

# Project Data

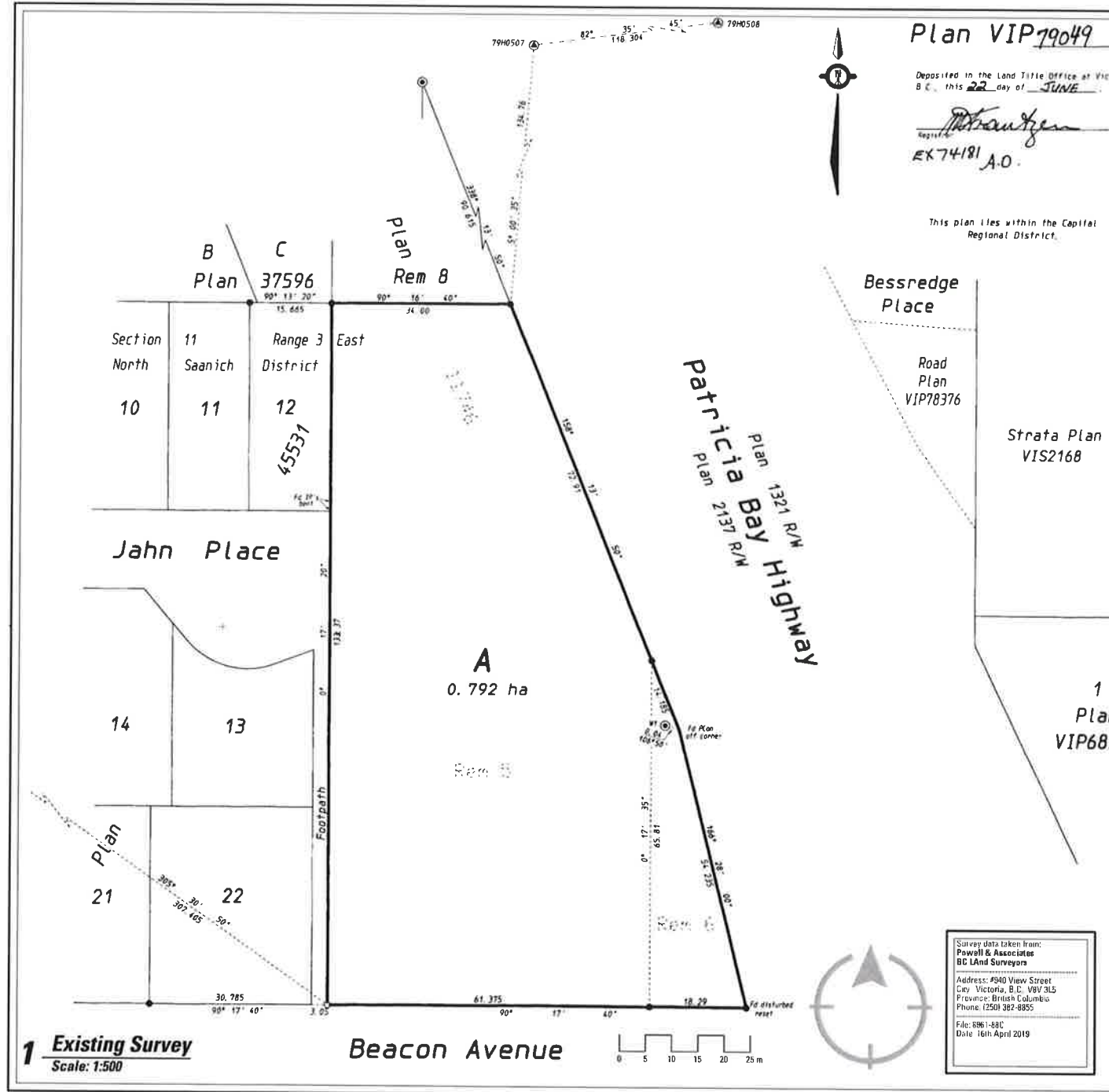
<b>Owner / Client:</b>	Kolhari Group 141 Brunel Road, Suite #201, Mississauga, ON T: 905-273-4001 / 905-273-2288																															
<b>Architect:</b>	Joseph R. Newell Architect AIBC Joe Newell Architect Inc, 2-101 Presley Place, Victoria, B.C. T: 250-382-4240																															
<b>Civic Address of Property:</b>	2180 Beacon Avenue, Sidney, BC																															
<b>Legal Description:</b>	LOT A SECTION 11 RANGE 3 E NORTH SAANICH DISTRICT PLAN VIP79049 PID: 025-319-462																															
<b>Zoning:</b>	Current: CD-23 - Commercial - travelling public Proposed: Custom Multi Family Residential Zone																															
<b>Project Description:</b>	Residential Building - 140 Units of 1, 2 and 3 bedroom apartments - 20% adaptable, 10% min 3 bedroom apartments on 1st and 2nd floors.																															
<b>Site Area:</b>	7,918.5 m <sup>2</sup>	85,234 s.f.																														
<b>Site Coverage:</b>	Proposed Coverage	35.05%																														
<b>Floor Area Ratio:</b>	Proposed	1:1.63																														
<b>Building Coverage Area:</b>	2,718.7m <sup>2</sup>	29,902 s.f.																														
<b>Building Total Floor Area:</b>	13,045.9 m <sup>2</sup>	140,468 s.f.																														
<b>Amenity Floor Area (FAR exclusion):</b>	152.3 m <sup>2</sup>	1,640 s.f.																														
<b>Building Gross Floor Area:</b>	12,897.6m <sup>2</sup>	138,829 s.f.																														
<b>Building Height:</b>	Proposed Height 5 Storey	18.56 m / 60.89'																														
<b>Setbacks:</b>	<table border="1"> <tr><td>Front yard Permitted</td><td>4.50 m</td><td>14.76'</td></tr> <tr><td>South / Beacon Ave - Proposed</td><td>5.26 m</td><td>17.27'</td></tr> <tr><td>Exterior side yard Permitted</td><td>4.50 m</td><td>14.76'</td></tr> <tr><td>East / Patricia Bay HWY Proposed</td><td>4.50 m</td><td>14.76'</td></tr> <tr><td>Exterior side yard Permitted</td><td>5.54 m</td><td>18.18'</td></tr> <tr><td>North East / Patricia Bay HWY - Proposed</td><td>5.50 m</td><td>18.04'</td></tr> <tr><td>Rear yard Permitted</td><td>4.50 m</td><td>14.76'</td></tr> <tr><td>North - Proposed</td><td>4.50 m</td><td>14.76'</td></tr> <tr><td>Exterior side yard Permitted</td><td>4.50 m</td><td>14.76'</td></tr> <tr><td>West - Proposed</td><td>9.02 m</td><td>29.59'</td></tr> </table>		Front yard Permitted	4.50 m	14.76'	South / Beacon Ave - Proposed	5.26 m	17.27'	Exterior side yard Permitted	4.50 m	14.76'	East / Patricia Bay HWY Proposed	4.50 m	14.76'	Exterior side yard Permitted	5.54 m	18.18'	North East / Patricia Bay HWY - Proposed	5.50 m	18.04'	Rear yard Permitted	4.50 m	14.76'	North - Proposed	4.50 m	14.76'	Exterior side yard Permitted	4.50 m	14.76'	West - Proposed	9.02 m	29.59'
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<b>Vehicle Parking:</b>	Required Parking: 1 space per apartment unit = 140 spaces required																															
<b>Proposed Parking:</b>	At Grade: 49 parking stalls, include 26 small car stalls & 4 type B accessible stalls Underground Parking: 96 parking stalls, include 23 small car stalls & 2 type A accessible stalls																															
<b>Total Proposed Parking:</b>	145 spaces provided																															
<b>Bicycle Parking:</b>	Proposed: 1 space per unit - 140 spaces + 6 spaces at each entrance Proposed: 1 space per unit - 140 spaces + 6 spaces at each entrance																															

# Residential Building Unit Types and Areas

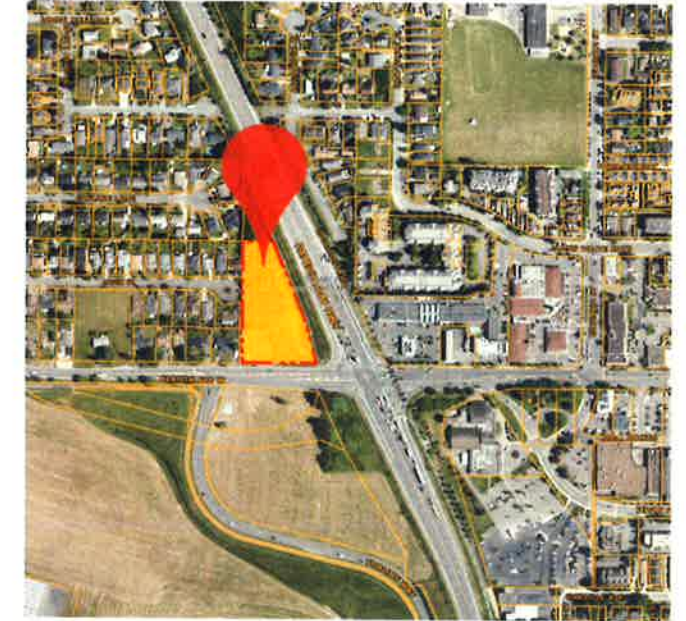
Unit Types and Numbers:	1 bed room	2 bed room	3 bed room	Total Units each Floor
<b>Floor</b>	55.55 sq m - 67.30 sqm	83.45 sq m - 93.3 sqm	104 sq m - 111.30 sqm	
<b>Main Floor</b>	11 units (10 adaptable)	10 units (8 adaptable)	6 units (6 adaptable)	27 units (24 adaptable)
<b>2nd Floor</b>	11 units (2 adaptable)	10 units (2 adaptable)	7 units	28 units (4 adaptable)
<b>3rd Floor</b>	16 units	16 units	n/a	32 units
<b>4th Floor</b>	16 units	16 units	n/a	32 units
<b>5th Floor</b>	8 units	10 units	3 units	21 units
<b>Total Units:</b>	<b>62 units</b>	<b>62 units</b>	<b>16 units</b>	<b>Total Units: 140 units</b>
<b>Total Floor Area:</b>	<b>Main Floor</b> 2,755.0 m <sup>2</sup>	<b>2nd Floor</b> 2,707.7 m <sup>2</sup>	<b>3rd Floor</b> 2,718.2 m <sup>2</sup>	<b>4th Floor</b> 2,718.2 m <sup>2</sup>
	<b>5th Floor</b> 7,150.7 m <sup>2</sup>	<b>Total</b> 13,045.9 m <sup>2</sup>	<b>FAR Calculation</b>	<b>Total Floor Area</b> 13,050m <sup>2</sup>
				<b>Amenity Floor Area</b> -152m <sup>2</sup>
				<b>Gross Floor Area</b> 12,898m <sup>2</sup>
				<b>Site Area</b> 7,918m <sup>2</sup>
				<b>FAR = 12,898 / 7,918 = 1.63</b>

