



TOWN OF SIDNEY

Report to Advisory Planning Commission

TO: Chair and Commission Members
FROM: Celina Fletcher, Municipal Planner
DATE: December 2, 2025 **File No.** 2436 Ocean Avenue (Land)
SUBJECT: Development Permit Application No. DP100856
2436 Ocean Avenue

PURPOSE:

The purpose of this report is to provide information on a proposed three-unit residential development and to seek comments and a recommendation from the Advisory Planning Commission to Council on the form and character of the development.

DESCRIPTION OF PROPOSED DEVELOPMENT:

Staff would like to note that the Town has received an application for a similar triplex proposed on the neighbouring property at 9601 Fourth Street as well as an application for a proposed triplex at the northeast intersection of Ocean Avenue and Fifth Street at 9601 Fifth Street. While each development is given independent consideration, staff believe this is a unique opportunity for the Advisory Planning Commission to review the designs in conjunction with one another.

The proposed development would involve the construction of a building containing three residential dwelling units on the subject property (*see Drawing Set V1 in Appendix B*). An existing single-family dwelling would be removed from the site to allow for the proposed development. The two dwelling units fronting Ocean Avenue are designed to have two bedrooms on the main floor and living space and a primary bedroom on the upper level. The third dwelling unit would be accessed from the rear of the property via a pathway from Ocean Avenue along the property, and from the lane. The third dwelling unit would be contained primarily on the third floor with some living space located on the second floor. The building would be a modern architectural style with a flat roof and have a combination of shiplap composite siding and grey stucco on the facades with metal accents along the edges of the building. One on-site vehicle parking space for each dwelling unit is to be accommodated within garages for each unit, accessed from the lane on the east side of the property.

LOCATION:

The subject property is located on Ocean Avenue, to the west of the lane between Third and Fourth Street (*see aerial photo in Appendix A*). The surrounding neighbourhood to the north, east, and west is established with single-family dwellings of varying ages. The Sidney/Anacortes ferry terminal and Tulista Park are located to the south of the property, across Ocean Avenue. The following table outlines the Official Community Plan and Zoning designations and existing land uses on surrounding properties:

Table 1: Surrounding Land Use, Zoning and OCP Designations

	OCP Designation	Zoning Designation	Current Land Use(s)
North, East and West	Intensive Neighbourhood Residential	R1 - Intensive Ground-Oriented Residential	Single-family dwellings, small-lot single-family dwellings, 1 and 2 storeys
South	Institutional	U2 - Intensive Ground-Oriented Residential	Sidney/Anacortes ferry terminal

OFFICIAL COMMUNITY PLAN BYLAW NO. 2240:

The subject site is designated as Intensive Neighbourhood Residential in the Town of Sidney Official Community Plan (OCP). Located on the south side of the downtown core, the OCP encourages increased residential density in this area in order to provide for a pedestrian-friendly neighborhood close to downtown amenities. Staff are of the opinion that the proposed development generally complies with the objectives and policies in the OCP, particularly those that encourage a variety of housing types and forms.

Although the OCP does not currently address small-scale multi-unit housing (SSMUH) typologies or densities that are contained within the recently updated Zoning Bylaw, these are explicitly excluded from the requirement to be consistent with official community plans. OCPs are not required to be updated immediately to comply with SSMUH requirement, so there may be some inconsistencies with small-scale multi-unit housing building forms until the Town's Official Community Plan is updated as per Bill 44.

ZONING BYLAW NO. 2275:

The subject property is currently zoned Intensive Ground-Oriented Residential (R1), the intent of which is to provide for intensive ground-oriented housing of all types up to 4 units on smaller lot sizes. Staff have reviewed the proposal and have determined that it is in full conformance with the Zoning Bylaw.

OFF-STREET PARKING AND LOADING BYLAW NO. 2140

The proposed development complies with the bylaw requirements by providing one standard vehicle parking space for each dwelling unit, at a total of three parking spaces. Vehicle parking is located within a single car garage for each unit that is accessed via the lane on the east side of the property. Two of the garages are recessed into the building which would allow for an additional two in-tandem vehicle parking spaces in the driveway area. There are no bicycle parking requirements for this type of residential development.

