

VECTOR YACHT SERVICES NEW BUILDING ISSUED FOR DP

2242, 2244 HARBOUR ROAD, SIDNEY, BC

KILO
ARCHITECTURE

1412-450 SIMCOE ST VICTORIA BC
250 896 9678 info@kiloarchitecture.com

Vector Yacht Services Ltd. Proposed
New Services Building

2244 Harbour Rd.



1
A.101

BUILDING AND SITE DATA TABLE

Area	
LOT 3	1,446.91m ²
LOT 4	1,709.78m ²
Total Site Area:	3,156.69m²
Total Gross Floor Area:	
New Building:	904.01m ²
Existing Building:	159.17m ²
Total Gross Building Area:	1063.18m²
FSR (floor to site area ratio):	0.3368
Total Lot Coverage (Lot 3 & 4):	Building Areas: 743.22+159.17 = 902.39m ² / Site Areas: 3,156.7m ² = 29%
Setbacks:	Required Provided
Front: 1.0m	Front: 2.0m
Side: 0m	Side: 0.5m
Rear: 0m	Rear: N/A
Height:	9.5m (@ crest of road) max: 8.75m

Project Description (Brief)

DEVELOPMENT PERMIT APPLICATION for 2242 and 2244 Harbour Rd. The Proposed Pre-Engineered Building (80' x 100') with Architectural Office and Corporate Space Added to the "Front" or Public side of the Pre-Engineered Building. The Two properties (Lots 3 & 4) will be consolidated to allow for this building to be built over both of them as shown on the Site Plan.

The 7 required on-site Parking spaces will be provided on the East side of the Pre-Engineered building.

THIS PROJECT REQUIRES NO VARIANCES.

LIST OF CONSULTANTS

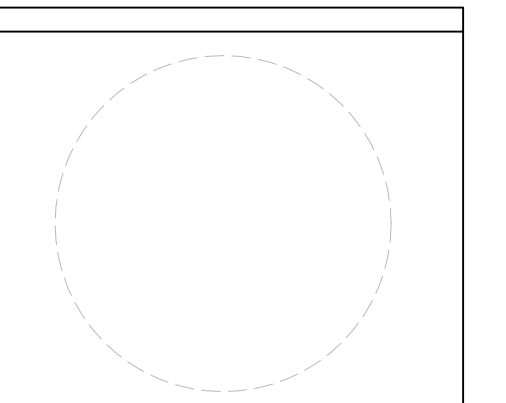
ARCHITECTURAL:

KILO Architecture Inc.
Keith Alexander Tetlow BA MArch Architect AIBC
1412-450 Simcoe St.
Victoria BC
V8V 1L4
keith@kiloarchitecture.com
(250) 896 9678

Drawing List:

- A.000 Cover Page
- A.001 Survey and Zoning
- A.101 Site and Landscape Plan
- A.210 Main Floor Plan
- A.211 Upper Floor Plan
- A.301 Building Sections
- A.350 Elevations
- A.351 Elevations
- A.352 Street Elevation and Shadow Study
- A.360 Perspectives

Project Title

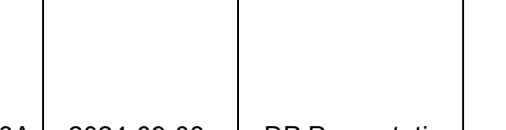
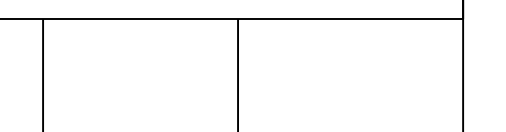


Architect



Consultant

KILO Architecture Inc.



REV.	DATE	DESCRIPTION
3A.	2024-09-03	DP Presentation

REV.	DATE	DESCRIPTION
3.	2024-06-14	DP Set
2.	2024-06-05	DP DRAFT
1.	2024-05-15	DP DRAFT

NO.	DATE	ISSUE NOTE

Project Manager	Drawn By
	KAT

Date	Reviewed By
2024-08-22	KAT

Project ID

Sheet Title

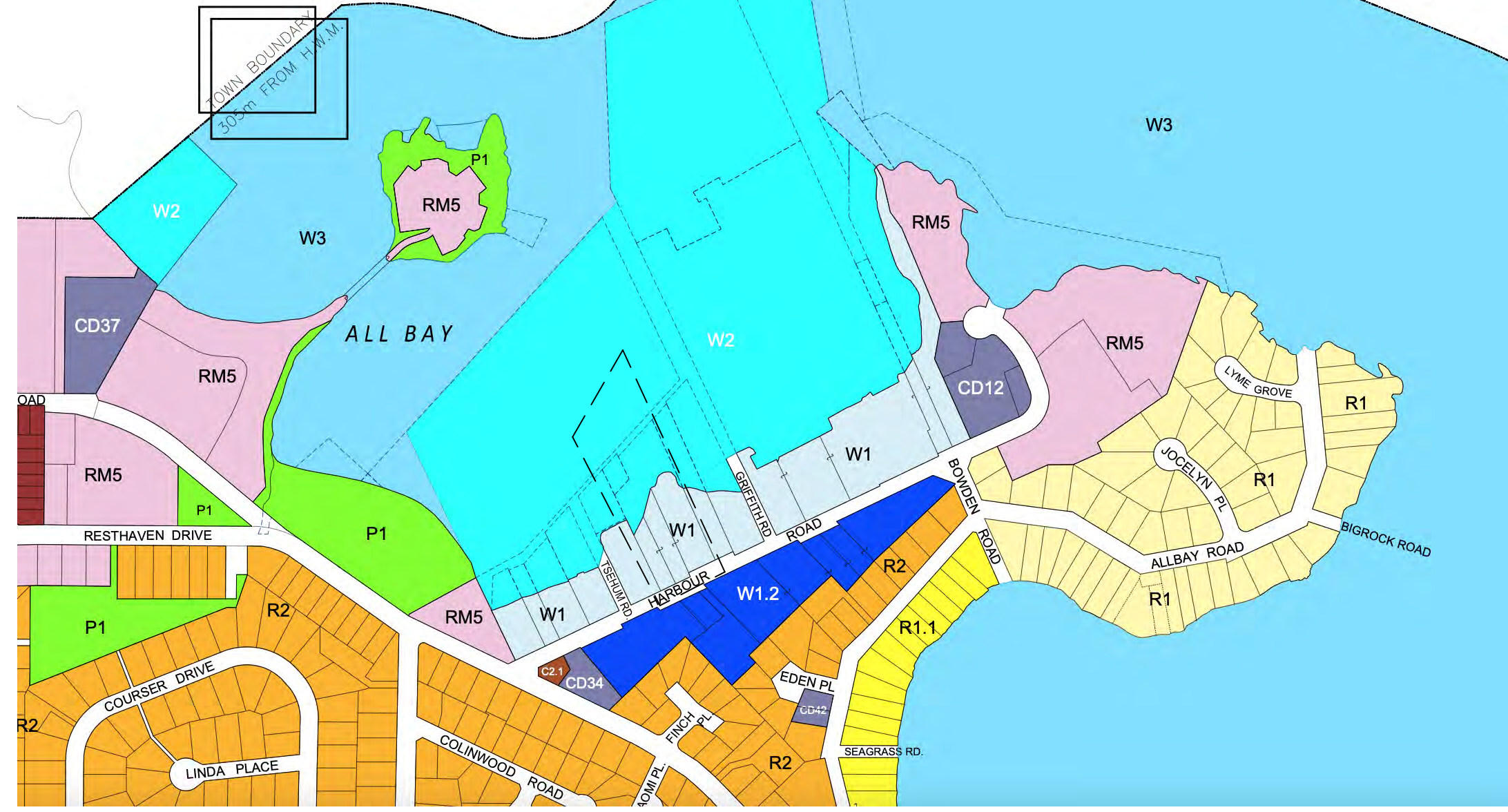
Cover Page

Sheet No.

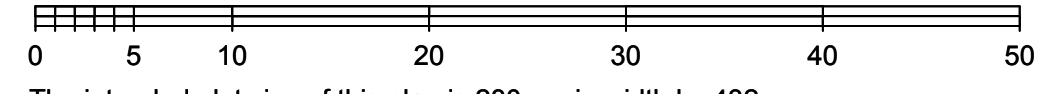
A.000

ZONING INFORMATION

TSEHUM HARBOUR (SHOAL)