# Drawing List

<b>Architectural</b> Joe Newell Architect Inc.	<b>Landscape Architecture</b> 4* Site Landscape Architecture and Planning L.100 - Landscape Concept Plan L.200 - Landscape Details	<b>Civil</b> JE Anderson and Associates C.1 - Concept Site Servicing Plan	<b>Arboreal</b> Talbot Mackenzie and Associates T.1 - Concept Site Servicing Plan
A.1 - Cover Page A.2 - Site Plan / Main Floor Plan A.3 - 2nd Floor Plan A.4 - 3rd & 4th Floor Plan A.5 - 5th Floor Plan A.6 - Parking Floor Plan A.7 - Roof Plan A.8 - Building Elevations A.9 - Building Sections and Street Elevations A.10 - Unit Floor Plans A.11 - Fences, Pergolas, Garbage Enclosure A.12 - Perspective Views A.13 - Sun / Shadow Study A.14 - Existing Tree Location Plan			



# Location: Aerial Photo



# Site Aerial Photo

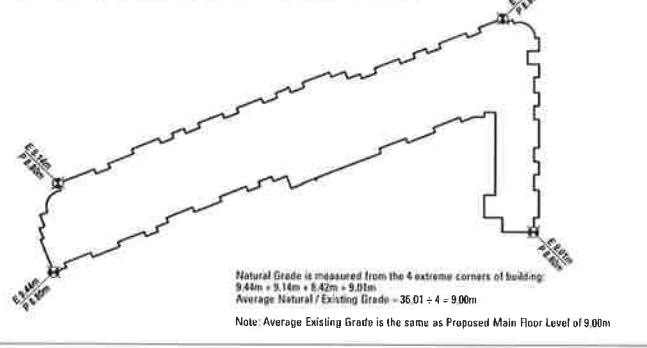


**2180 BEACON AVENUE**  
SIDNEY, BC

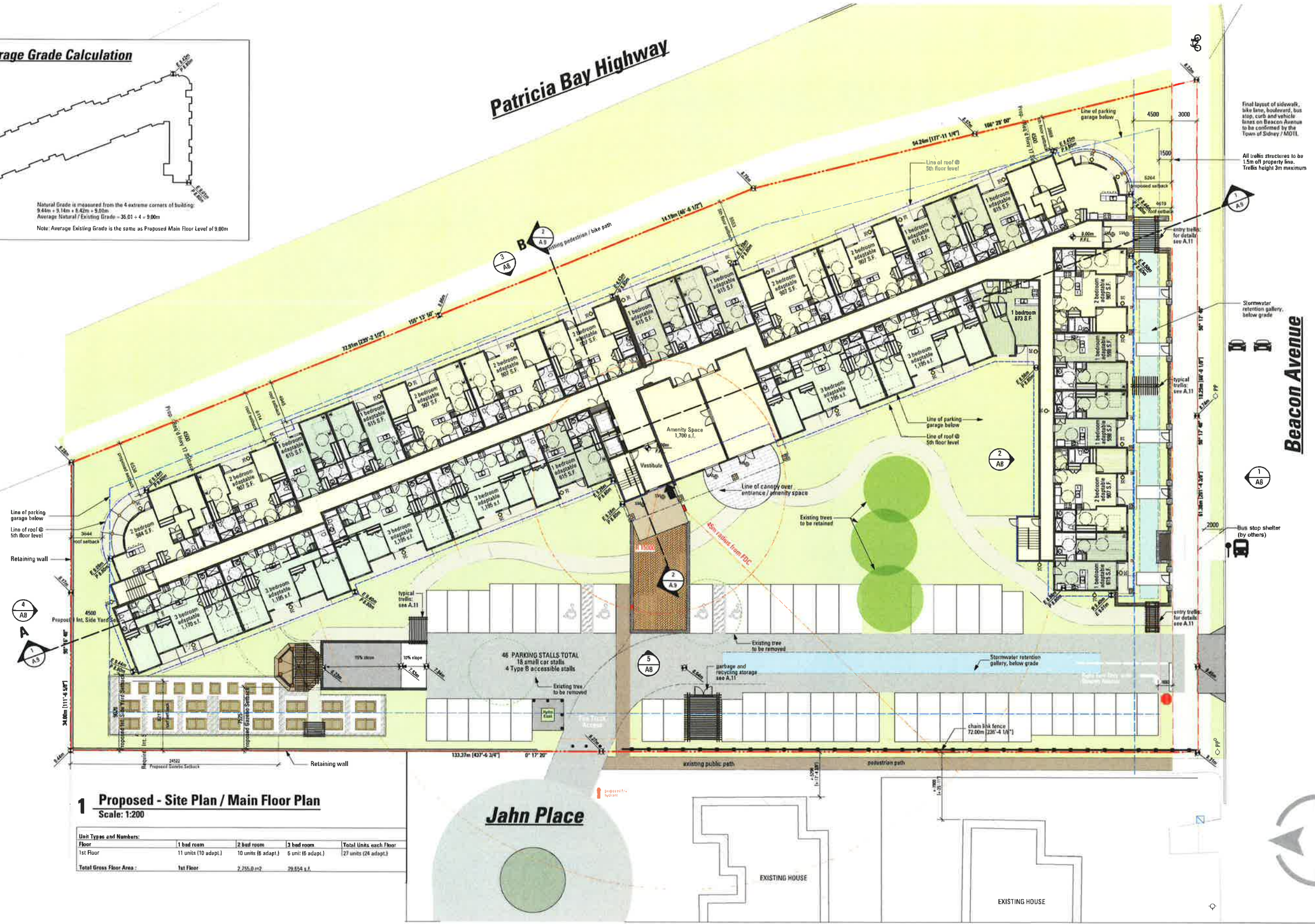
**PROPOSED RESIDENTIAL DEVELOPMENT**  
Cover Page

**A1**  
Joe Newell  
architect inc.  
2-101 Presley Pl, Victoria, BC, V8B 0S4  
T (250) 382-4240 F (250) 382-5733  
www.joewellarchitect.com

**Existing Average Grade Calculation**



**Patricia Bay Highway**



Final layout of sidewalk, bike lanes, bus stop, curb and vehicle lanes on Beacon Avenue to be confirmed by the Town of Sidney / MDTL

All trellis structures to be 1.5m off property line. Trellis height 3m maximum

Stormwater retention gallery, below grade

Bus stop shelter (by others)

**1 Proposed - Site Plan / Main Floor Plan**  
 Scale: 1:200

Unit Types and Numbers:	1 bed room	2 bed room	3 bed room	Total Units each Floor
Floor	11 units (10 adapt.)	10 units (6 adapt.)	6 units (6 adapt.)	27 units (24 adapt.)
Total Gross Floor Area:	1st Floor	2,785.0 m <sup>2</sup>	29,854 s.f.	

**Jahn Place**

**2180 BEACON AVENUE**  
 SIDNEY, BC

**PROPOSED RESIDENTIAL DEVELOPMENT**  
 Site Plan / Main Floor Plan

**A2**

**Joe Newell**  
 architect inc  
 Date: November 30th, 2022  
 2-101 Presley Pl, Victoria, BC, V9B 0S4  
 T (250) 382-4240 F (250) 382-5733  
 www.joanewellarchitect.com



**1 2nd Floor Plan**  
Scale: 1:200

Unit Types and Numbers:				
Floor	1 bed room	2 bed room	3 bed room	Total Units each Floor
2nd Floor	11 units (2 adapt.)	10 units (2 adapt.)	7 units	28 units (4 adapt.)
Total Gross Floor Area:		2,207.7 m <sup>2</sup>	29,146 s.f.	

**2180 BEACON AVENUE**  
SIDNEY, BC

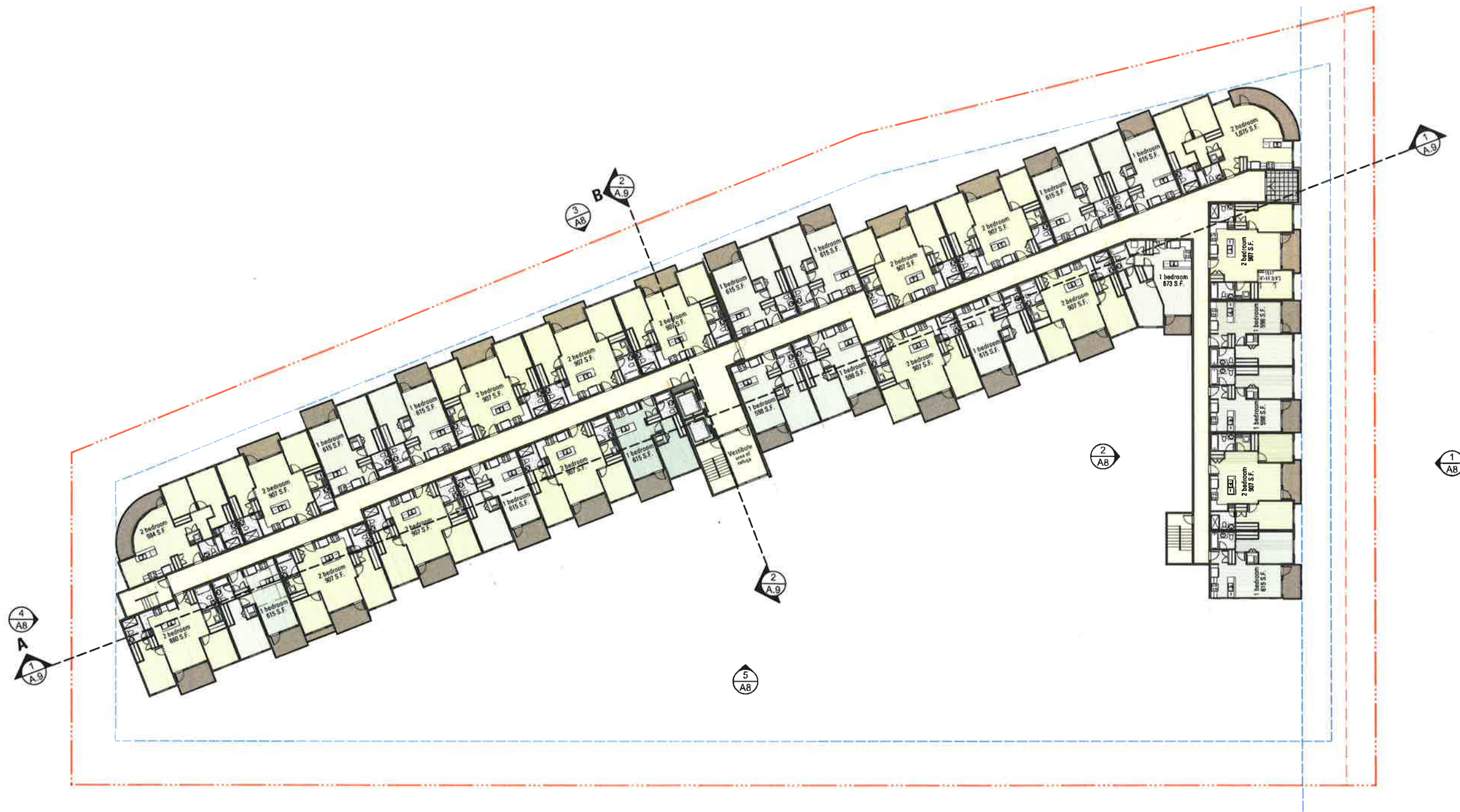
**PROPOSED RESIDENTIAL DEVELOPMENT**  
2nd Floor Plan