TREE PRESERVATION BYLAW NO. 2138

There are no bylaw-protected trees on the property, however, there is a protected boulevard tree to the southeast corner of the property at the entrance to the lane which is not expected to be affected by the proposed development. No protected trees are proposed for removal.

Submitted landscape plans indicate an unobstructed 24 m² tree planting area within the front yard of the property to comply with the landscaping requirements in section 6 of the Zoning Bylaw. The applicant is proposing to plant one new tree in this area.

INTENSIVE SINGLE-FAMILY RESIDENTIAL DEVELOPMENT PERMIT GUIDELINES:

As the property is located within an area designated under the OCP as Intensive Neighbourhood Residential, new development on the site is subject to the General Form and Character, General Residential, and Intensive Neighbourhood Residential Development Permit Area Guidelines. The purpose of these guidelines is to address the form and character of the proposed development, including landscaping and the siting, exterior design and finish of the building.

Overall, staff are of the opinion that the proposed development is generally consistent with the applicable design guidelines. There are several guidelines that staff would like to highlight:

Environmental Sustainability

24.4.7 Design and orient buildings to maximize solar access to adjacent streets and public spaces, while also considering optimizing for solar orientation to improve energy performance and occupant comfort.

24.4.9 Use appropriately designed exterior shading devices (such as fixed awnings or retractable canopies, roofs projections, overhangs, and fixed fins) to block unwanted solar gains in warmer months while maximizing solar gains from lower winter sunlight. Additional considerations include:

- a. Their use should be prioritized on southern elevations;*
- b. Shading is not necessary on north facing façades; and*

c. Vertical fins are a good strategy to use for blocking incoming summer sun on western elevations. Generally, overhangs and fins should be approximately 0.6 m to allow for winter sun penetration while blocking summer midafternoon sun.

24.4.32 Place deciduous trees on the south and west sides of buildings, particularly in front of windows and outdoor living spaces.

The building's design maximizes solar access, with all private balconies for each unit oriented southward. Lower balconies are recessed and the eaves on the third storey project to allow for shading and weather protection. A deciduous tree is proposed to be planted on the south side of the property, which will eventually help to provide shade to Unit 1 when it is mature.

24.4.22 Prioritize high efficiency heat recovery ventilation systems and electric heat pump technologies.

25.3.34 Where screening structures are necessary, they should use consistent design, materiality, and scale that complements the building.

Heat pumps are proposed for the development, with two located on the west side of the property away from public view and one recessed within the building envelope on the east side of the property. Each heat pump is to be screened with composite siding, matching the shiplap composite siding used throughout the building face.

General Form and Character

25.3.2 Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.

This property is situated uniquely, where it fronts Ocean Avenue and has vehicular access off the east side of the property via the lane. While the building is mainly oriented towards Ocean Avenue, it is designed in a way that continues to provide visual interest along the portion of the property facing the laneway.

25.3.4 Develop in a manner compatible with adjacent structures and uses.

25.3.24 Integrate new developments with the existing neighbourhood by considering the transition between building heights and massing, paying particular attention to building elevations visible from the public realm (waterfront, streetscapes).

25.3.28 Step back the upper storeys of buildings and arrange the massing and siting of buildings to consider shadowing on lower level units, adjacent buildings, as well as public and open spaces such as sidewalks, plazas, and courtyards.

While the current zoning bylaw permits three storeys, the surrounding buildings along Ocean Avenue were constructed under previous zoning regulations that only permitted up to 2.5 storeys. The proposed building manages this transition in height and natural grade by incorporating a step back at the third storey; this helps to reduce the perceived massing of the building, making it appear more consistent with the established scale of the neighbourhood.

24.4.15 Use simple shifts in massing and changes in exterior colours and textures to articulate façades.

25.5.4 Create visual interest by providing variations in height and massing within the design.

Visual interest and definition are created along the main street frontage through strategic shifts and massing inherent to the building, specifically the use of recessed entries and balconies and the stepped back third storey. Consistent material and colour applications on all building elevations contribute to a defined and engaging presence to the streetscape.

25.3.47 Provide landscaping in strategic locations throughout the site to frame building entrances, soften edges, screen parking garages, and break up long façades.

