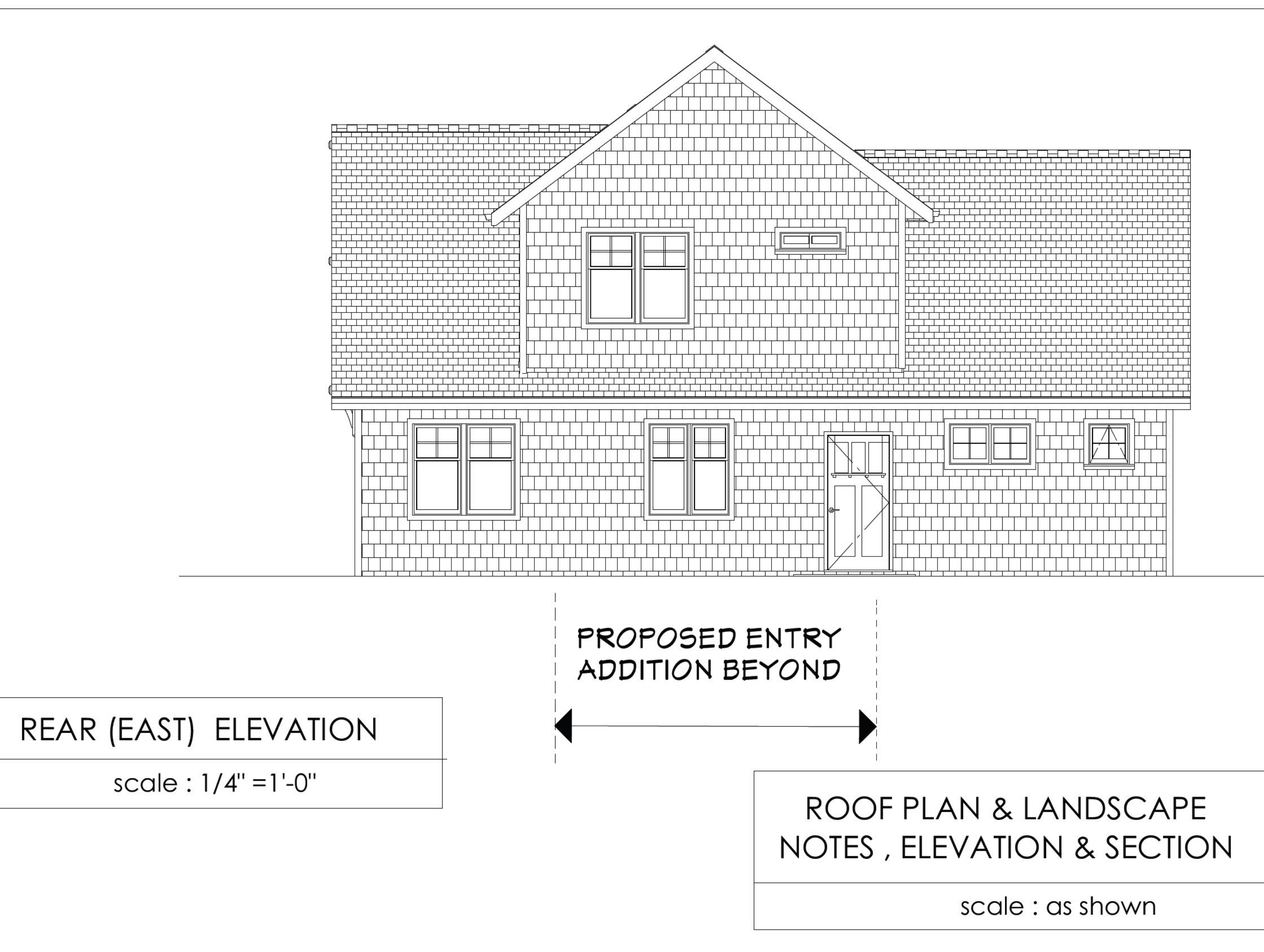
Revision 1  
11/08/2024

Design: David Coulson  
Drawn: Bill Robson  
Site: David Coulson  
Verified: David Coulson

Scale: as shown  
10/21/2024

SHEET  
A4

Architectural drawing of a roof plan and landscape notes for a property on Town of Sidney Boulevard. The drawing shows a large rectangular lot with a complex roof structure. The roof is divided into several sections with different pitches: 10/12, 9/12, 6/12, and 4/12. A 'NEW ROOF' section is indicated. The lot is bordered by 'LOT A' to the west, 'LOT 2' to the north, and 'LOT 3' to the east. The front boundary is 'TOWN of SIDNEY BOULEVARD'. A 'PROPOSED ENTRY ADDITION' is shown on the east side. A 'CURVED ROOF' section is also indicated. The drawing includes dimensions in feet and meters. A north arrow is located in the bottom left corner. A scale of 1/4" = 1'-0" is provided in the bottom right corner. The drawing is dated 2024.03.