**A3**



**Joe Newell**  
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2-101 Presley Pl. Victoria, BC, V8B 6S4  
T (250) 382-4240 F (250) 382-5733  
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Date: November 30th, 2022

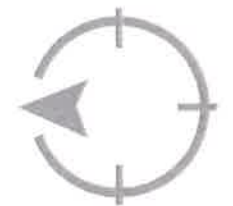


**1** 3rd & 4th Floor Plan  
Scale: 1:200

Unit Types and Numbers:			
Floor	1 bed room	2 bed room	3 bed room
3rd Floor	16 units	16 units	1
4th Floor	16 units	16 units	1
<b>Total Units each Floor</b>			<b>32 units</b>
<b>Total Gross Floor Area :</b>	<b>3rd Floor</b>	2,718.2 m <sup>2</sup>	29,259 s.f.
<b>Total Gross Floor Area :</b>	<b>4th Floor</b>	2,718.2 m <sup>2</sup>	29,259 s.f.

**2180** BEACON AVENUE  
SIDNEY, BC

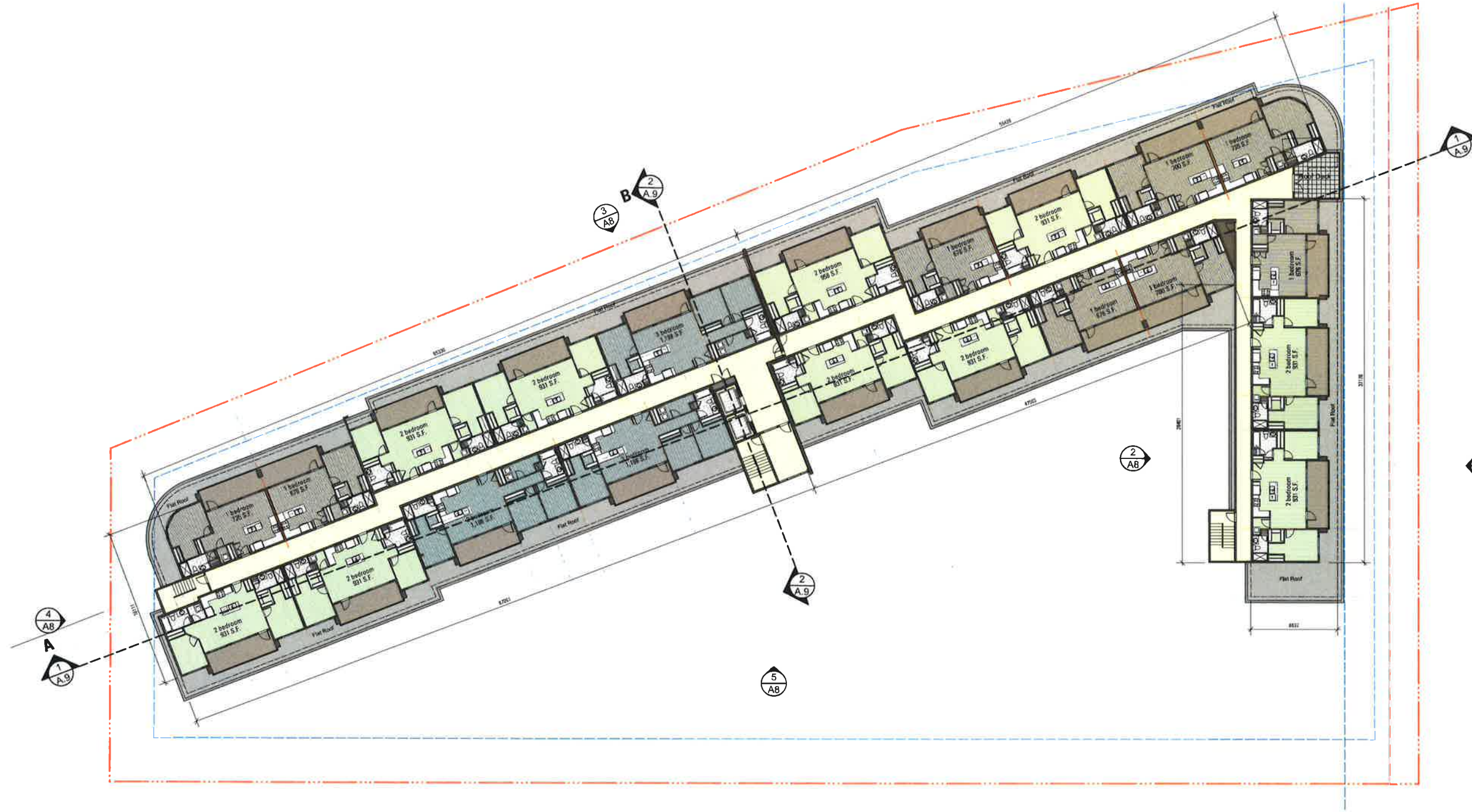
**PROPOSED RESIDENTIAL DEVELOPMENT**  
3rd & 4th Floor Plans



**A4**

**Joe Newell**  
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www.joenevellarchitect.com

Date: November 30th, 2022



**1 5th Floor Plan**  
Scale: 1:200

Unit Types and Numbers:

Floor	1 bed room	2 bed room	3 bed room	Total Units each Floor
5th Floor	8 units	10 units	3 units	21 units

Total Gross Floor Area:

Floor	Area
5th Floor	2,150.7 m <sup>2</sup> / 23,150 s.f.

**2180 BEACON AVENUE**  
SIDNEY, BC

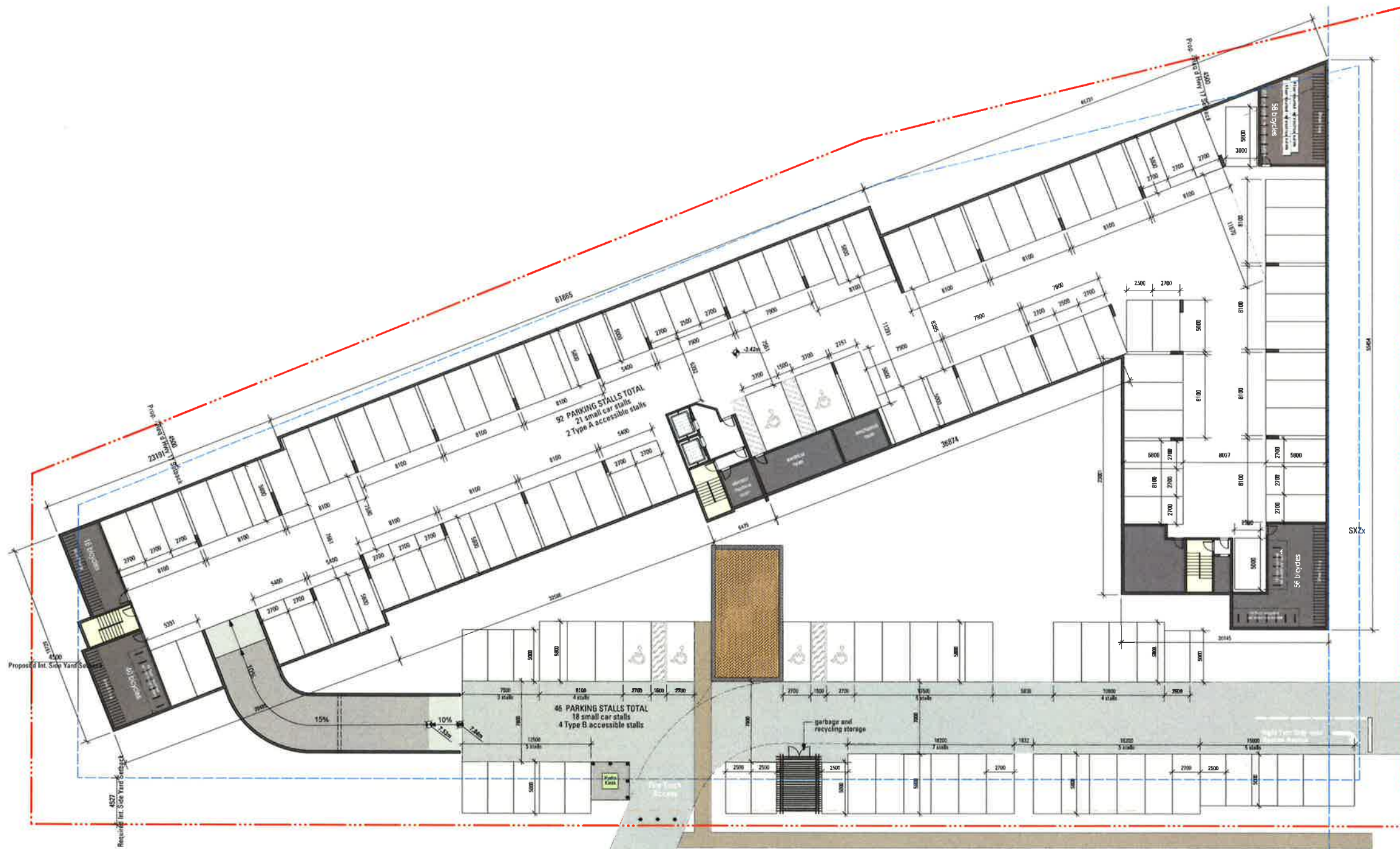
**PROPOSED RESIDENTIAL DEVELOPMENT**  
5th Floor Plan