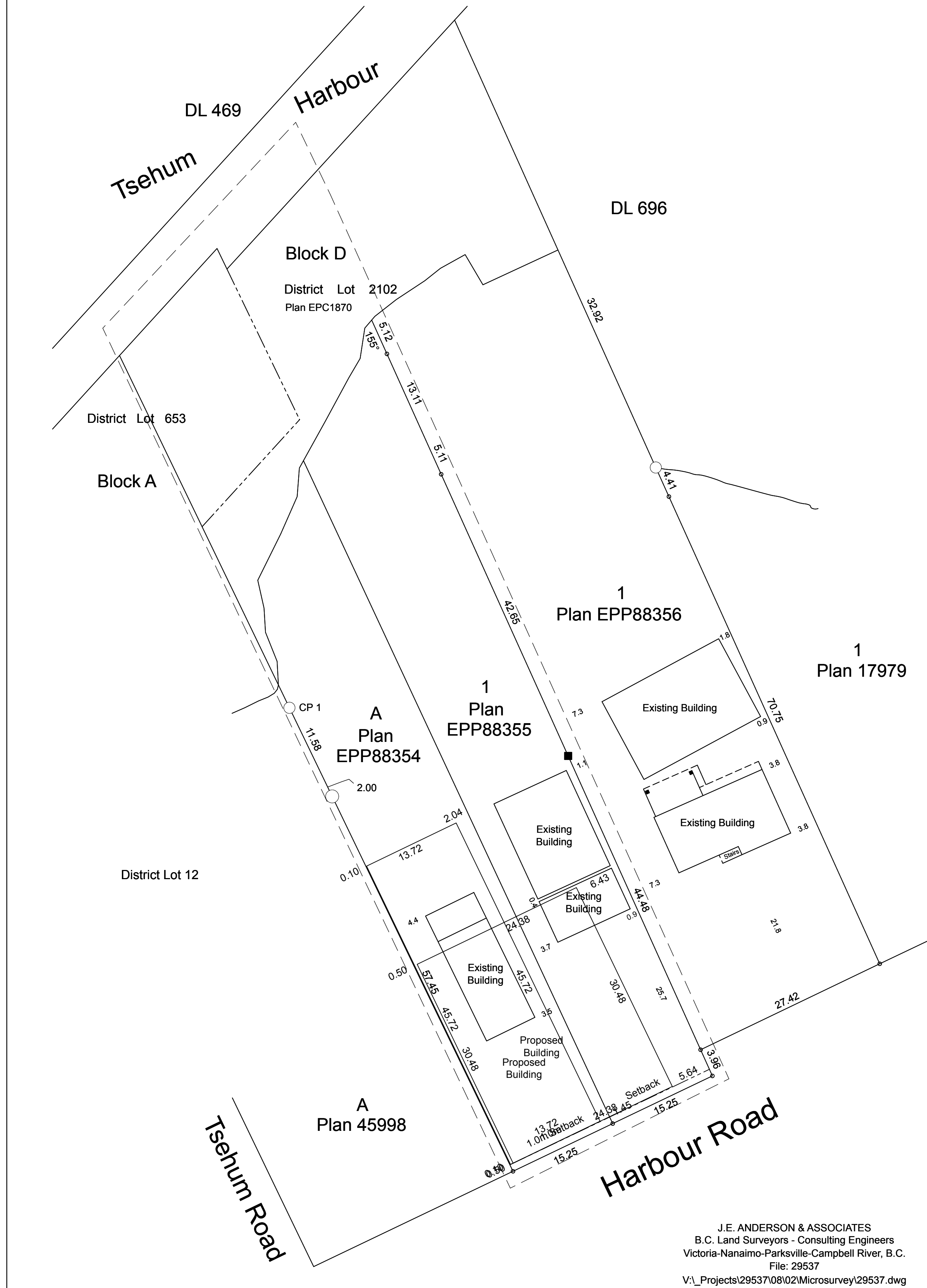
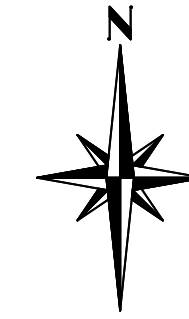


SKETCH PLAN OF LOT A, PLAN EPP88354 AND LOT 1 PLAN EPP88355 ALL OF DISTRICT LOT 2102, COWICHAN DISTRICT AND SECTION 15, RANGE 3 EAST, NORTH SAANICH DISTRICT



The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:500.

Option 2



4.6 Permitted and Conditional Uses: Marine Zones

4.6.1 Permitted and Conditional Uses Table: Marine Zones

Use	W1	W1.2	W2	W3
Accessory Use, Building or Structure	P	P	P	P
Artist Studio	P	P	C (4.6.16)	
Boat Launch	P		P	
Breakwater			P	P
Brew Pub	C (4.6.2) and (4.6.3)	C (4.6.2) and (4.6.3)		
Class 1 Restaurant	P	P	P	
Class 2 Restaurant	C (4.6.3)	C (4.6.3)	C (4.6.3)	
Customs Facility			P	
Townhouse Dwelling		C (4.6.4)		
Apartment Dwelling	C (4.6.4)	C (4.6.4)		
Education Facility	C (4.6.7)	C (4.6.7)	C (4.6.7)	
Fishing Pier				P
Home Occupation	C (4.6.5)	C (4.6.5)	C (4.6.5)	
Liveaboard			C (4.6.14)	
Manufacturing, Sale, Repair, or Maintenance of Boats or Marine Equipment	P	C (4.6.6)	C (4.6.6)	
Marina	P		P	
Marine Dry Storage	C (4.6.15)	C (4.6.15)		
Marine Fueling Station	P		P	
Marine Fuel Storage	C (4.6.11)			
Loading / Unloading of Marine Cargo	P			
Marine Rental or Charter Operation	C (4.6.8)	P	C (4.6.8)	
Office	C (4.6.10)	C (4.6.10)		
Outside Storage	C (4.6.10)	C (4.6.10)		
Personal Service Establishment	P			
Pub	C (4.6.3)	C (4.6.3)	C (4.6.3)	
Recreation Rental	P		P	
Retail Sales	C (4.6.12)	C (4.6.12)	C (4.6.12)	
Warehousing, Closed Storage or Distribution	C (4.6.9)	C (4.6.9)		

5.6 Buildings and Structures: Marine Zones

5.6.1 General Spatial Regulations Table: Marine Zones

Zone	Maximum Residential Density	Minimum Lot Area	Lot Coverage	Maximum Height	Maximum Storeys
W1	2 dwelling units per lot	1000sq	70%	9.5m above the crown of Harbour Road	3
W1.2	38 up to	800sq	70%	30.5m	
W2				See above the natural boundary	
W3					

5.6.2 Setback Regulations Table: Marine Zones

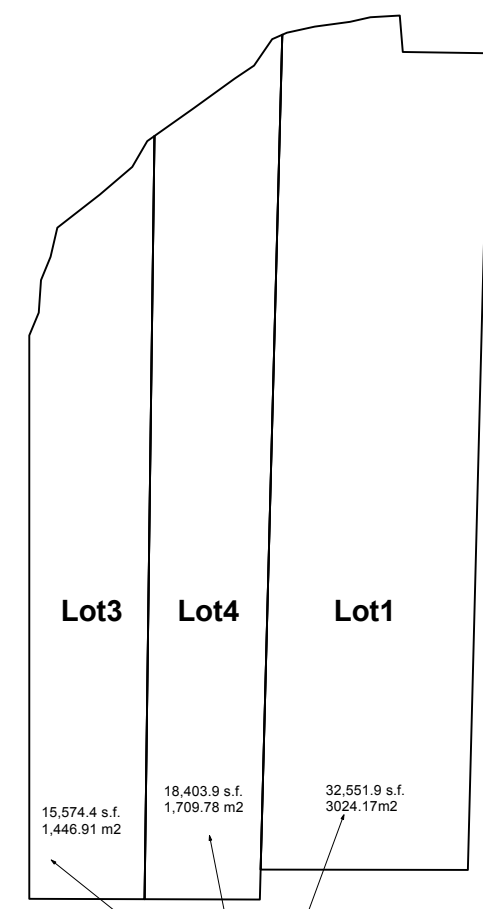
Zone	Minimum Front Setback	Minimum Rear Setback	Minimum Side Interior Setback	Minimum Side Exterior Setback
W1	1m		See note 2	2m
W1.2	1m	5.5m	See note 2	4.5m
W2				
W3				

Notes:
 1. Refer to Section 5.6.2.8 for water lot setbacks.
 2. Refer to Section 5.6.2.1 for minimum side interior setbacks on land abutting OCP designated residential areas.

5.1.6 Permitted Projections into Setback

- a. The following building elements, or portions thereof may project into the required setbacks provided the projections do not exceed 0.6 metres:
 - i. gutters;
 - ii. eaves;
 - iii. chimneys;
 - iv. unenclosed porches, notwithstanding Sections 5.2.6.6.i, 5.3.6.1.k and 5.3.8.2.b.i; and
 - v. unenclosed and uncovered stairs and landings.
- b. Exterior cladding may project into the required setback, provided the projections do not exceed 0.15 metres.
- c. Bay windows may project into the required setback, provided that any portion of any bay window projecting into the setback does not exceed 1.1 square metres.
- d. Awnings and canopies may project only into the required front and exterior-side setback provided the projection does not exceed 1 metre.
- e. Pergolas are permitted in the front, exterior-side and rear yard setbacks, provided that a minimum setback of 1.5 metres from any lot line is maintained.
- f. Lighting standards, flag poles and utility poles are exempt from setbacks.
- g. Signs may project into the required setback provided that they meet the provisions of the Town of Sidney Sign Bylaw.