25.3.61 Landscaping should be compatible with underground utilities and above ground utilities where they exist.

Landscaping serves to define pedestrian pathways and entrances facing Ocean Avenue. Planting areas have been positioned in areas to avoid conflicts with underground and above ground utilities.

General Residential & Intensive Neighbourhood Residential

25.4.2 Design all residential buildings and units to have easy access to useable private or semiprivate outdoor amenity space.

25.4.5 Porches, balconies, and decks facing a street should present an open and accessible appearance that encourages interaction between the dwelling and the street.

Each unit has a south-facing balcony that can be directly accessed from the living room of each unit. The balconies are generally set back into the building envelope, allowing for privacy for each individual unit while glass balcony railings allow for limited interaction with the street.

25.5.5 Doors, windows, or landscaping should reinforce the location of the entry for each dwelling on the property.

25.4.7 Design primary unit entrances to provide:

a. A clearly visible front door directly accessible from a public street or publicly accessible pathway; and

b. Architectural entrance features such as stoops, porches, shared landings, patios, recessed entries, and canopies.

25.3.36 Provide weather protection such as awnings and canopies at primary building entries.

Each individual unit has its own separate entrance. The two units fronting Ocean Avenue have main entrances directly visible from the street that are raised to match the grade of the sidewalk. These two entrances are recessed into the building, providing weather protection while further accentuating the entryways from Ocean Avenue. The third unit is directly accessed from the lane by a ramp that leads up to a covered porch. A path connects the front of the property to the parking areas and laneway to the east of the property.

25.4.10 Architectural elements and materials should be chosen to convey a feeling of quality and permanence. Cladding materials and architectural detailing should break up large flat surfaces and monotonous façades.

25.3.41 Consider the colours and materials of adjacent or neighbouring buildings when selecting material and building colour to provide consistency and balance of the overall streetscape.

25.3.42 Building materials should be used consistently throughout all building elevations that are visible from the street and public open spaces.

Building materials are used consistently throughout each elevation. The building uses a combination of shiplap composite siding and stucco in various shades of grey, accented with metal along the edges of the building. The south side of the building include large windows and is complemented with glass and aluminum guard rails.

The proposed colours and materials of the building are in keeping with those of surrounding properties while contributing towards a unified, modern aesthetic along the Ocean Avenue streetscape.

25.5.10 Windows should be located and designed to maximize light penetration into a dwelling's interior while minimizing views into neighbouring properties and dwellings.

25.4.12 Window openings on sidewalls should be planned to avoid aligning with windows of adjacent dwellings.

Consideration has been given in the design to off set the windows along common lot lines in order to maintain privacy. Windows along the west side of the property are arranged in a way so they are off set from the existing adjacent building (as well as the proposed building under Development Permit Application No. DP100855) to minimize direct sightlines into the neighbouring property to the east. Minimal window openings at the rear of the property help to reduce overlook into the adjacent property to the north. Balconies are oriented towards the street, which help to avoid impacts to the privacy of neighbouring properties.

25.5.7 Roofs should be varied and/or pitched to reduce the bulk of the building and to emphasize a human scale.

While the roof is not pitched, the roof of the third storey is stepped back adding variation in height that helps to break up the massing of the building.

25.4.21 Use textured, permeable paving for hard surfaced areas such as walkways, patios, driveways, and parking areas.

25.4.22 Hard-surfaced driveways and parking areas should be surfaced with materials that avoid a monotonous appearance.

25.5.2 A hard-surfaced connection should be provided between the dwelling and the street or lane.

Parking areas and the pathway along the east side of the property are proposed to be surfaced paving stones. The entryways for each unit are to be surfaced in concrete pavers, as well as the path from Units 1 and 2 to the sidewalk. Parking areas for each unit are to be delineated by borders to add visual interest.

DISCUSSION:

The applicant has given consideration through the design to the unique site specifications for each property at 9601 Fourth Street and 2436 Ocean Avenue, despite their apparent similarities. The floor plans of the two dwellings are nearly identical, however, the windows facing the common lot lines are off set which will help to minimize overlook between buildings. Building materials and colours vary slightly but remain complementary to present cohesive addition to the Ocean Avenue streetscape.