**A5**

**Joe Newell**  
architect inc.  
2-101 Presley Pl, Victoria, BC, V8B 0S4  
T (250) 382-4240 F (250) 382-5733  
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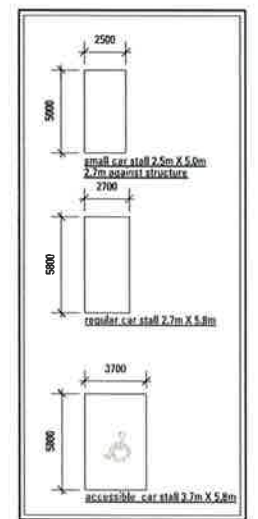


**1 Parking Floor Plan**  
Scale: 1:200

**ELECTRIC VEHICLE CHARGING:**

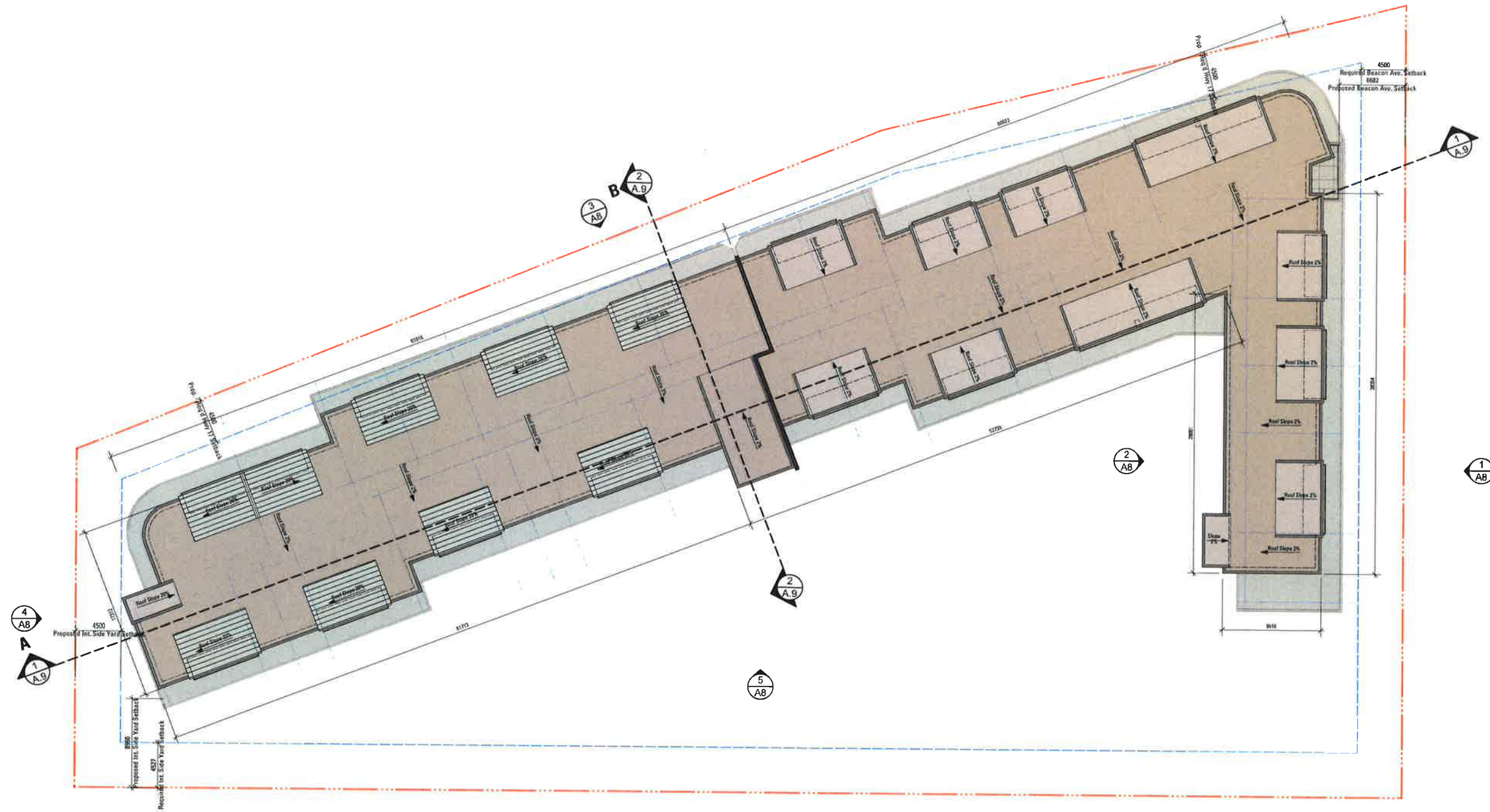
Electric Vehicle Charging Infrastructure shall be provided to all parking spaces and shall terminate in an Energized Outlet capable of providing a minimum of Level 2 Charging, all as required by the Town of Sidney Parking Bylaw No. 2140.

Detailed design of Electric Vehicle Charging Infrastructure including selection of charging stations still to be determined and shall be provided as part of the Building Permit Application, as required by the Town of Sidney Parking Bylaw No. 2140.



Parking



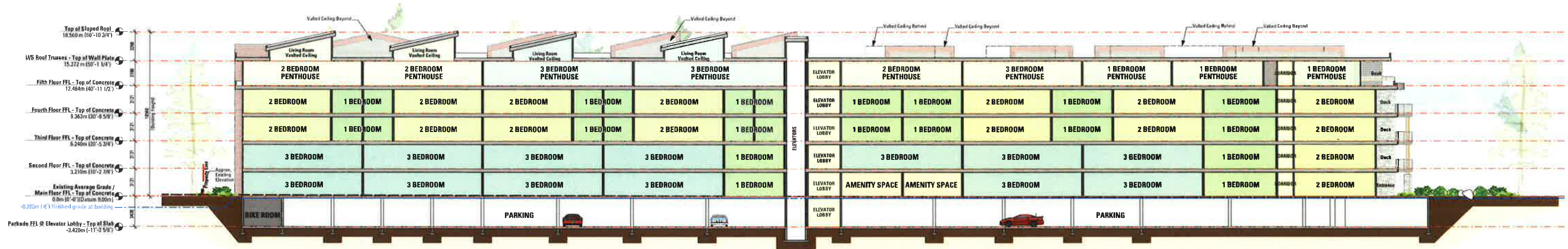


**1 Roof Plan**  
Scale: 1:200

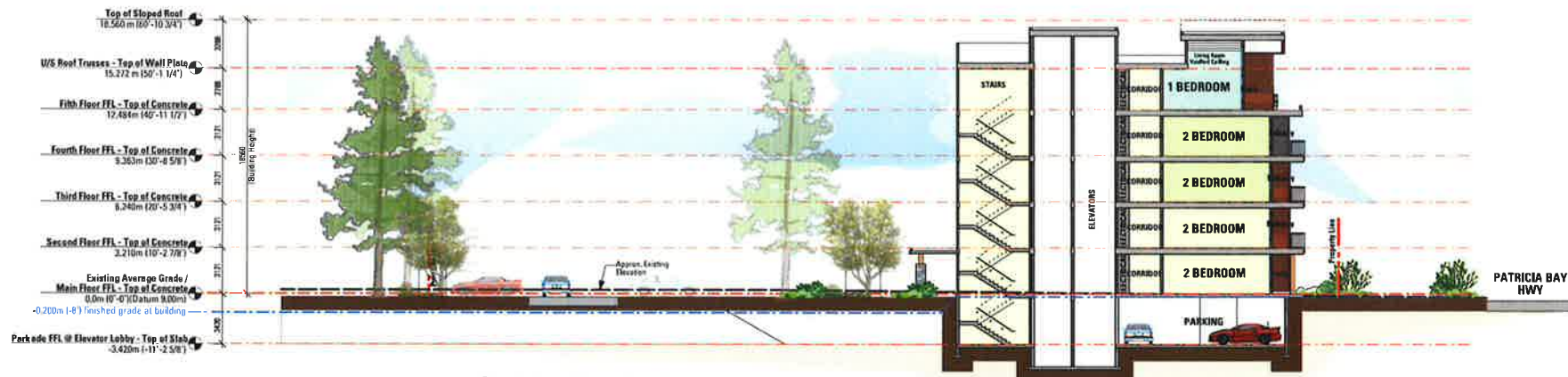








**1 Building Section A**  
Scale: 1:200



**2 Building Section B**  
Scale: 1:200



**4 Site Location**  
Scale: 1:250



**3 Beacon Avenue Street Elevation**  
Scale: 1:250



**1 1 Bedroom - Typ.**  
Scale: 1:100



**1A 1 Bedroom - Typ.**  
Scale: 1:100 Adaptable



**2 1 Bedroom - w/ Party Wall**  
Scale: 1:100 Adaptable



**3 1 Bedroom - Narrow Unit**  
Scale: 1:100



**3A 1 Bedroom - Narrow Unit**  
Scale: 1:100 Adaptable



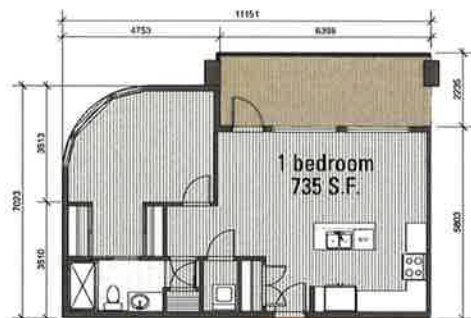
**4 1 Bedroom - Inside Corner**  
Scale: 1:100



**5 1 Bedroom - Penthouse - Typ.**  
Scale: 1:100



**6 1 Bedroom - Penthouse - Wide Unit**  
Scale: 1:100



**7 1 Bedroom - Penthouse - Corner Unit**  
Scale: 1:100



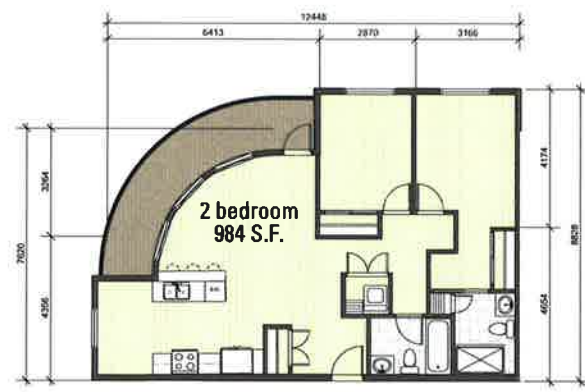
**8 2 Bedroom - Typ.**  
Scale: 1:100



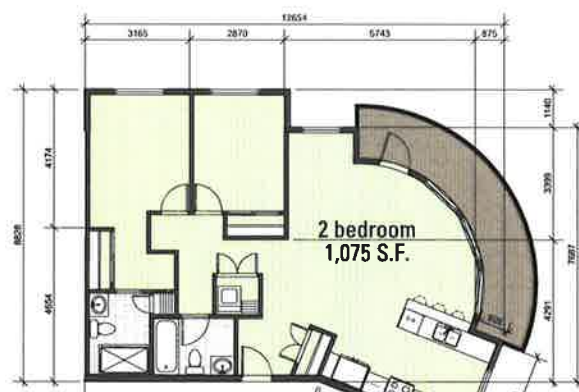
**8A 2 Bedroom - Typ.**  
Scale: 1:100 Adaptable