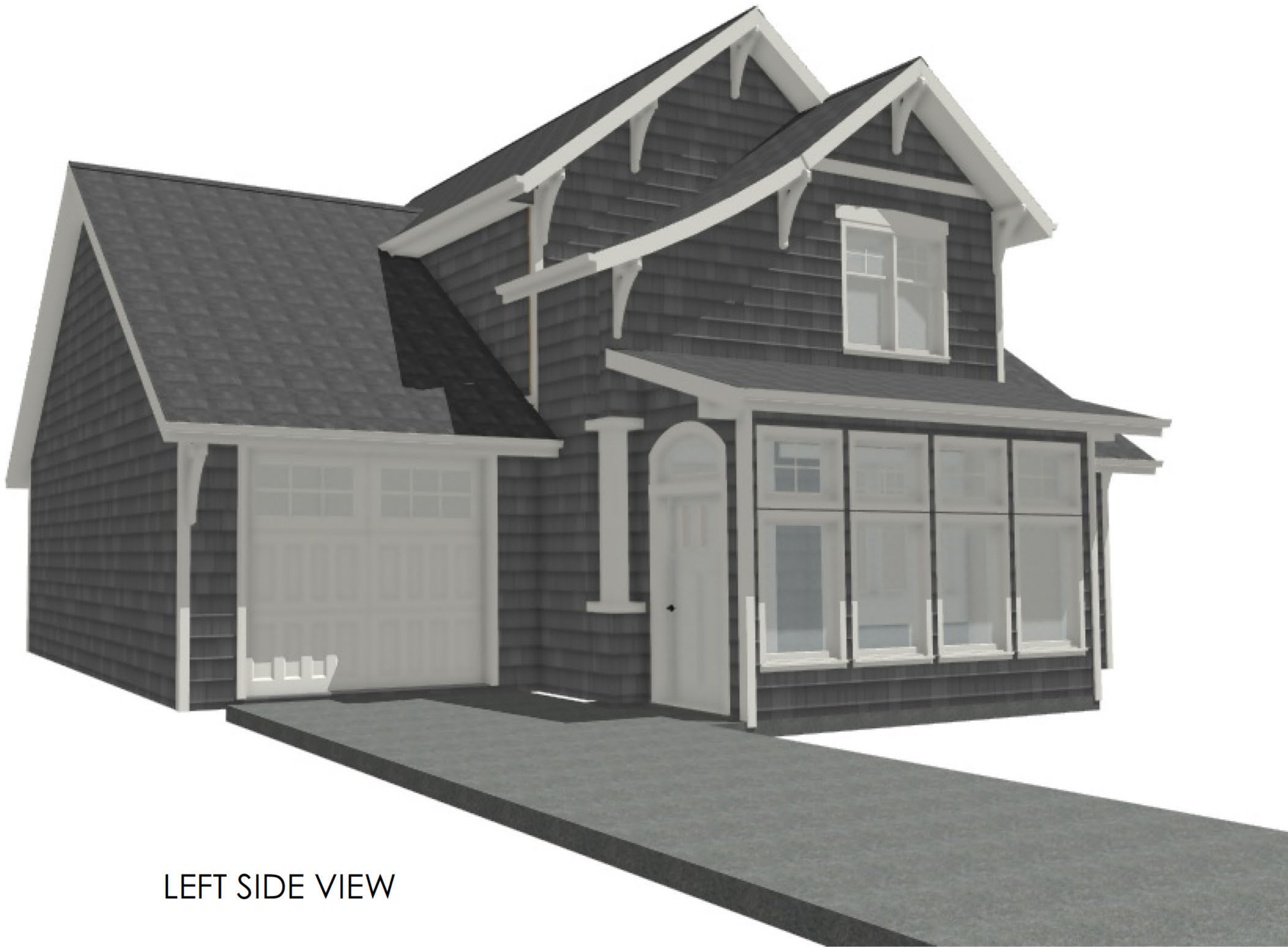
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FRONT VIEW