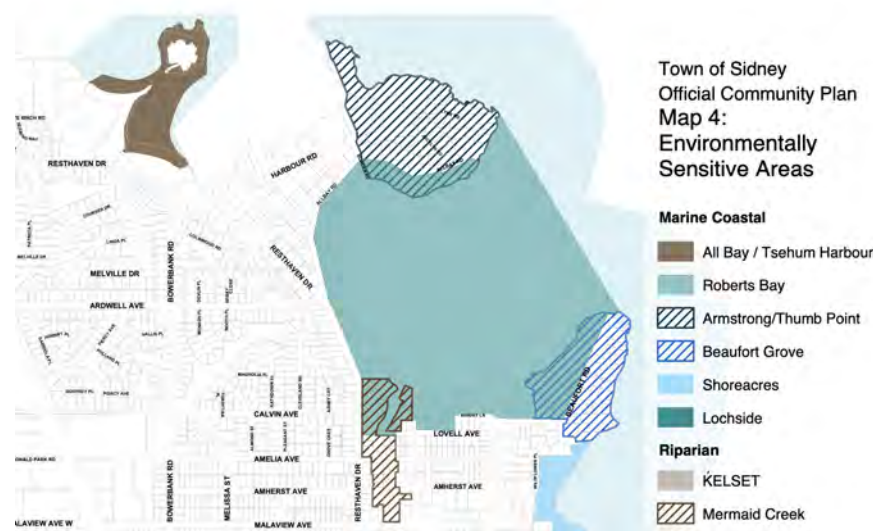
NB Proposed Height of Pre-Eng building is: 8.75m Above Ground Floor. Ground Floor is on Grade with sidewalk at the highest, and Sidewalk is 0.150m above Centre of Road. The building is therefore MAX 8.90m High as measured from crown of Harbour Road. Allowable Height is 9.5m



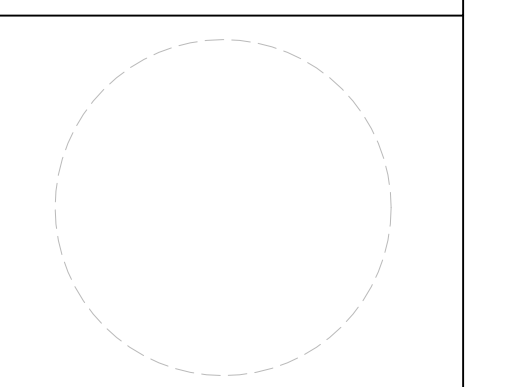
LOT AREAS
 NB Lots 3&4 to be consolidated



SOURCE: CRD GIS MAP



Project File



Architect
 Consultant
 KILO Architecture Inc.

3A.	2024-09-03	DP Presentation
REV	DATE	DESCRIPTION

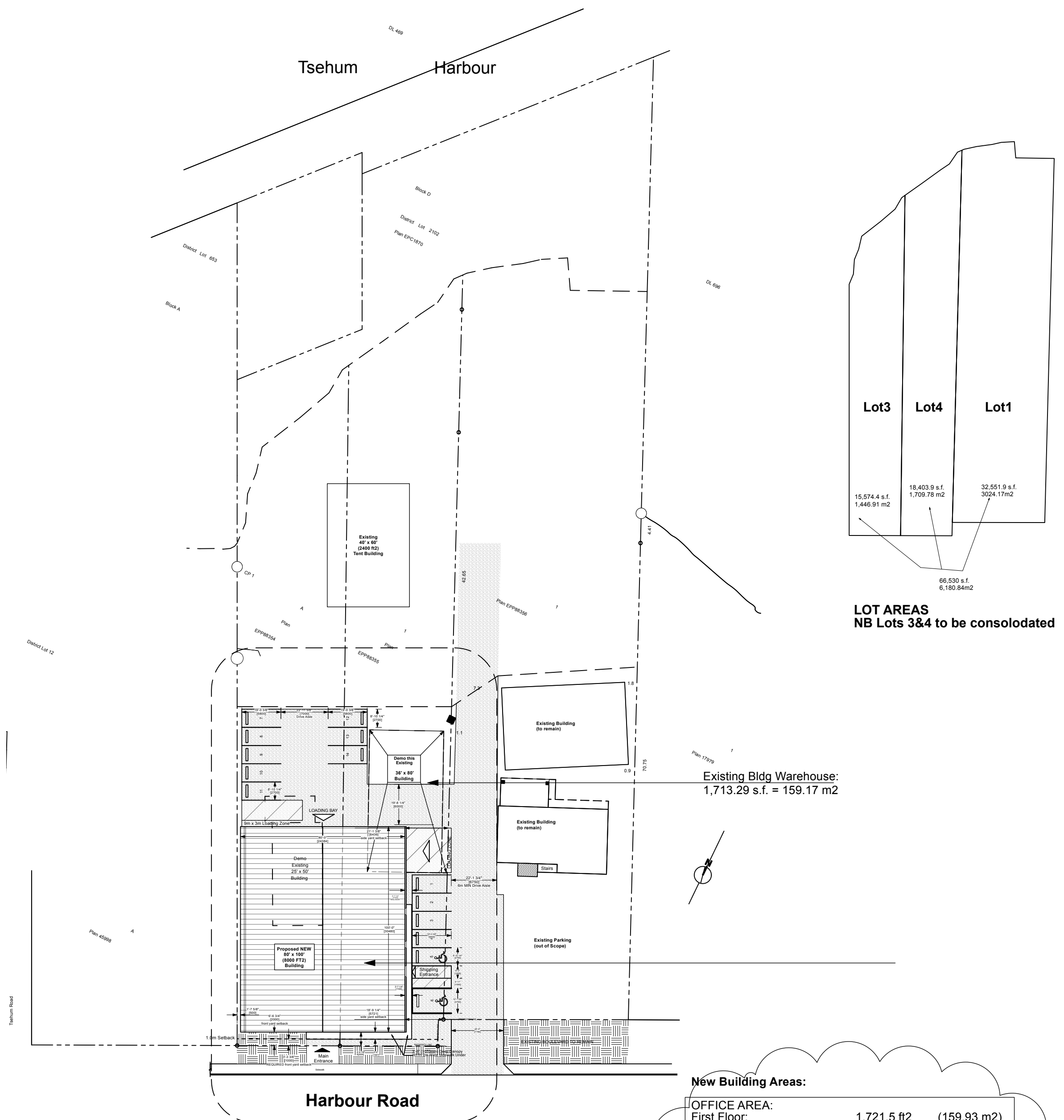
3.	2024-06-14	DP Set
2.	2024-06-05	DP DRAFT
1.	2024-05-15	DP DRAFT
NO.	DATE	ISSUE NOTE

Project Manager
 Date
 Project ID

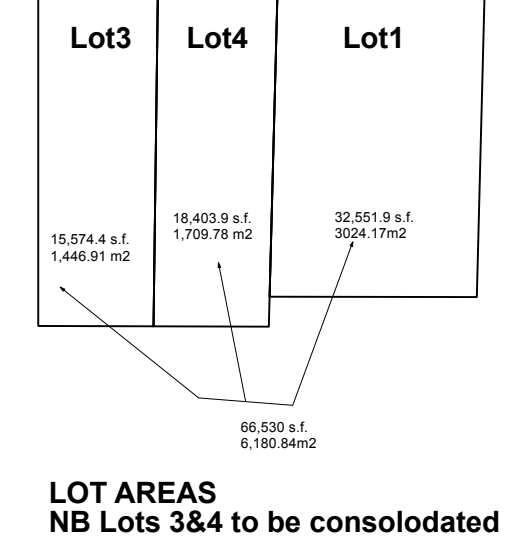
Drawn By
 Reviewed By

Survey & Zoning
 File: 29537
 V:_Projects\29537\08\02\Microsurvey\29537.dwg

Sheet No.



1 Site and Roof Plan
Scale: 1:500



LOT AREAS
NB Lots 3&4 to be consolidated

New Building Areas:

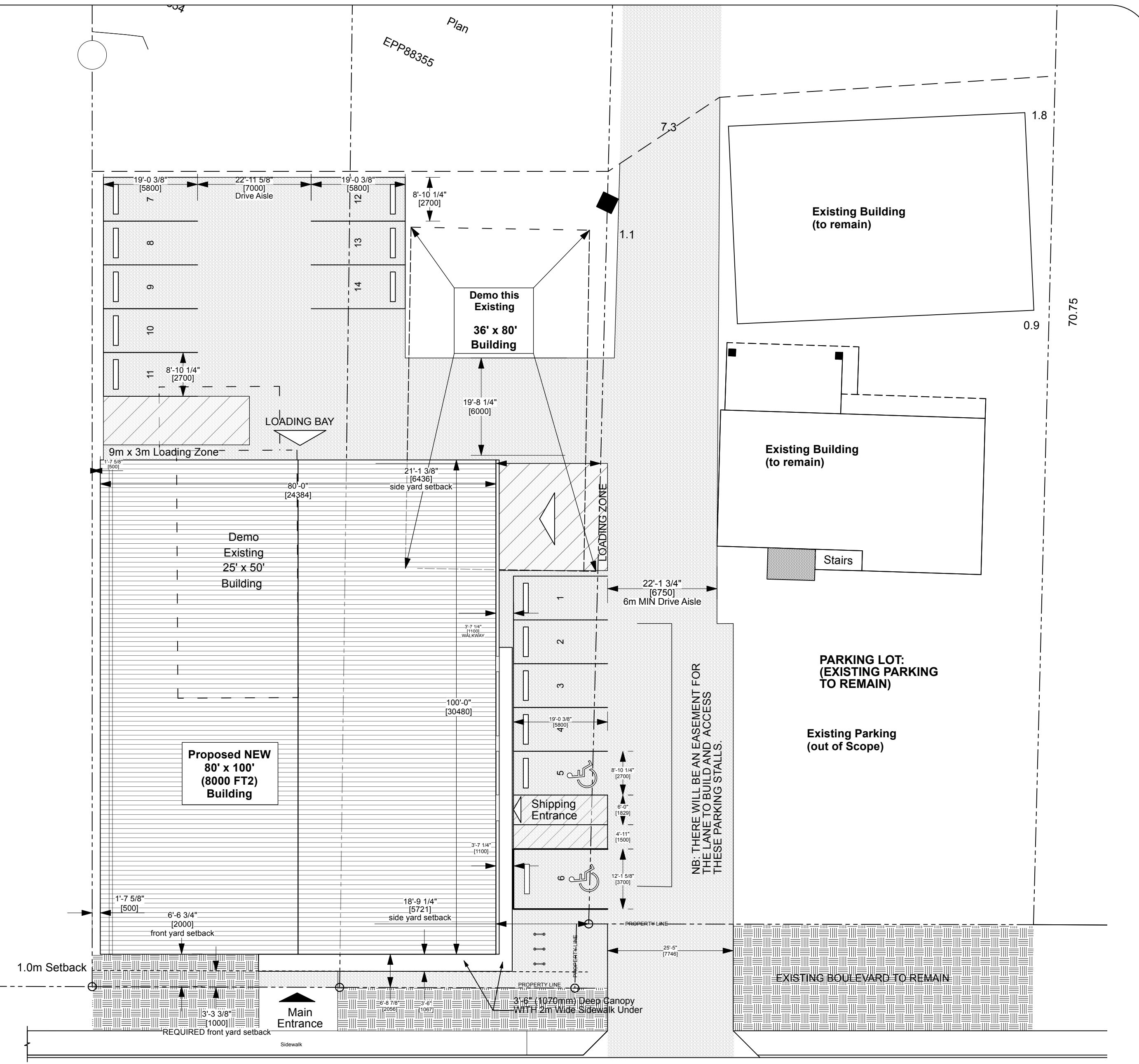
OFFICE AREA:		
First Floor:	1,721.5 ft ²	(159.93 m ²)
Second Floor:	2,044.8 ft ²	(189.97 m ²)
Total Office Area:	3,766.3 ft²	(349.90 m²)
REPAIR AREA:		
First Floor:	4,937.7 ft ²	(458.73 m ²)
Parts:	834.7 ft ²	(77.55 m ²)
Second Floor:	192.0 ft ²	(17.86 m ²)
Total Repair Area:	5,964.4 ft²	(554.11 m²)
Total Gross Floor Area:	9730.7 ft²	(904.01 m²)
Building Area (Code Def):	8,000.0 ft²	(743.22 m²)