**9 2 Bedroom - End Unit**  
Scale: 1:100



**10 2 Bedroom - Corner Unit**  
Scale: 1:100



**10A 2 Bedroom - Corner Unit**  
Scale: 1:100



**11 2 Bedroom - Penthouse - Typ.**  
Scale: 1:100



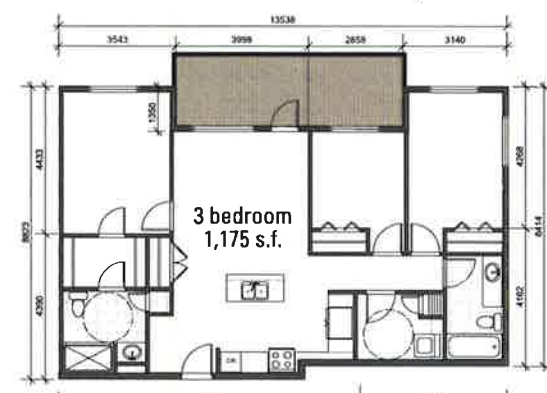
**12 2 Bedroom - Penthouse - End Unit**  
Scale: 1:100



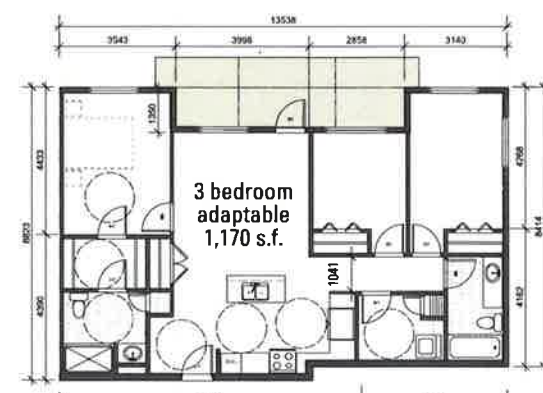
**13 3 Bedroom - Typ.**  
Scale: 1:100



**13A 3 Bedroom - Typ.**  
Scale: 1:100 Adaptable



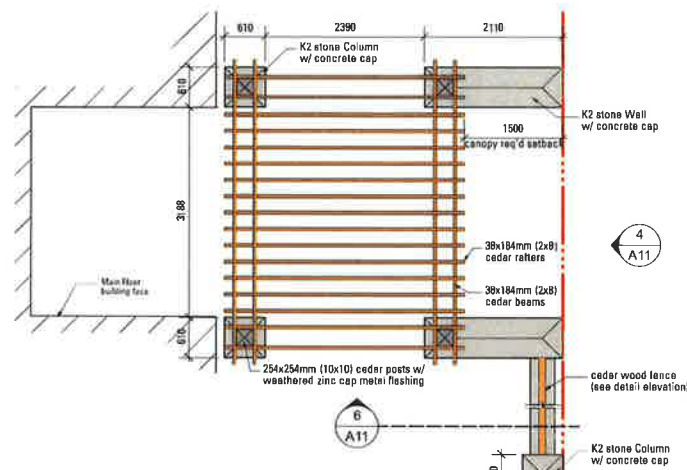
**14 3 Bedroom - End Unit**  
Scale: 1:100



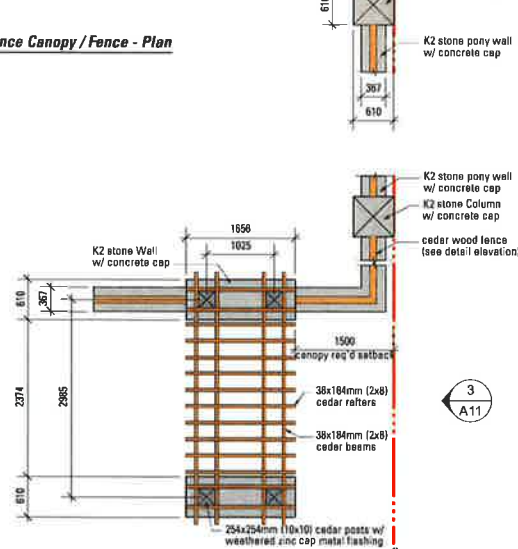
**14A 3 Bedroom - End Unit**  
Scale: 1:100 Adaptable



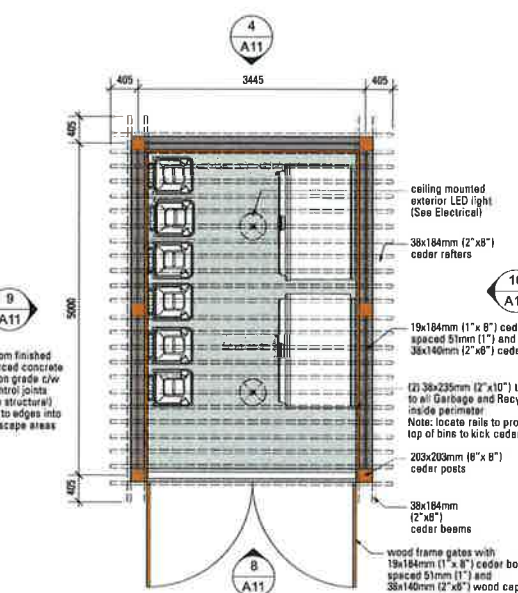
**15 3 Bedroom - Penthouse - Typ.**  
Scale: 1:100



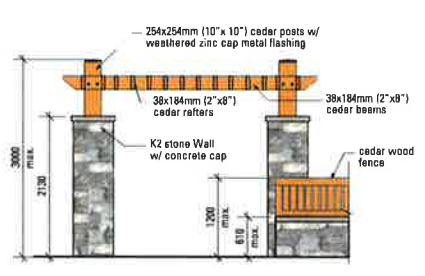
1 Main (East) Entrance Canopy / Fence - Plan  
A11 Scale: 1:50



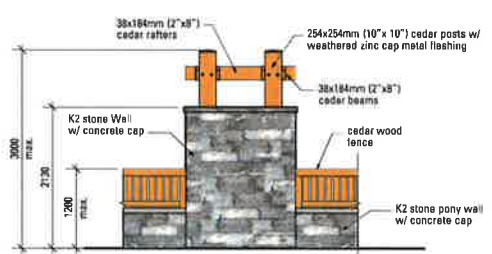
2 West Entrance Canopy / Fence - Plan  
A11 Scale: 1:50



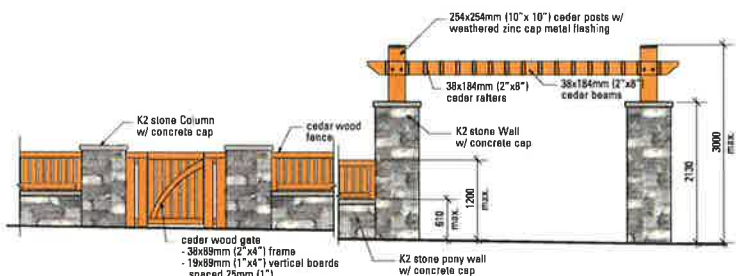
7 Garbage and Recycling Enclosure - Floor Plan  
A11 Scale: 1:50



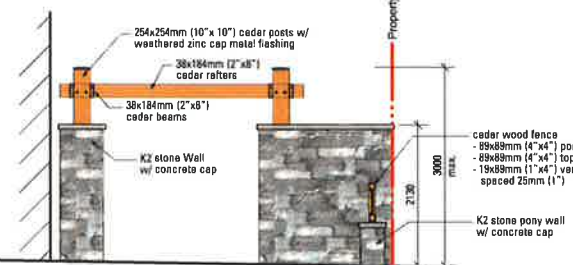
3 West Entrance Canopy / Fence - Elevation  
A11 Scale: 1:50



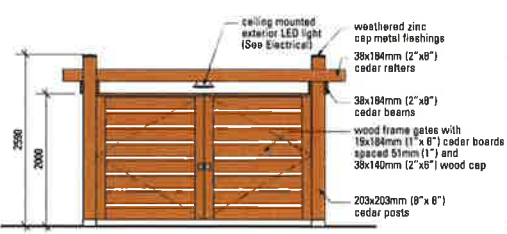
5 West Entrance Canopy / Fence - Elevation  
A11 Scale: 1:50



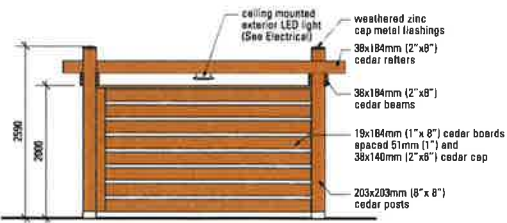
4 Main (East) Entrance Canopy / Fence - Elevation  
A11 Scale: 1:50



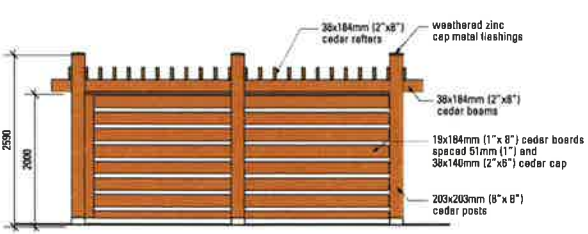
6 Main (East) Entrance Canopy / Fence - Elevation  
A11 Scale: 1:50



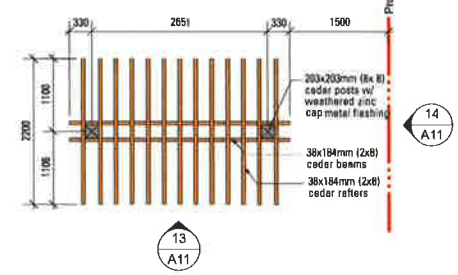
8 Garbage and Recycling Enclosure - East Elevation  
A11 Scale: 1:50



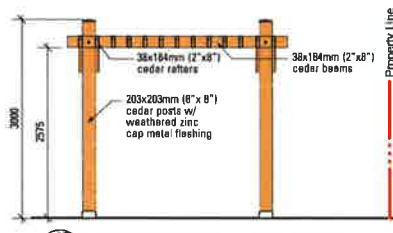
11 Garbage and Recycling Enclosure - West Elevation  
A11 Scale: 1:50