The subject property has a relatively low natural grade, below 5 metres geodetic elevation. Development on properties with an existing elevation below 5 metres is guided by the Interim Flood Construction Level (FCL) Policy DV-014. As per the policy, the applicant has provided a report from a qualified Professional Engineer assessing flood hazard on the site and recommending a site-specific minimum floor elevation (FCL – flood construction level) for the development. The Engineer's report assesses the proposed elevations of the development, and states that the construction is safe for the uses intended as per legislation in section 56 of the *Community Charter*. As per the Town's policy, a covenant is required to be registered on title to require that the development be constructed in accordance with the Engineer's report. The covenant would also serve to notify future owners of the flood risk.

RECOMMENDATION:

That Development Permit Application No. DP100856 (to permit the form and character of a three-unit residential development) for the property at 2436 Ocean Avenue be approved, subject to the condition that the property owner shall, prior to the issuance of Building Permit:

- 1. Pay to the Town a deposit in the amount of 115% of the estimated cost to complete the hard and soft landscaping for the development.**

Submitted By:	Celina Fletcher, Municipal Planner
Concurrence:	Alison Verhagen, Director of Development Services

Attachments: Appendix A: Aerial photo of property
Appendix B: Drawings
Appendix C: Zoning Comparison Report

Presenter: Ryan Hoyt, Applicant

Appendix A: 2023 Aerial Photo of 2436 Ocean Ave, showing Zoning (black) and OCP (white) designations, with the subject property outlined in blue.



OCP Designation Legend:

INS: Institutional
RES-2: Intensive Neighbourhood Residential
RES-3: Multi-Unit Residential

PROPOSED TRIPLEX:
2436 Ocean Ave.
SIDNEY, BC

PROJECT INFORMATION:

SITE ADDRESS: 2436 OCEAN AVE.
SIDNEY, BC
V8L 1T4
LOT 7, BLOCK 23, PLAN VIP 1552,
SECTION 10, RANGE 4E,
NORTH SAANICH LAND DISTRICT
PID: 007-210-108

PROJECT DIRECTORY:

DESIGNER: HOYT DESIGN CO.
250.999.9893
HELLO@HOYT.CO
GENERAL CONTRACTOR: LIVIN LARGE PROPERTIES
RLARGE@LIVINLARGEPROPERTIES.CA
250.208.7306
STRUCTURAL ENGINEER: TBD
SURVEYOR: WEY MAYENBURG LAND SURVEYING INC.
250.856.5155
BRENT@WEYSURVEYS.COM

SCOPE OF WORK:

CONSTRUCTION OF A NEW TRIPLEX

SHEET INDEX:

A0.0 COVER SHEET
A0.1 SITE PLAN & ZONING ANALYSIS
A0.2 LANDSCAPE PLAN
A0.3 DEVELOPMENT PERSPECTIVES
A1.1 FIRST & SECOND FLOOR PLANS
A1.2 THIRD FLOOR & ROOF PLANS
A2.1 ELEVATIONS
A2.2 ELEVATIONS
A3.1 SECTIONS



HOYT
DESIGN CO

201-5325 Cordova Bay Road
Victoria, BC V8Y 2L3
250.999.9893
hello@hoyt.co | www.hoyt.co



GENERAL NOTES:

1. All drawings, plans, sections, elevations, and details shall be prepared by the Designer and shall be in accordance with the provisions of the BC Building Act and the BC Building Code. The Designer shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Designer shall not be responsible for any errors, omissions, or discrepancies in the drawings or for any consequences thereof.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and the conditions of the site prior to the start of the project. The Contractor shall verify the Designer's drawings and specifications with the field conditions. The Contractor shall not be responsible for any errors, omissions, or discrepancies in the drawings or for any consequences thereof.
3. The Contractor shall work with a B.C.E.S. to verify all dimensions, elevations, and the conditions of the site prior to the start of the project. The Contractor shall verify the Designer's drawings and specifications with the field conditions. The Contractor shall not be responsible for any errors, omissions, or discrepancies in the drawings or for any consequences thereof.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field inspection of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall verify the field conditions with the design required by the Structural Engineer. The Contractor shall not be responsible for any errors, omissions, or discrepancies in the drawings or for any consequences thereof.