BUILDING AND SITE DATA TABLE

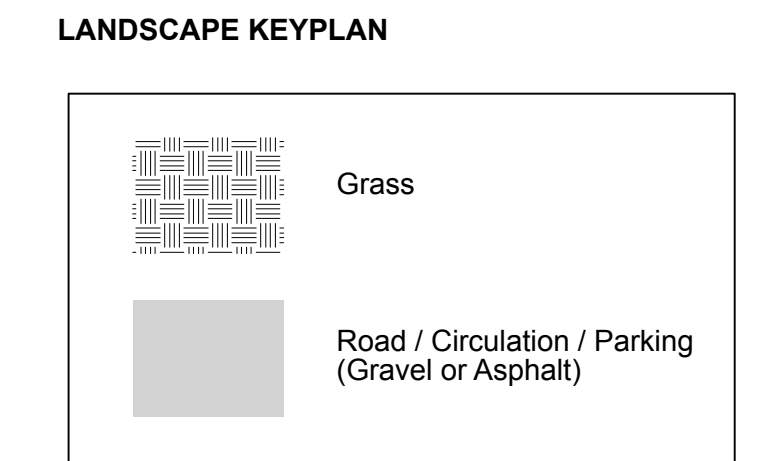
Area	
LOT 3	1,446.91m ²
LOT 4	1,709.78m ²
Total Site Area:	3,156.69m²
Total Gross Floor Area:	New Building: 904.01m²
	Existing Building: 159.17m²
	Total Gross Building Area: 1063.18m²
FSR (floor to site area ratio):	0.3368
Total Lot Coverage (Lot 3 & 4):	Building Areas: 743.22+159.17 = 902.39m²
	Site Areas: 3,156.7m² = 29%
Required	Provided
Setbacks:	Front: 1.0m Front: 2.0m
	Side: 0m Side: 0.5m
	Rear: 0m Rear: N/A
Height:	9.5m @ crest of road max: 8.75m

PARKING CALCULATION - (Lots 3 & 4)

Existing Building	New Building
Area and Parking Calc: Office:	Area and Parking Calc: Office:
Upper: 2,044.8 ft ² (189.97 m ²)	Upper: 2,044.8 ft ² (189.97 m ²)
Lower: 1,721.5 ft ² (159.93 m ²)	Lower: 1,721.5 ft ² (159.93 m ²)
Total Gross Area Office: 349.9m ²	Total Gross Area Office: 349.9m ²
80% factor: 279.9 m ²	80% factor: 279.9 m ²
Office Parking: 40m ² /person	Office Parking: 40m ² /person
Stalls for Office: 6.99 stalls	Stalls for Office: 6.99 stalls
Area and Parking Calc: Boat Repair:	Area and Parking Calc: Boat Repair:
Lower: 2,400 ft ² (222.97 m ²)	Lower: 4,937.7 ft ² (458.73 m ²) + 834.7 ft ² (77.55 m ²)
Total Gross Area Existing Repair: 222.97m ²	Total Gross Area Existing Repair: 222.97m ²
80% factor: 178.376	80% factor: 178.376
Office: 80m ² /person	Office: 80m ² /person
Stalls for Repair (Existing): 1.98 stalls	Stalls for Repair (Existing): 1.98 stalls
Total Parking:	Total Parking:
Stalls for Repair (Existing): 1.98 => 2 stalls	Stalls for Repair (Existing): 1.98 => 2 stalls
Stalls for Repair (New): 4.7 stalls => 5 stalls	Stalls for Repair (New): 4.7 stalls => 5 stalls
Stalls for Office: 6.99 stalls => 7 stalls	Stalls for Office: 6.99 stalls => 7 stalls
Total Required Stalls: 14	Total Required Stalls: 14



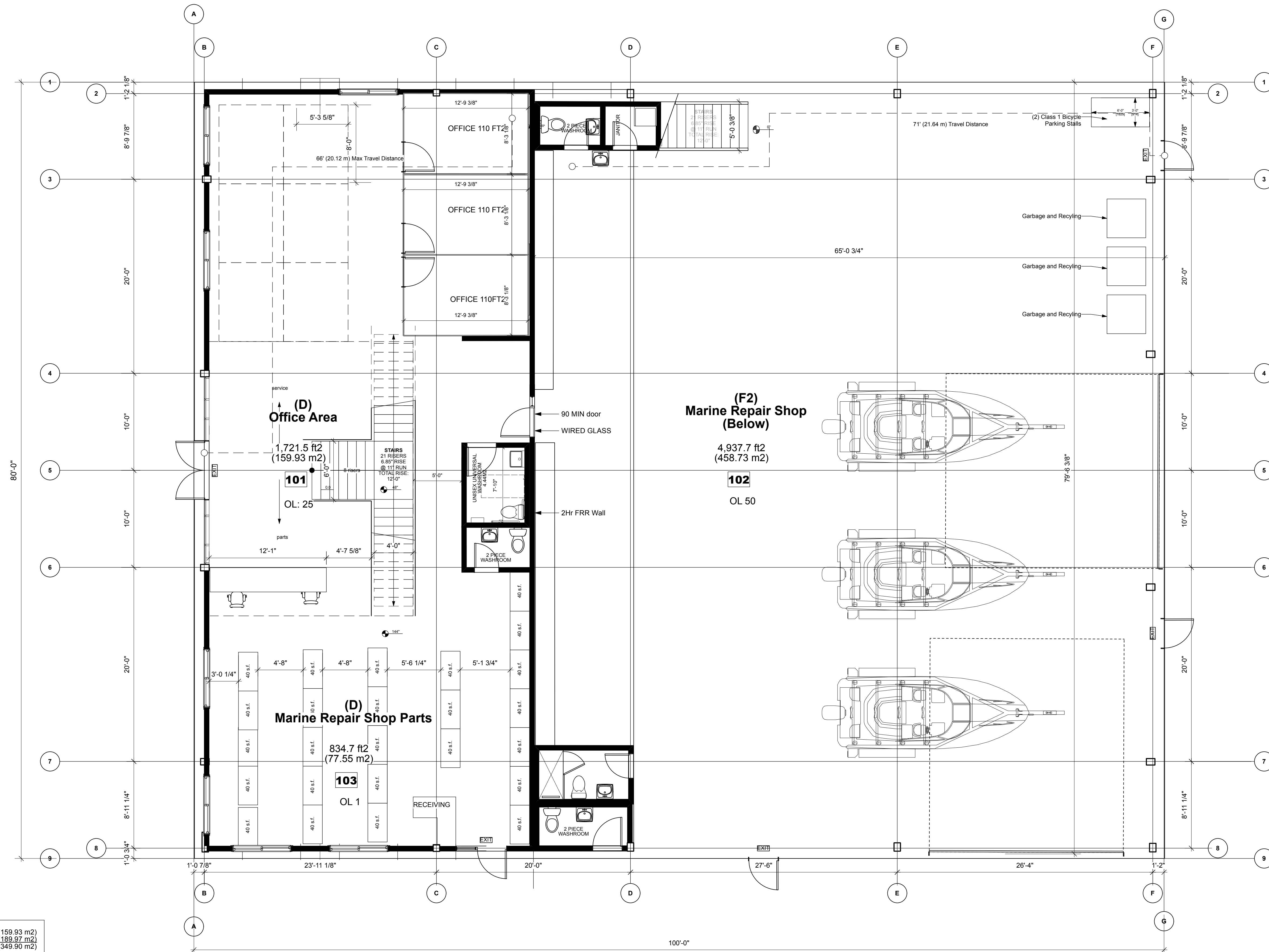
2 Site, Roof, Parking, Landscape Plan
Scale: 1/16" = 1'-0"