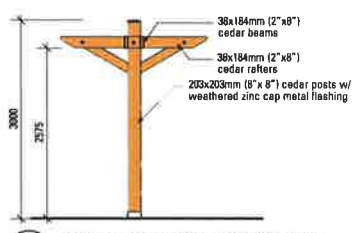
9/10 Garbage and Recycling Enclosure - South/North Elevations  
A11 Scale: 1:50



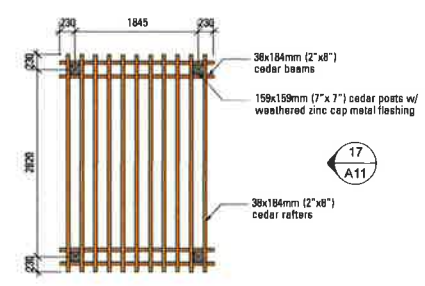
12 Front Garden Pergola - Plan  
A11 Scale: 1:50



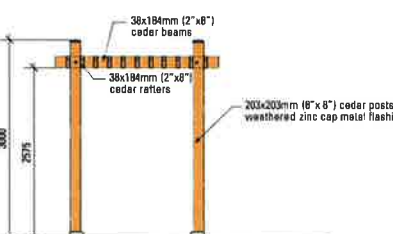
13 Front Garden Pergola - West Elevation  
A11 Scale: 1:50



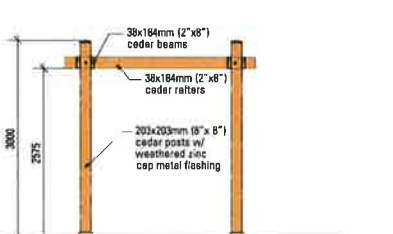
14 Front Garden Pergola - South Elevation  
A11 Scale: 1:50



15 Rear Garden Pergola - Plan  
A11 Scale: 1:50



16 Rear Garden Pergola - West Elevation  
A11 Scale: 1:50



17 Rear Garden Pergola - South Elevation  
A11 Scale: 1:50



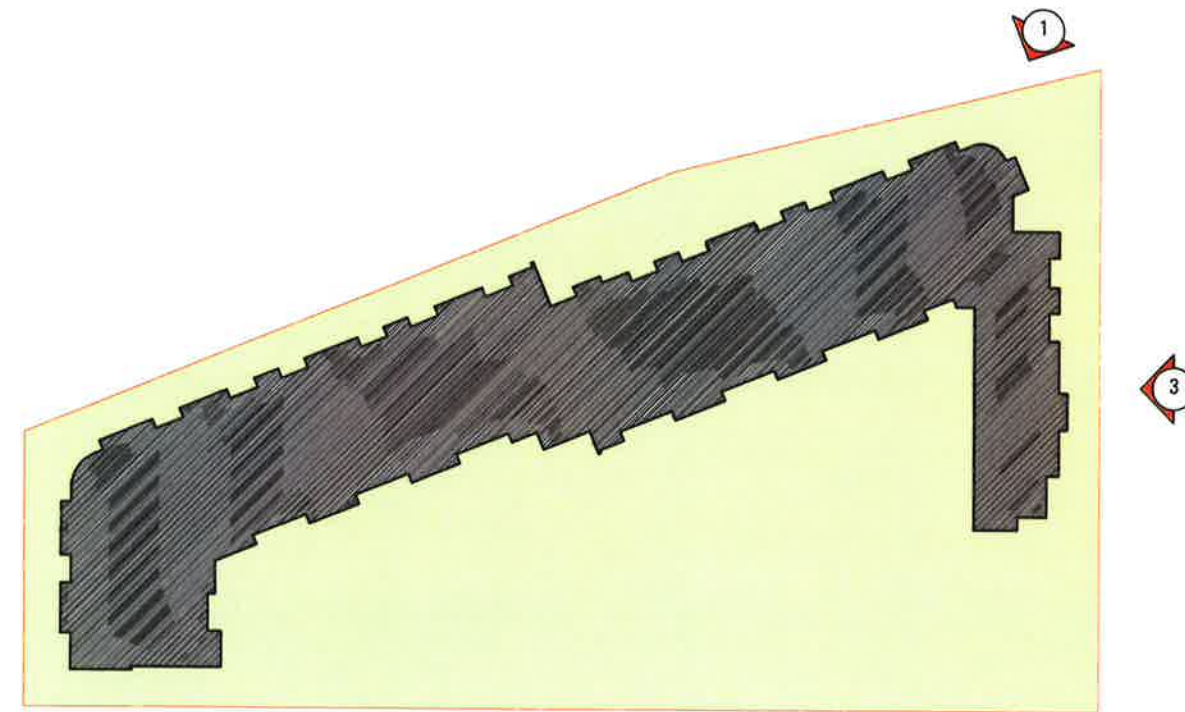
**1** View from Intersection, Looking North West



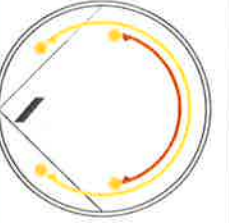
**2** View of Courtyard, Looking South East



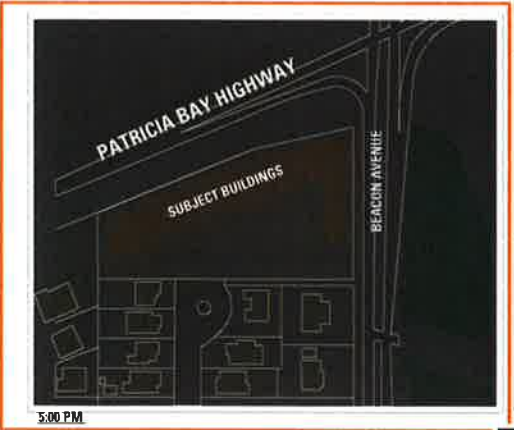
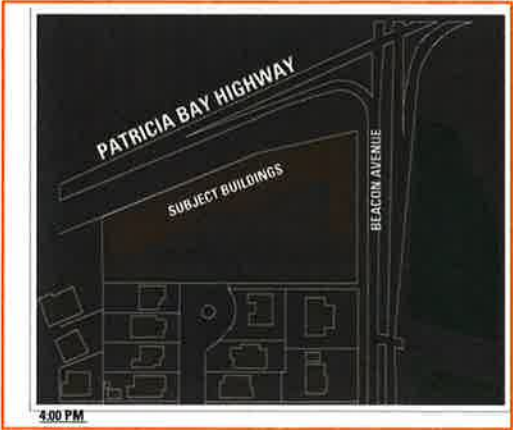
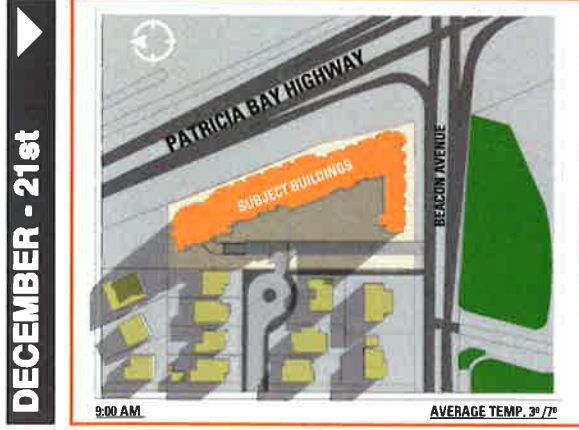
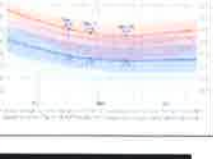
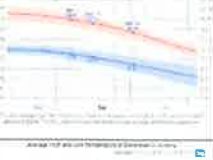
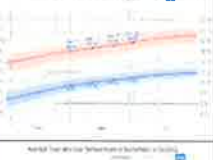
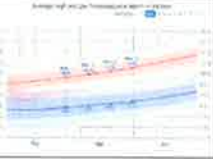
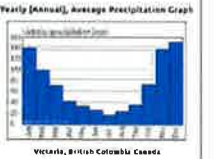
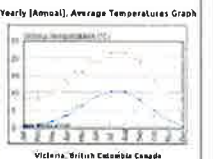
**3** View from Beacon Avenue, Looking North



**4** Key Plan



- SUBJECT BUILDINGS
- NEIGHBORHOOD EXISTING BUILDINGS
- SUBJECT SITE
- ROADS



**2180 BEACON AVENUE**  
SIDNEY, BC

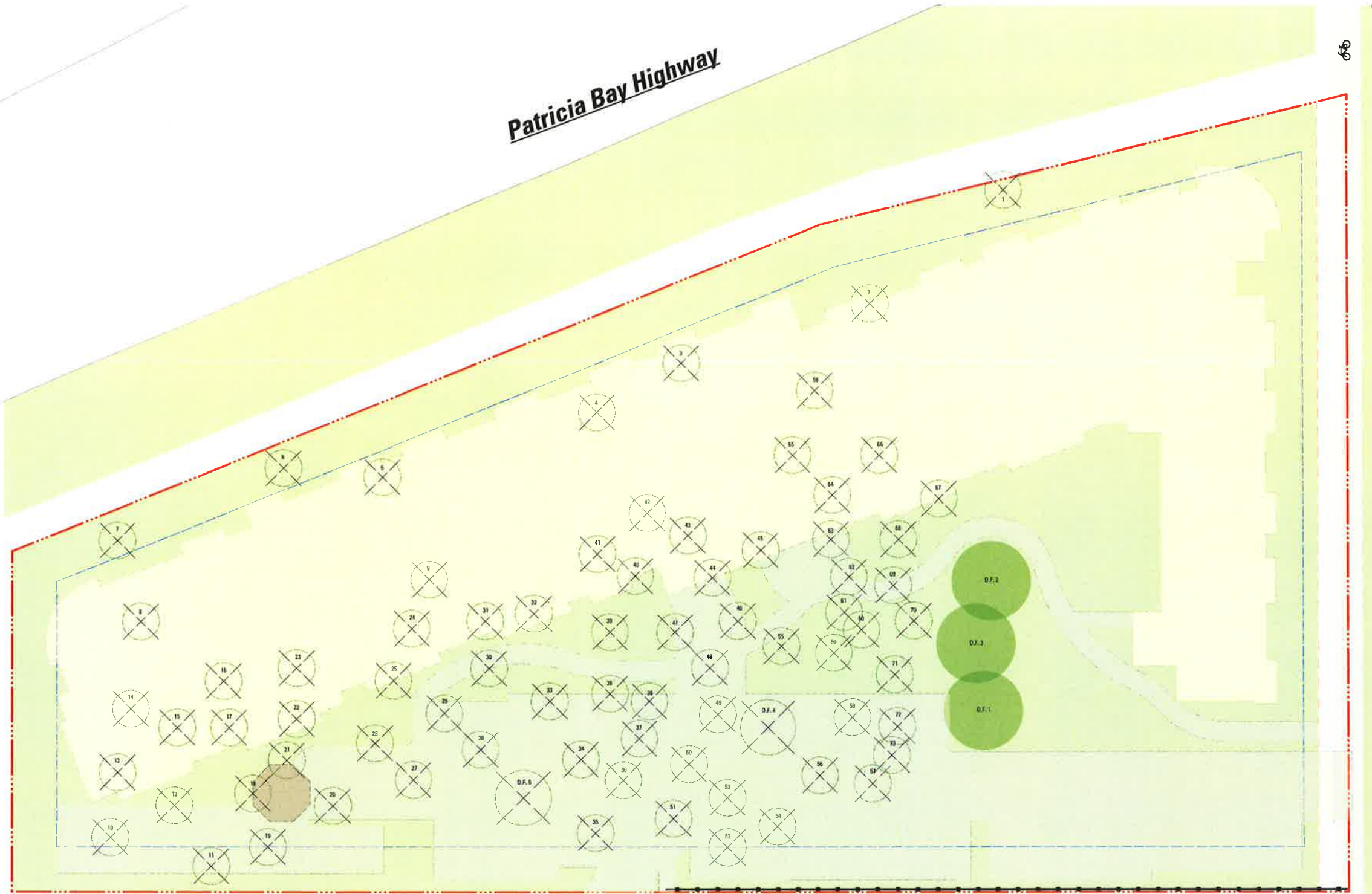
**PROPOSED RESIDENTIAL DEVELOPMENT**  
Sun / Shadow Study