PROJECT

2436 Ocean Ave.

2526

ISSUE DATE: 25Oct23 REV 5

No.	Description:
1	25May22 Site Plan
2	25Jul22 Issue for Coordination
3	25Sep22 Issue for Development Permit
4	25Oct23 REV 1
5	25Oct23 Development Permit REV 2

Cover Sheet

A0.0

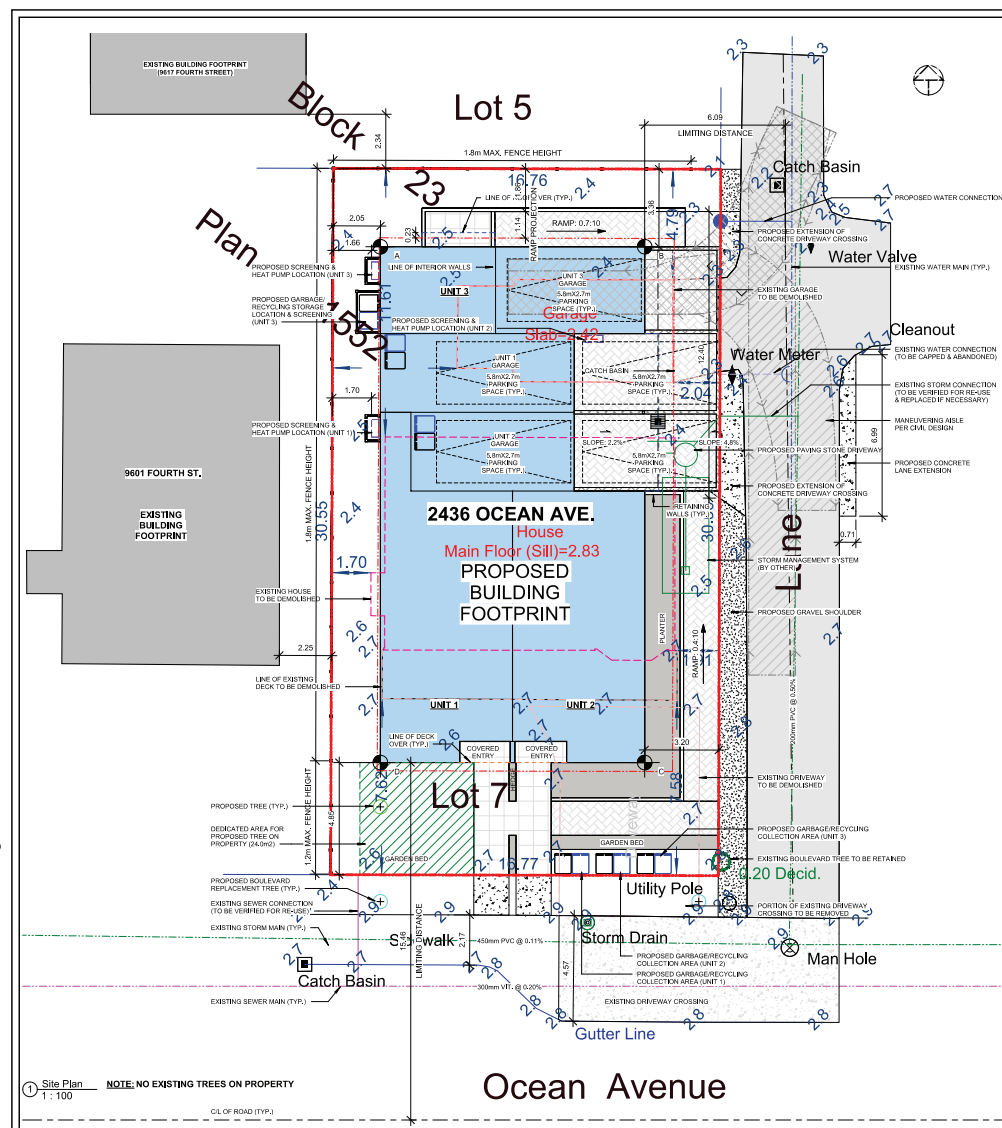
LOT AREA:	511.0m2	
FLOOR ELEVATIONS:	FIRST FLOOR:	3.06m
	SECOND FLOOR:	6.15m
	THIRD FLOOR:	9.25m
	GARAGE SLAB:	2.30m