Project Title		
Architect		
Consultant		
KILO Architecture Inc.		
3A.	2024-09-03	DP Presentation
REV	DATE	DESCRIPTION
3.	2024-06-14	DP Set
2.	2024-06-05	DP DRAFT
1.	2024-05-15	DP DRAFT
NO.	DATE	ISSUE NOTE
Project Manager	Drawn By	KAT
Date	Reviewed By	KAT
2024-08-22		
Project ID		
Sheet Title	Site and Landscape Plan	
Sheet No.	A.101	

**Vector Yacht Services Ltd. Proposed
New Services Building**

2244 Harbour Rd.



New Building Areas:

OFFICE AREA:		
First Floor:	1,721.5 ft ²	(159.93 m ²)
Second Floor:	2,044.8 ft ²	(189.97 m ²)
Total Office Area:	3,766.3 ft²	(349.90 m²)
REPAIR AREA:		
First Floor:	4,937.7 ft ²	(458.73 m ²)
Parts:	834.7 ft ²	(77.55 m ²)
Second Floor:	192.0 ft ²	(17.86 m ²)
Total Repair Area:	5,964.4 ft²	(554.11 m²)
Total Gross Floor Area:	9,730.7 ft²	(904.01 m²)
Building Area (Code Def):	8,000.0 ft²	(743.22 m²)

Project Title

Architect

Consultant

KILO Architecture Inc.

3A. 2024-09-03 DP Presentation

REV. DATE DESCRIPTION

3. 2024-06-14 DP Set

2. 2024-06-05 DP DRAFT

1. 2024-05-15 DP DRAFT

NO. DATE ISSUE NOTE

Project Manager Drawn By KAT

Date 2024-08-22 Reviewed By KAT

Project ID

Sheet Title

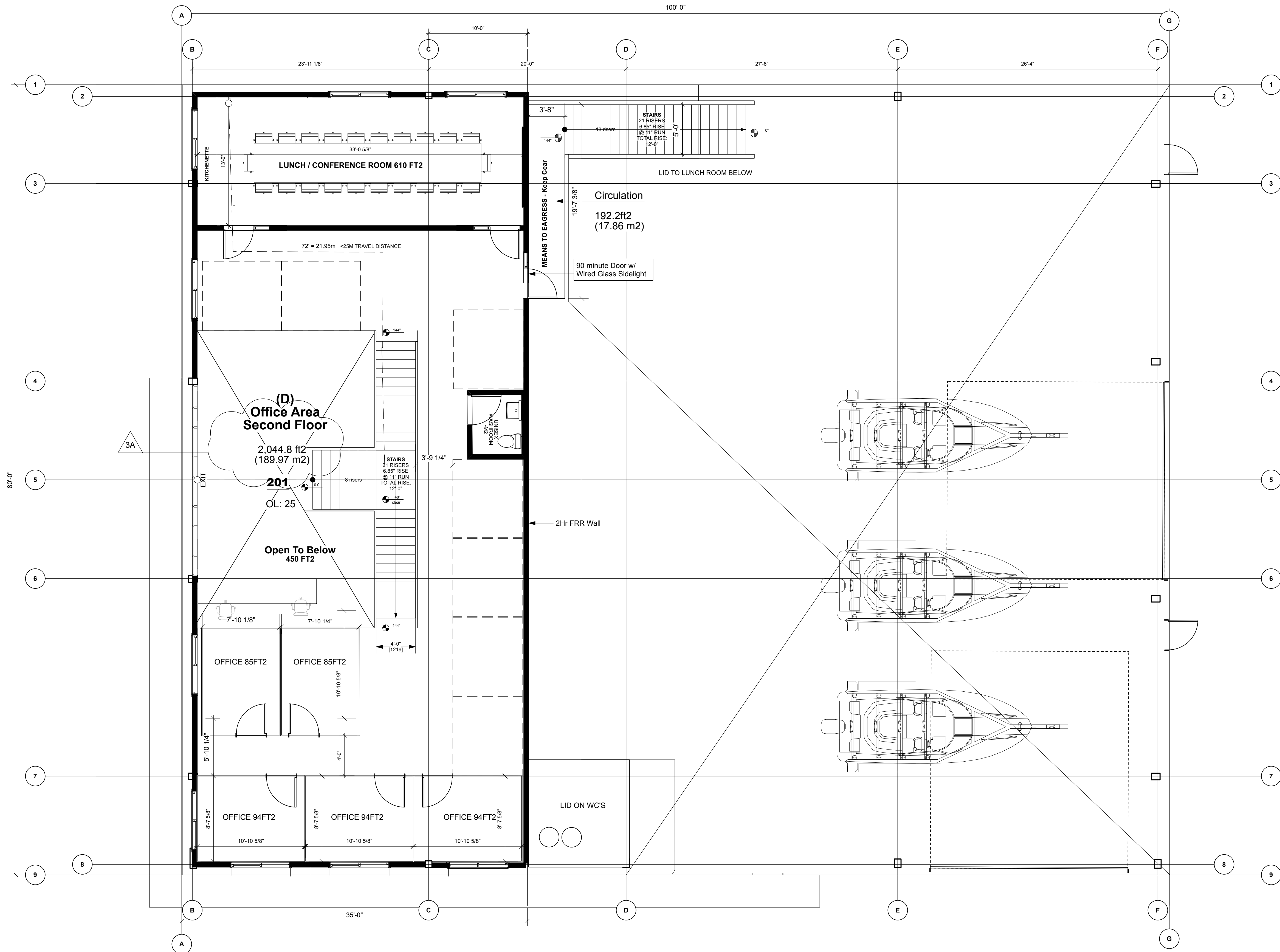
Main Floor Plan

Sheet No.

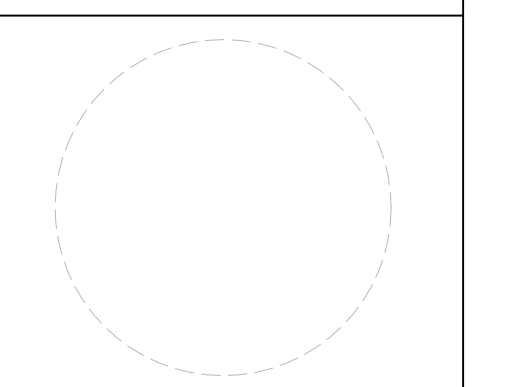
A.210

**Vector Yacht Services Ltd. Proposed
New Services Building**

2244 Harbour Rd.



Project File



Architect

Consultant
KILO Architecture Inc.

3A.	2024-09-03	DP Presentation
-----	------------	-----------------

REV.	DATE	DESCRIPTION
------	------	-------------

3.	2024-06-14	DP Set
2.	2024-06-05	DP DRAFT
1.	2024-05-15	DP DRAFT

NO.	DATE	ISSUE NOTE

Project Manager	Drawn By	KAT
Date	Reviewed By	KAT
Project ID		

Sheet Title

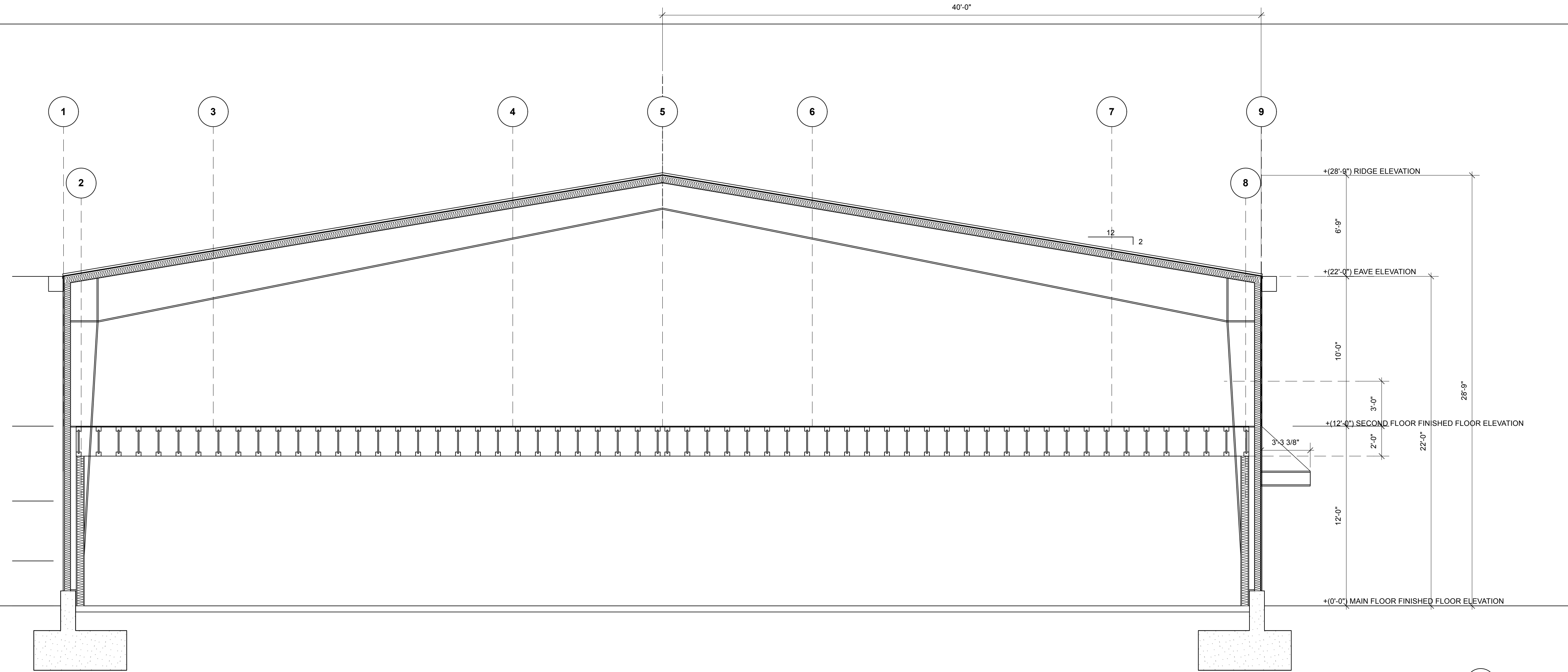
Upper Floor Plan

Sheet No.