**A13**

Date: November 30th, 2022

**Joe Newell**  
architect inc.  
2-101 Presley Pl, Victoria, BC V9B 0S4  
T (250) 382-4240 F (250) 382-5733  
www.joewellarchitect.com

**Patricia Bay Highway**



Existing tree location plan based on information provided by Talbot Mackenzie & Associates.  
**Refer to 2180 Beacon Avenue - Bylaw Protected Trees 22.03.15 for detailed information on tree size and species.**  
 Note that tree numbers 1 - 73 are all Cascara species, of small size, with 80% of trees having 3m crown spread or less.  
 Note that tree numbers D.F.1 - D.F.5 are Douglas Fir species, of which all 3 trees with good structure are to be retained.

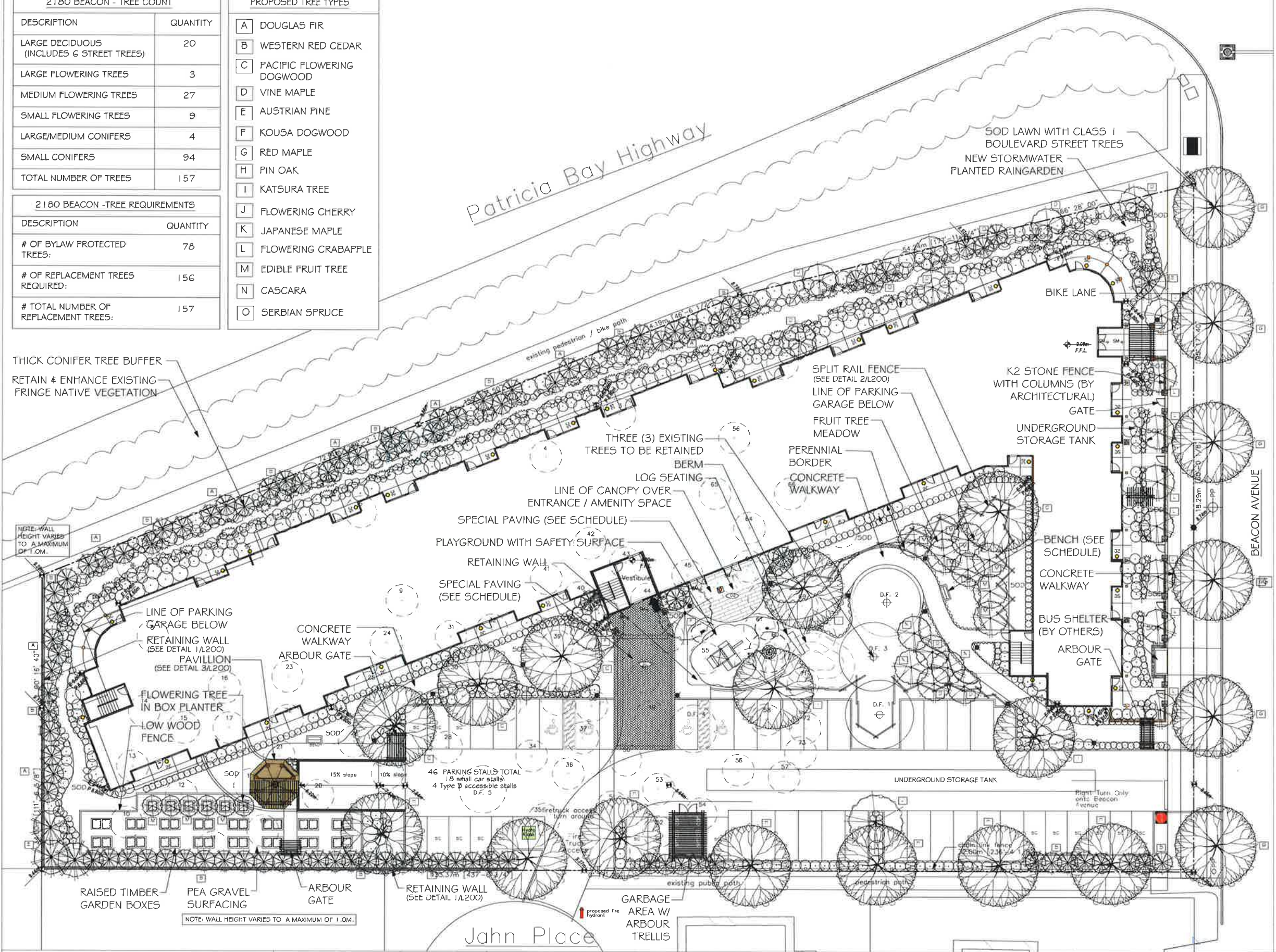


2180 BEACON - TREE COUNT	
DESCRIPTION	QUANTITY
LARGE DECIDUOUS (INCLUDES 6 STREET TREES)	20
LARGE FLOWERING TREES	3
MEDIUM FLOWERING TREES	27
SMALL FLOWERING TREES	9
LARGE/MEDIUM CONIFERS	4
SMALL CONIFERS	94
TOTAL NUMBER OF TREES	157

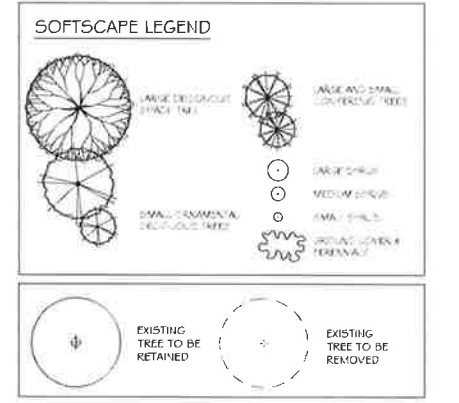
PROPOSED TREE TYPES	
A	DOUGLAS FIR
B	WESTERN RED CEDAR
C	PACIFIC FLOWERING DOGWOOD
D	VINE MAPLE
E	AUSTRIAN PINE
F	KOUSA DOGWOOD
G	RED MAPLE
H	PIN OAK
I	KATSURA TREE
J	FLOWERING CHERRY
K	JAPANESE MAPLE
L	FLOWERING CRABAPPLE
M	EDIBLE FRUIT TREE
N	CASCARA
O	SERBIAN SPRUCE

2180 BEACON - TREE REQUIREMENTS	
DESCRIPTION	QUANTITY
# OF BYLAW PROTECTED TREES:	78
# OF REPLACEMENT TREES REQUIRED:	156
# TOTAL NUMBER OF REPLACEMENT TREES:	157

THICK CONIFER TREE BUFFER  
RETAIN & ENHANCE EXISTING FRINGE NATIVE VEGETATION



SUGGESTED PLANT LIST				
Tree	Qty	Common Name	Latin Name	Size
20	20	Large Deciduous (Street Trees)		15-20m
3	3	Large Flowering Trees		15-20m
27	27	Medium Flowering Trees		10-15m
9	9	Small Flowering Trees		5-10m
4	4	Large/Medium Conifers		15-20m
94	94	Small Conifers		5-10m
157	157	Total		



**LIGHTING SCHEDULE**

BOLLARDS (6/19)  
DESCRIPTION: APTOS BOLLARD MODEL: LB41TAC COLOUR: BRIGHT SILVER GLOSS SUPPLIER: FORMS + SURFACES

LIGHT POLE (6/1)  
DESCRIPTION: 3 RIVERS PEDESTRIAN MODEL: UPR-LED COLOUR: BRIGHT SILVER GLOSS SUPPLIER: FORMS + SURFACES

NOTES  
THE LIGHTING PREPARED AT THIS STAGE IS INTENDED TO ILLUSTRATE THE GENERAL CONCEPT AND LOCATIONS. DETAILED ELECTRICAL IS PROVIDED BY THE PROJECT ELECTRICAL ENGINEER, WHOM SHALL PROVIDE A DETAILED REVIEW ON HIGH-VOLTAGE AND LIGHTING CUT-OFF ISSUES AT THE BUILDING PERMIT STAGE.