F.S.R:	ALLOWABLE	PROPOSED
	NO RESTRICTION	N/A

LOT COVERAGE:	ALLOWABLE	PROPOSED
HOUSE:	50.0% (255.5m2)	49.9% (255.0m2)

SETBACKS:	ALLOWABLE	PROPOSED
FRONT (S):	4.5m	4.85m
REAR (N):	3.0m	3.36m
SIDE (W):	2.0m	2.05m
SIDE (E):	2.0m	3.20m

 SEWER
 STORM
 WATER



PROJECT

2436 Ocean Ave.

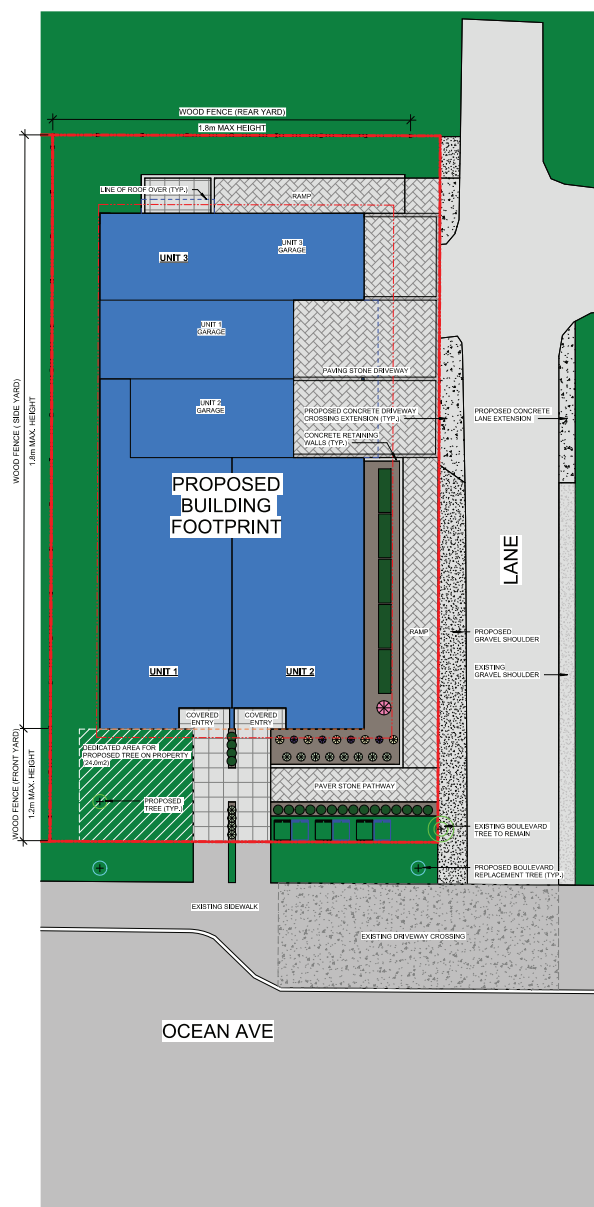
2526

ISSUE DATE: 25Oct23 REV 5

Date:	Description:	No.:
25May22	Site Plan	1
25Jul29	Issue for Coordination	2
25Sep09	Issue for Development Permit	3
25Sep30	Development Permit REV 1	4
25Oct23	Development Permit REV 2	5

Site Plan & Zoning Analysis

A0.1



① Landscape Plan
1 : 100

LANDSCAPE LEGEND

- GRASS
- TREE'S/SHRUBS
- PROPOSED STRUCTURE
- EARTH
- CONCRETE/ASPHALT
- PAVING STONE
- CONCRETE PAVERS
- GRAVEL

PAVING STONE
BELGARD - CLASSIC; STANDARD "NATURAL"

CONCRETE PAVERS
BEL-GLAD, PERIMENSION "SCANDINAVIA GRAY"



PE



LAVENDER



REED GRASS

 CEDAR HEDGE

RHODOGENDRON



BOXWOOD SHRUBS

- GENERAL NOTES

- [illegible]

PROJECT

2436 Ocean Ave.

2526

ISSUE DATE: 25Oct23 REV 5

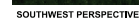
No.	Description:	Date:
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3	Issue for Development Permit	25Sep09
4	Development Permit REV 1	25Sep30
5	Development Permit REV 2	25Oct23