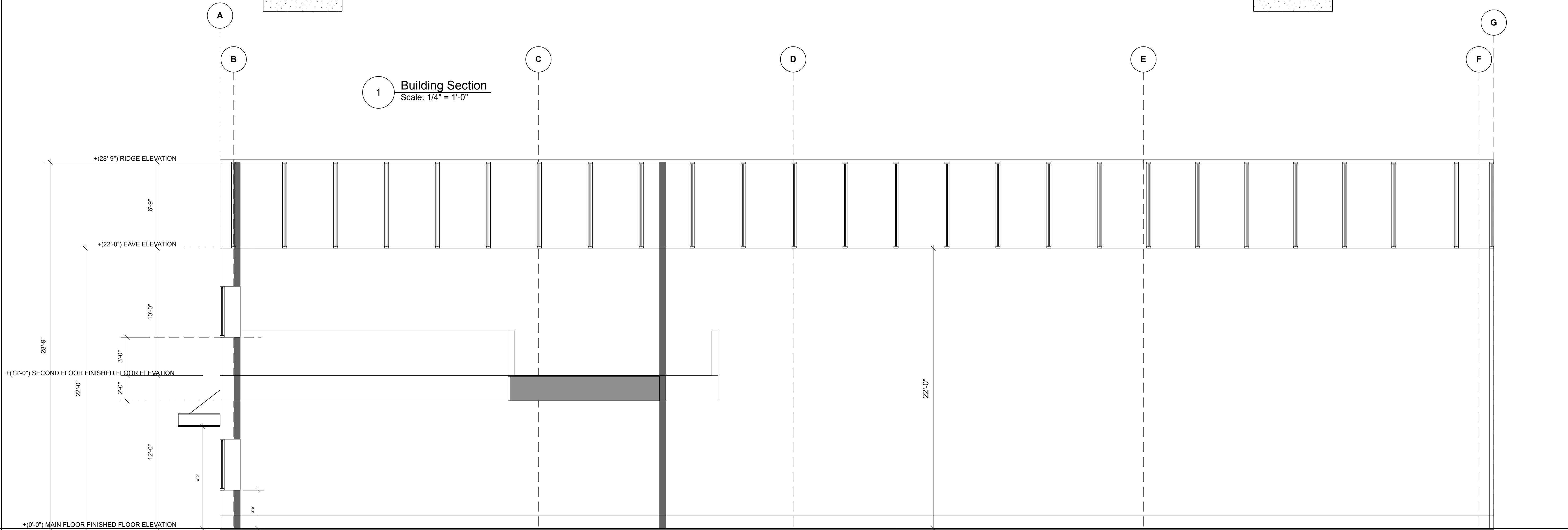
A.211

**Vector Yacht Services Ltd. Proposed
New Services Building**

2244 Harbour Rd.

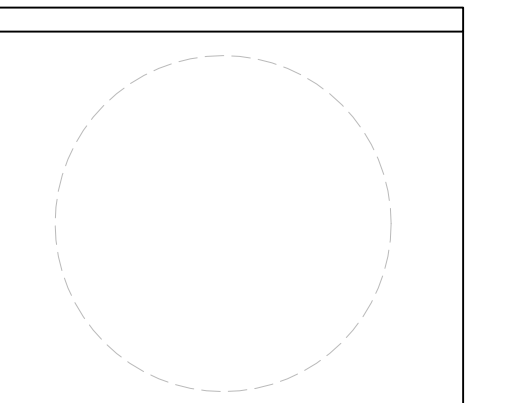


1 Building Section
Scale: 1/4" = 1'-0"



2 Building Section
Scale: 1/4" = 1'-0"

Project File



Architect

Consultant

KILO Architecture Inc.

3A. 2024-09-03 DP Presentation

REV.	DATE	DESCRIPTION
3.	2024-06-14	DP Set
2.	2024-06-05	DP DRAFT
1.	2024-05-15	DP DRAFT

NO.	DATE	ISSUE NOTE
3.	2024-06-14	DP Set
2.	2024-06-05	DP DRAFT
1.	2024-05-15	DP DRAFT

Project Manager Drawn By KAT

Date 2024-08-22 Reviewed By KAT

Project ID

Sheet Title

Building Sections

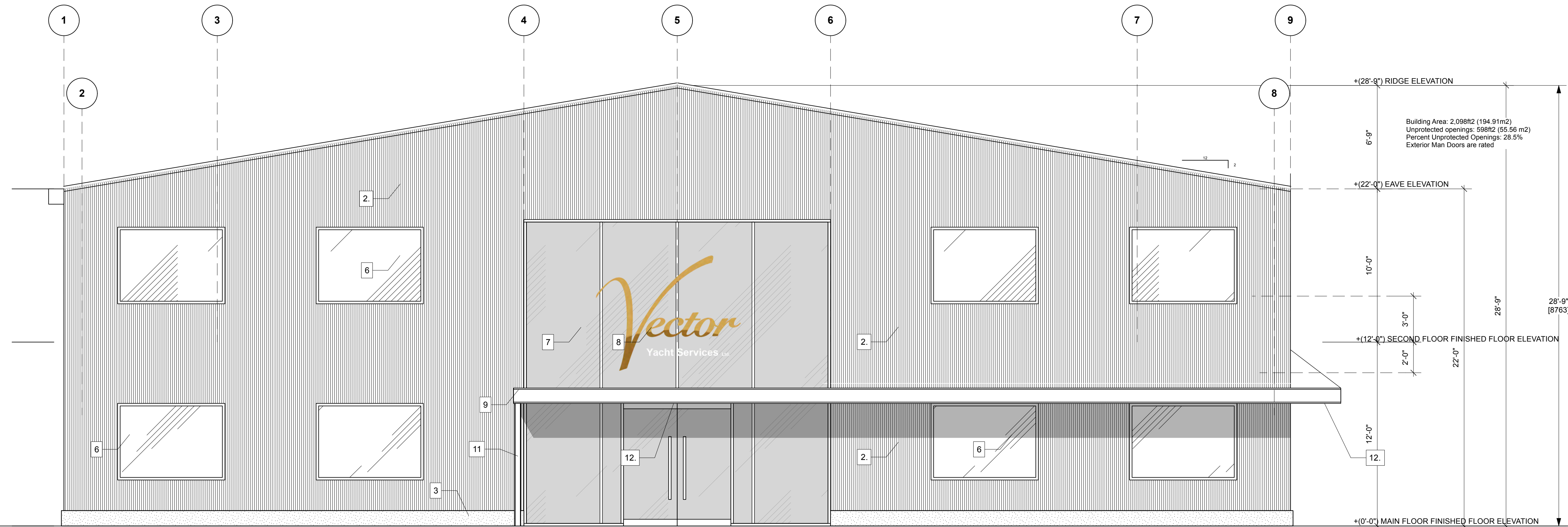
Sheet No.

A.301

**Vector Yacht Services Ltd. Proposed
New Services Building**

2244 Harbour Rd.

- ELEVATION KEYNOTES**
1. STANDING SEAM ROOFING
 2. METAL SIDING - MARINE BLUE IN COLOUR
 3. CONCRETE
 4. LANDSCAPING
 5. TEAK ACCENT
 6. WINDOWS
 7. STOREFRONT
 8. SIGNAGE
 9. STEEL CANOPY W/ TEAK SOFFIT
 10. BUSINESS SIGNAGE
 11. DOWNSPOUT (CHAIN)
 12. EXTERIOR LIGHTING
 13. FLAG

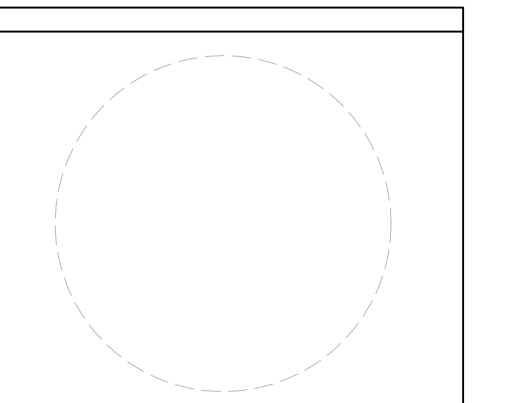


1 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



6 EAST ELEVATION
Scale: 1/4" = 1'-0"

Project File



Architect

Consultant
KILO Architecture Inc.