RIGHT SIDE VIEW



LEFT SIDE VIEW

#### COLOURS to match Existing

**Wall Shingles :** **Slate Gray** to match existing 'Exteria Roughsawn EZ shingles- Slate Gray'

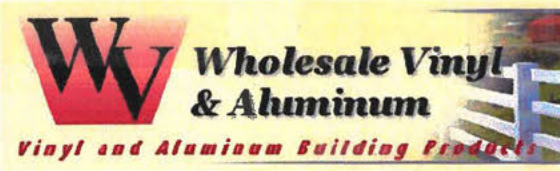
**Cedar Fascia:** Prefinished **White** to match existing

**Aluminum Gutter & Downspouts:** Prefinished **White** to match existing

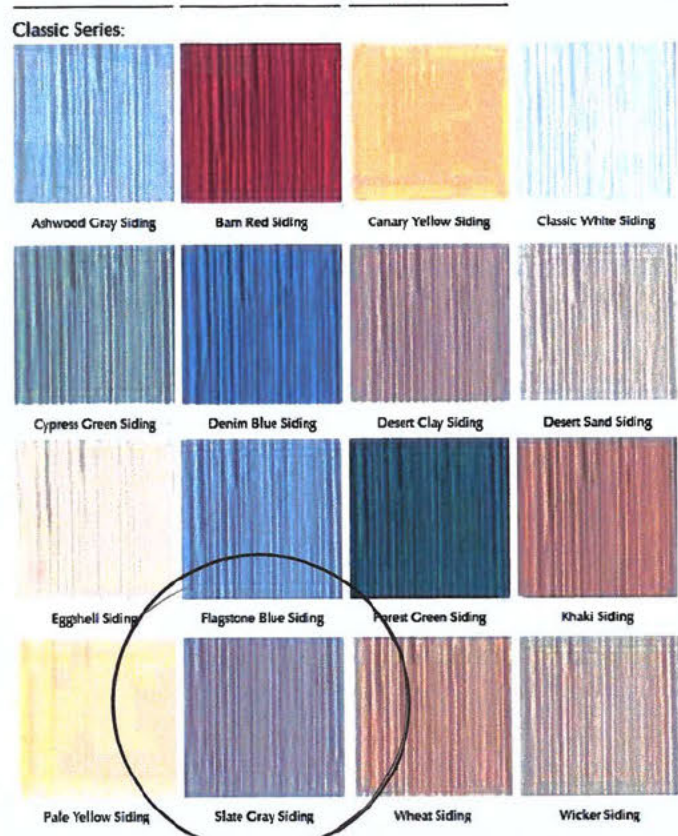
**Corner Boards:** Prefinished **White** to match existing

**Entrance Door & Windows:** Prefinished **White** to match existing

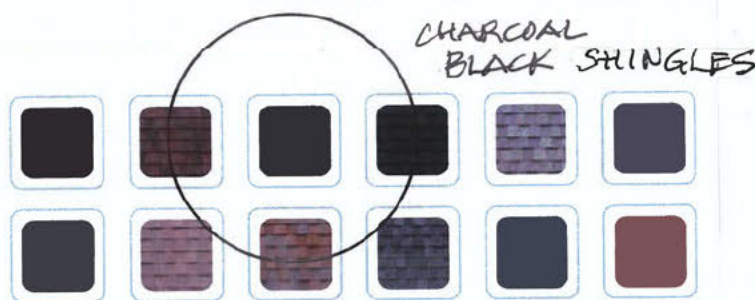
**Fiberglass Asphalt Shingles:** **Charcoal Black** from Certain Teed / Designer / Landmark to match existing



RoughSawn Cedar EZ



SLATE GRAY SIDING



#### Overview

CertainTeed's Landmark shingles are a popular choice for homeowners seeking a durable and aesthetically pleasing roofing option. These shingles are engineered with a dual-layer design, featuring a tough fiberglass base and a protective outer layer, providing superior protection against the elements.

#### EXTERIOR VIEWS & COLOURS

not to scale

A Google Street View image of a residential street in Sidney, British Columbia. The image shows a white house with a dark roof and a small dormer, surrounded by trees and a grassy area. A utility pole is visible in the foreground. The image is dated Nov 2022.

A Google Street View image of a single-story house with a brick chimney and a carport. The house has a dark roof and light-colored siding. A car is parked in the carport. The yard is grassy with some fallen leaves. A wooden fence is on the left, and a utility pole is on the right. The sky is clear and blue.

A large, modern house with a dark roof and light-colored siding, featuring a prominent arched entrance and large windows. A white car is parked in the foreground, and a black car is parked to the left.

[illegible]

STREET VIEW & PLAN  
scale : as shown