**PAVER SCHEDULE**

01 TYPE: VENEZIAN COBBLE (PERMEABLE PAVER) COLOUR: COPPER CANYON PATTERN: RUNNING BOND SIZE: 6"x12"

02 TYPE: ORIGINS 12 COLOUR: VICTORIAN PATTERN: PATTERN C SIZE: 12"x12" 2"x12" 6"x24"

**BENCH SCHEDULE**

BENCHES (6/2)  
DESCRIPTION: KNIGHT BENCH MODEL: 581N1-096B COLOUR: HARDWOOD SLATS: VIATTE SILVER GLOSS SUPPLIER: FORMS + SURFACES



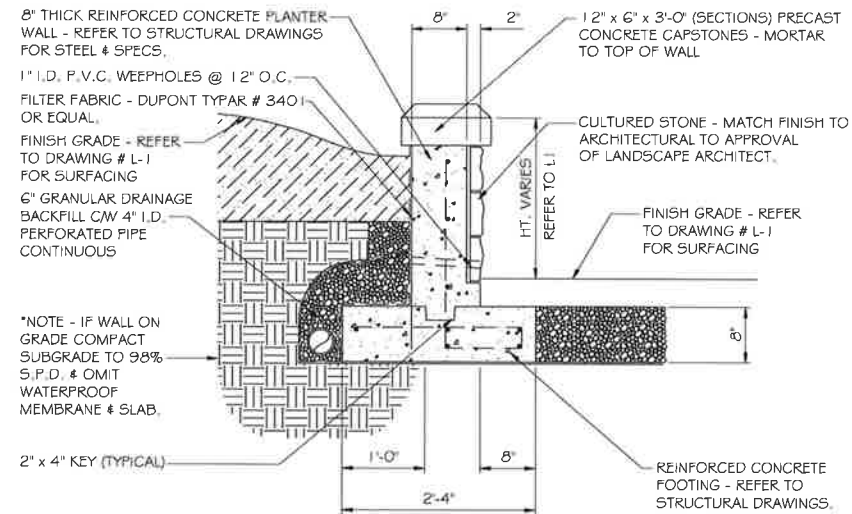
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2180 BEACON AVENUE  
SIDNEY, BC

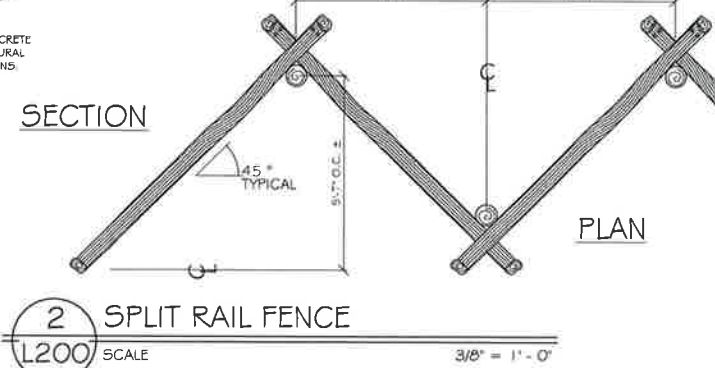
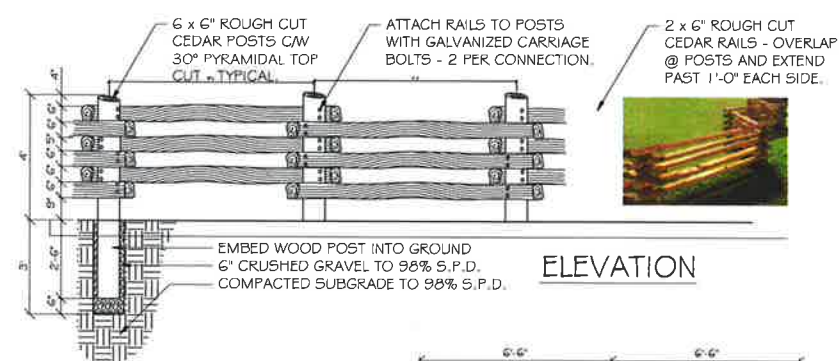
REV. DATE	NUMBER	DESCRIPTION
22-12-08	1	LANDSCAPE CONCEPT PLAN - ISSUED FOR DP

DATE: DECEMBER 8, 2022  
SCALE: 1:200  
DRAWN BY: BF/RF

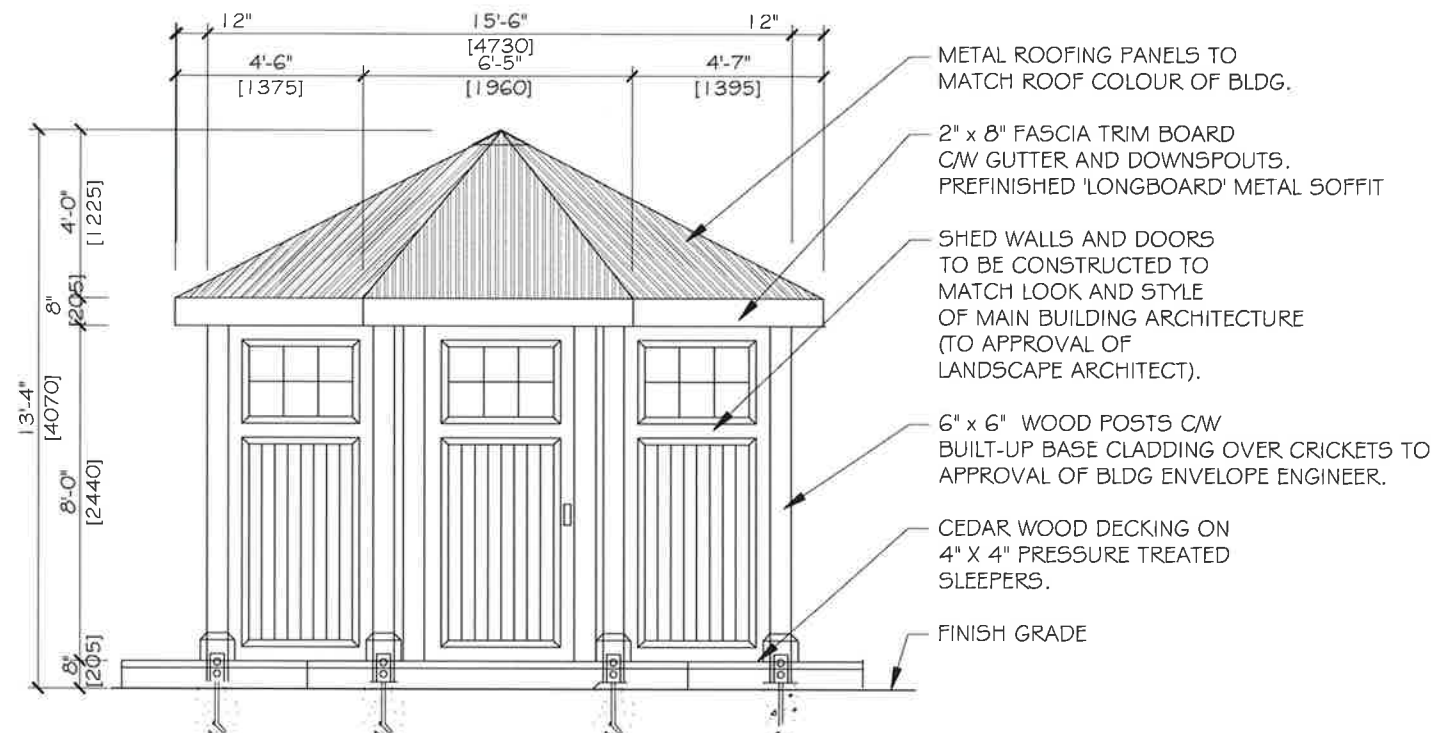
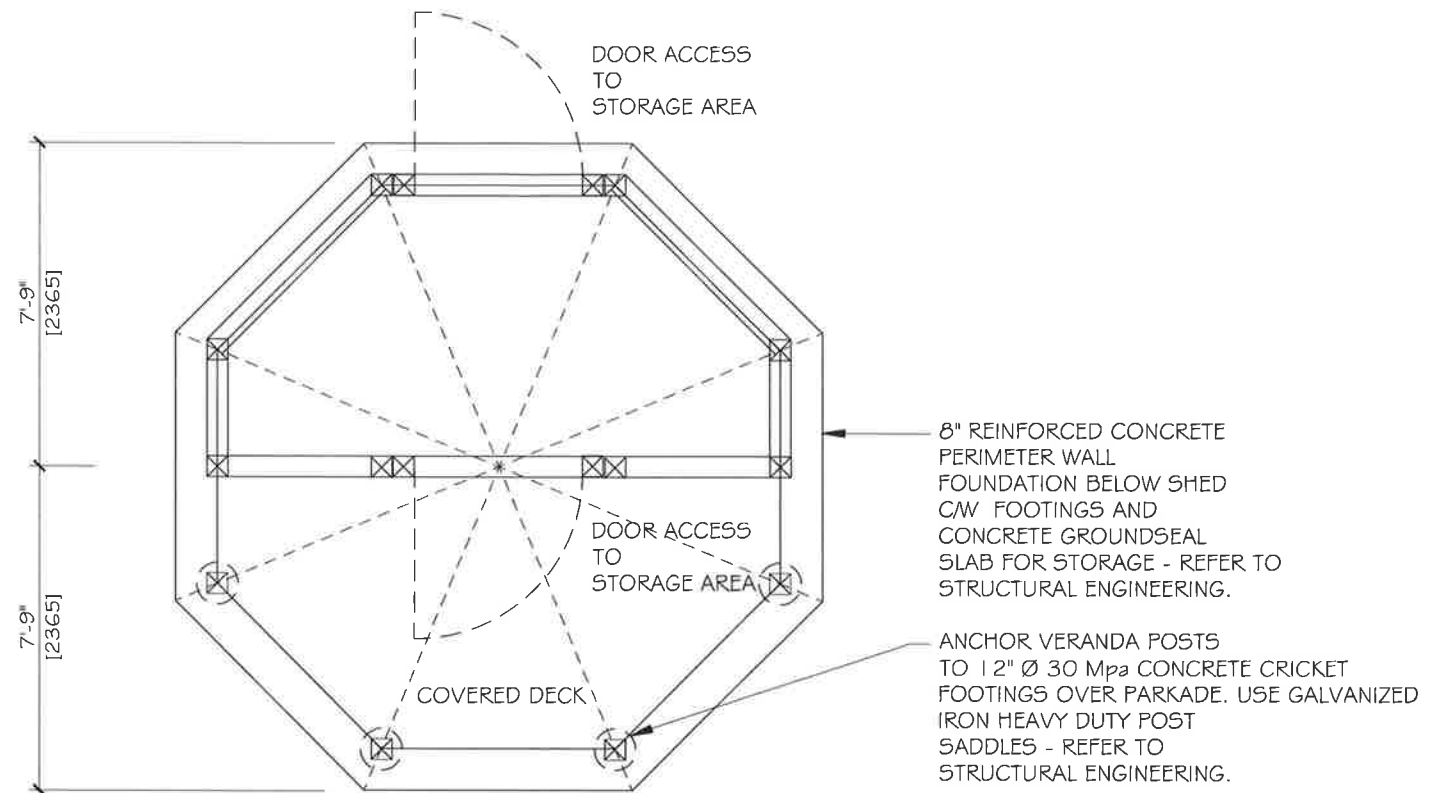
LANDSCAPE CONCEPT PLAN  
**L100**



**1** RETAINING WALL c/w K2 CULTURED STONE  
 L200 SCALE 1" = 1'-0"



**2** SPLIT RAIL FENCE  
 L200 SCALE 3/8" = 1'-0"



**3** STORAGE SHED  
 L200 SCALE 1/2" = 1'-0"

REV. DATE	NUMBER	DESCRIPTION
22-12-08	1	LANDSCAPE CONCEPT PLAN - ISSUED FOR DP

DATE	DECEMBER 8, 2022
SCALE	1:200
DRAWN BY	BF/RF