3A. 2024-09-03 DP Presentation

REV	DATE	DESCRIPTION
3.	2024-06-14	DP Set
2.	2024-06-05	DP DRAFT
1.	2024-05-15	DP DRAFT

NO.	DATE	ISSUE NOTE

Project Manager
Date: 2024-08-22
Project ID

Drawn By: KAT
Reviewed By: KAT

Sheet Title

Elevations

Sheet No.

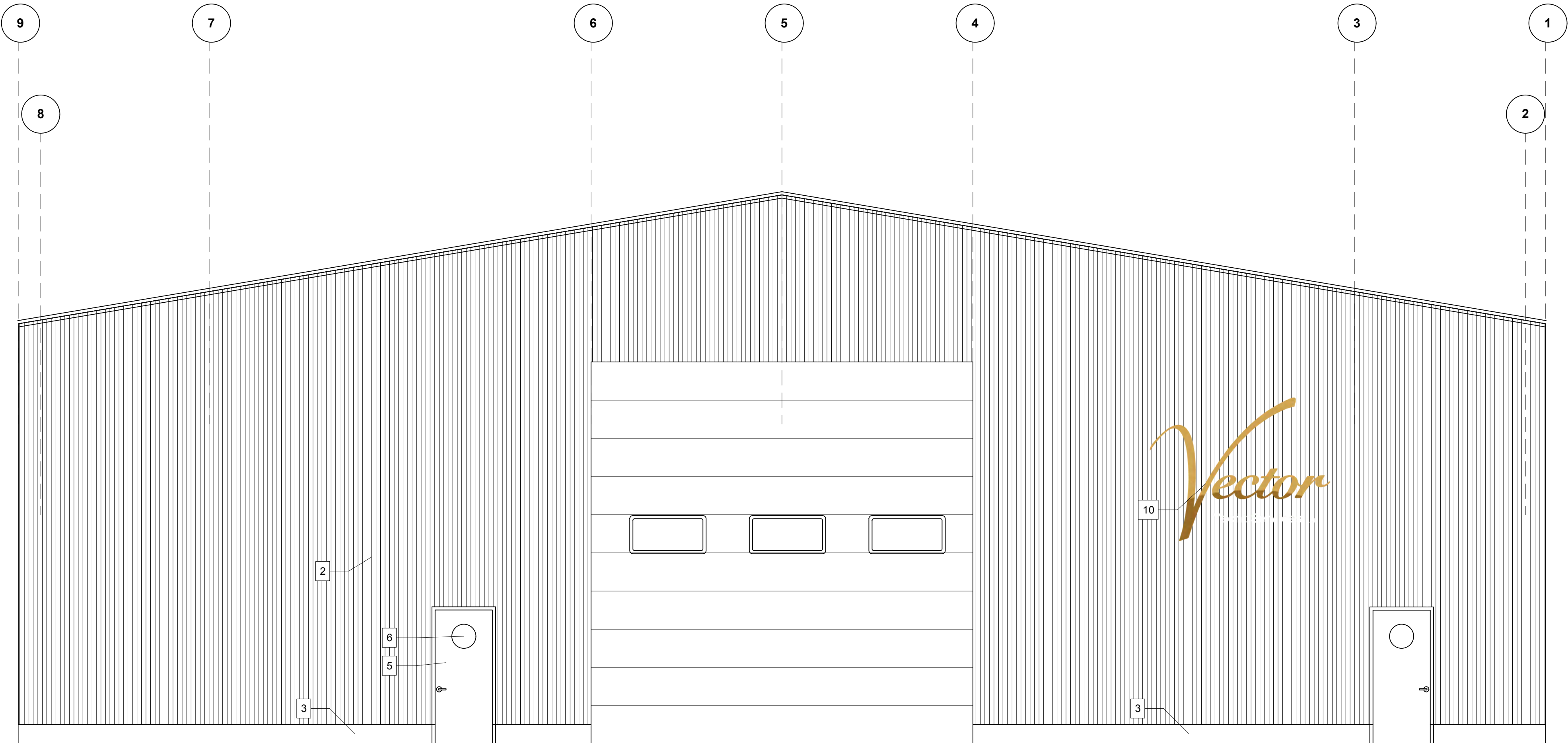
A.350

**Vector Yacht Services Ltd. Proposed
New Services Building**

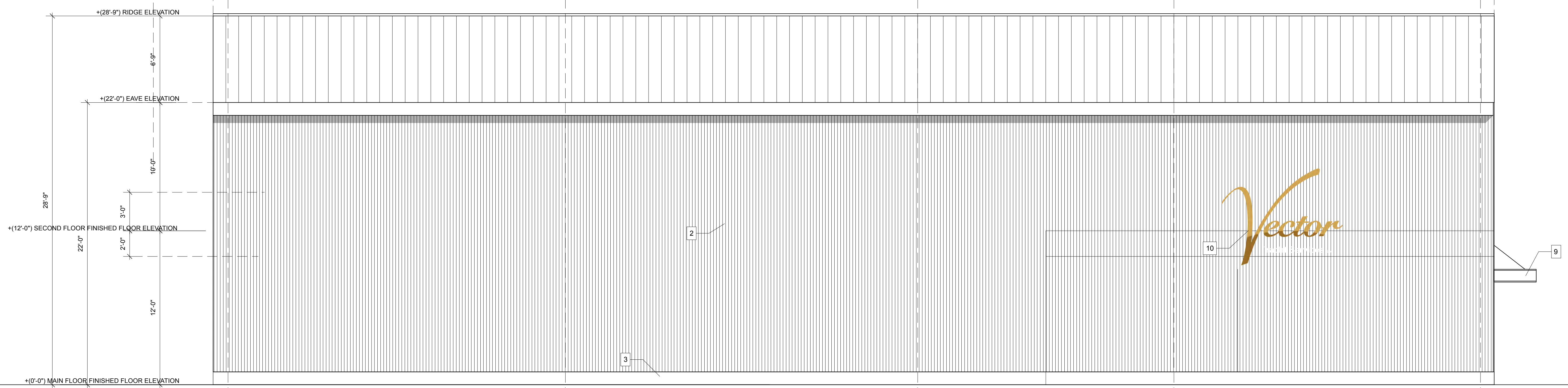
2244 Harbour Rd.

Building Area: 1630f2 (151.43m2)
Unprotected openings: 400f2 (41.06m2)
Percent Unprotected Openings: 24.5%

- ELEVATION KEYNOTES**
1. STANDING SEAM ROOFING
 2. METAL SIDING - MARINE BLUE IN COLOUR
 3. CONCRETE
 4. LANDSCAPING
 5. TEAK ACCENT
 6. WINDOWS
 7. STOREFRONT
 8. SIGNAGE
 9. STEEL CANOPY W/ TEAK SOFFIT
 10. BUSINESS SIGNAGE
 11. DOWNSPOUT (CHAIN)
 12. EXTERIOR LIGHTING
 13. FLAG

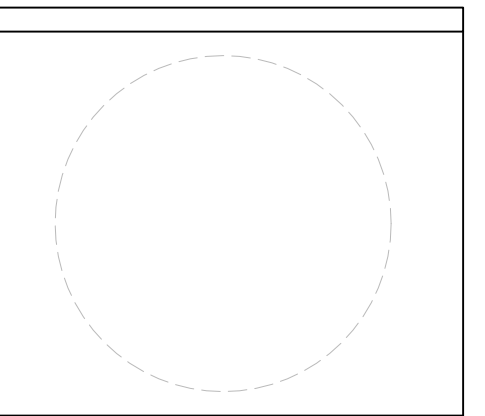


1 NORTH ELEVATION
Scale: 1/4" = 1'-0"



5 WEST ELEVATION
Scale: 1/4" = 1'-0"

Project File



Architect
Consultant
KILO Architecture Inc.

REV.	DATE	DESCRIPTION
3A.	2024-09-03	DP Presentation

NO.	DATE	ISSUE NOTE
3.	2024-06-14	DP Set
2.	2024-06-05	DP DRAFT
1.	2024-05-15	DP DRAFT

Project Manager	Drawn By
Date	Reviewed By
Project ID	

Sheet Title
Elevations

Sheet No.
A.351

**Vector Yacht Services Ltd. Proposed
New Services Building**

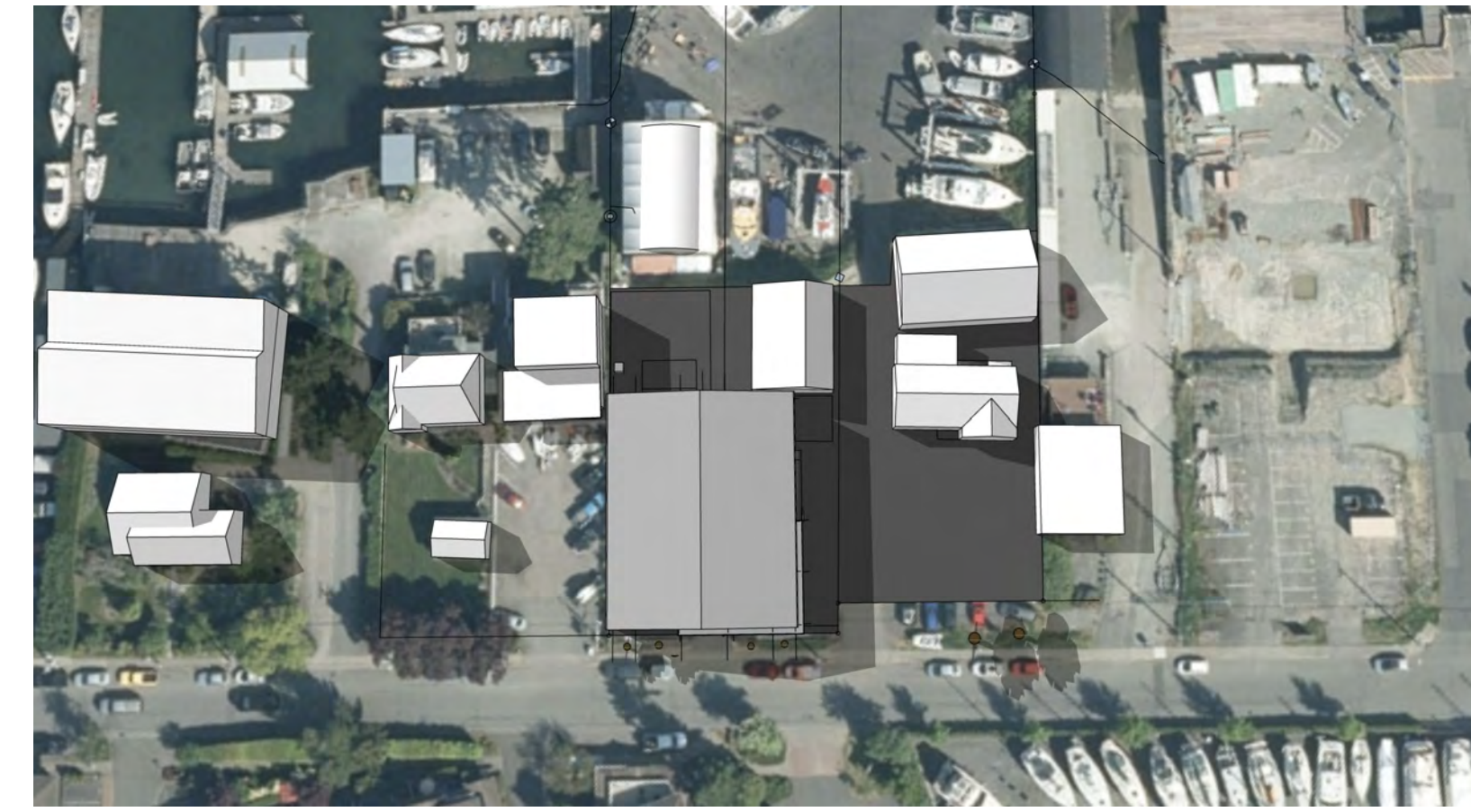
2244 Harbour Rd.



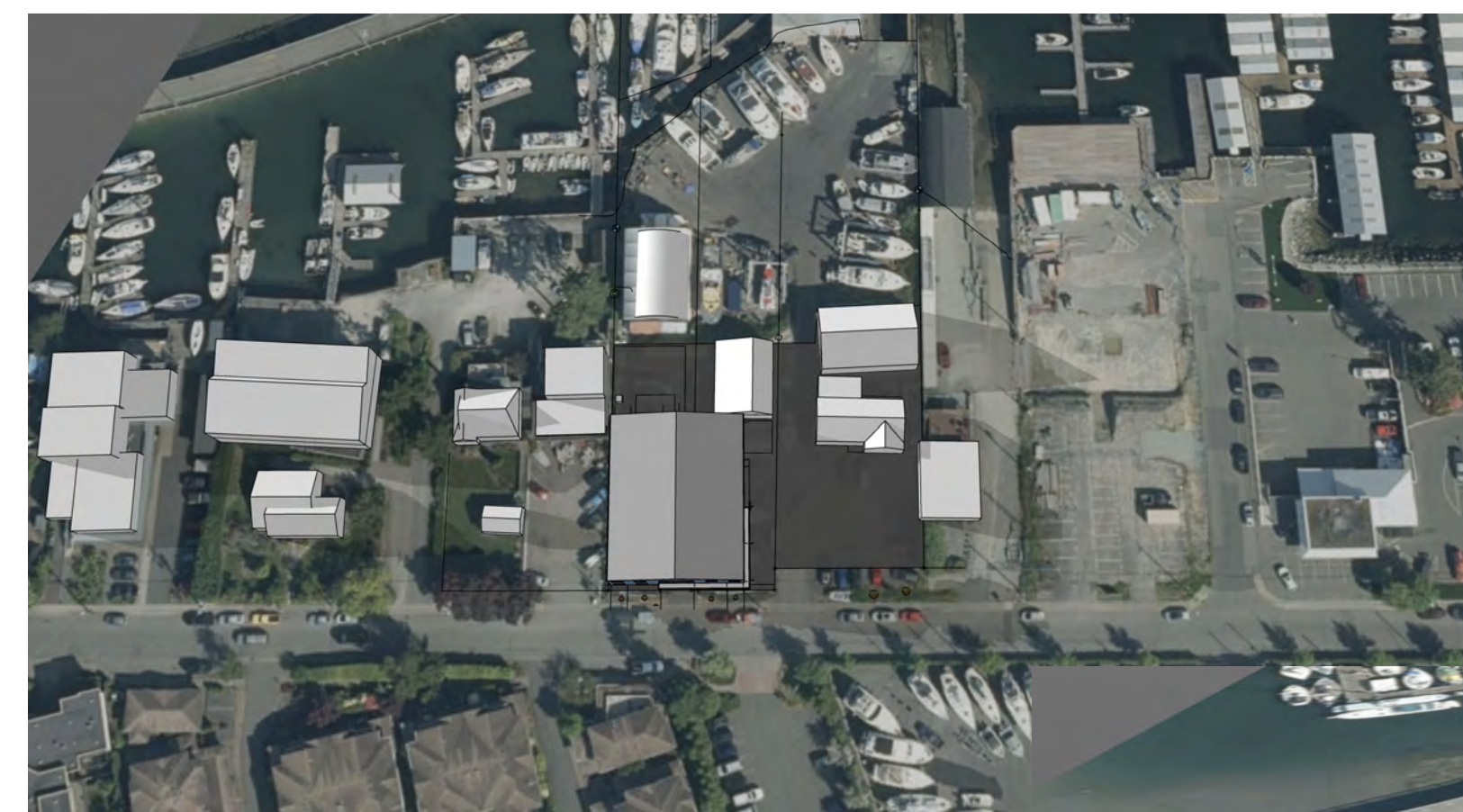
9AM SUMMER SOLSTICE



9AM EQUINOX



5PM SUMMER SOLSTICE



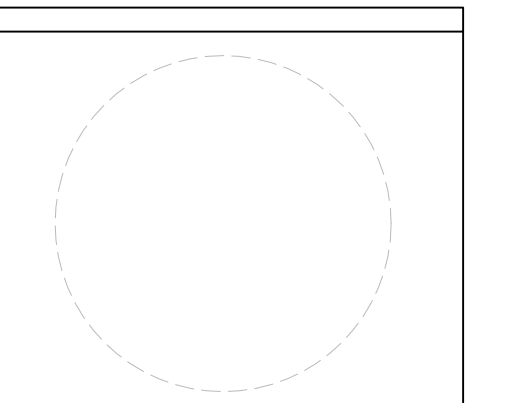
5PM EQUINOX

2 **Shadow Study**
Scale:

3 **Context**
Scale:



Project File



Architect

Consultant
KILO Architecture Inc.

3A. 2024-09-03 DP Presentation

REV.	DATE	DESCRIPTION
3.	2024-06-14	DP Set
2.	2024-06-05	DP DRAFT
1.	2024-05-15	DP DRAFT

NO.	DATE	ISSUE NOTE

Project Manager	Drawn By
Date	Reviewed By
Project ID	

Sheet Title

Context Elevations

Sheet No.

A.352



1 **COMPARATIVE STREET ELEVATION**
Scale: 1/4" = 1'-0"

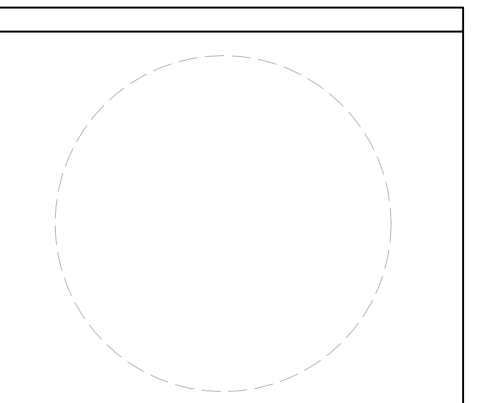


Various Perspectives

**Vector Yacht Services Ltd. Proposed
New Services Building**

2244 Harbour Rd.

Project Title



Architect



Consultant

KILO Architecture Inc.

3A.	2024-09-03	DP Presentation
-----	------------	-----------------

REV.	DATE	DESCRIPTION
------	------	-------------

3.	2024-06-14	DP Set
2.	2024-06-05	DP DRAFT
1.	2024-05-15	DP DRAFT

NO.	DATE	ISSUE NOTE
-----	------	------------

Project Manager	Drawn By
	KAT

Date	Reviewed By
2024-08-22	KAT

Project ID	
------------	--

Sheet Title

Perspectives

Sheet No.

A.360