Landscape Plan

A0.2

GENERAL NOTES:

1. All drawings, notes, model, calculations, specifications and other documents used by Project Design Co (PDC) and used in connection with this project are the property of PDC and shall remain the property of PDC. The drawings, notes, model, calculations, specifications and other documents are to be used for the purpose of the project and shall not be used for any other purpose or project.
2. It is the responsibility of the Contractor to verify all dimensions and quantities of work shown on drawings acceptable to the project and the proposed works. The Contractor shall be responsible for any errors or omissions or discrepancies identified within the drawings or the commercial quantities of work shown on drawings. The Contractor shall be responsible for any part thereof. The Contractor shall be responsible for any errors or omissions or discrepancies identified within the drawings or the commercial quantities of work shown on drawings. The Contractor shall be responsible for any part thereof.
3. The Contractor shall work with a PDC to verify all dimensions and quantities of work shown on drawings acceptable to the project and the proposed works. The Contractor shall be responsible for any errors or omissions or discrepancies identified within the drawings or the commercial quantities of work shown on drawings. The Contractor shall be responsible for any part thereof.
4. Increased in the Province of BC for the Design and Construction of all structural components and systems within the jurisdiction of the Authority. The Contractor shall be responsible for any errors or omissions or discrepancies identified within the drawings or the commercial quantities of work shown on drawings. The Contractor shall be responsible for any part thereof.



2436 Ocean Ave.

2526

ISSUE DATE: 25Oct23 REV 5

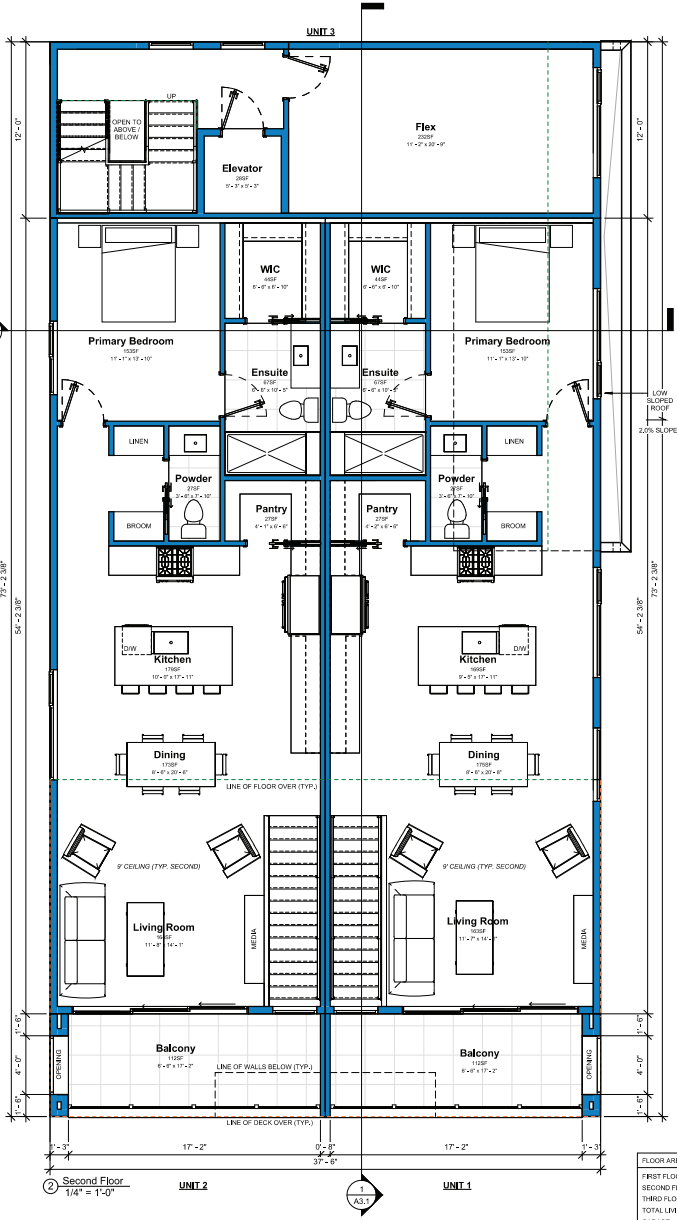
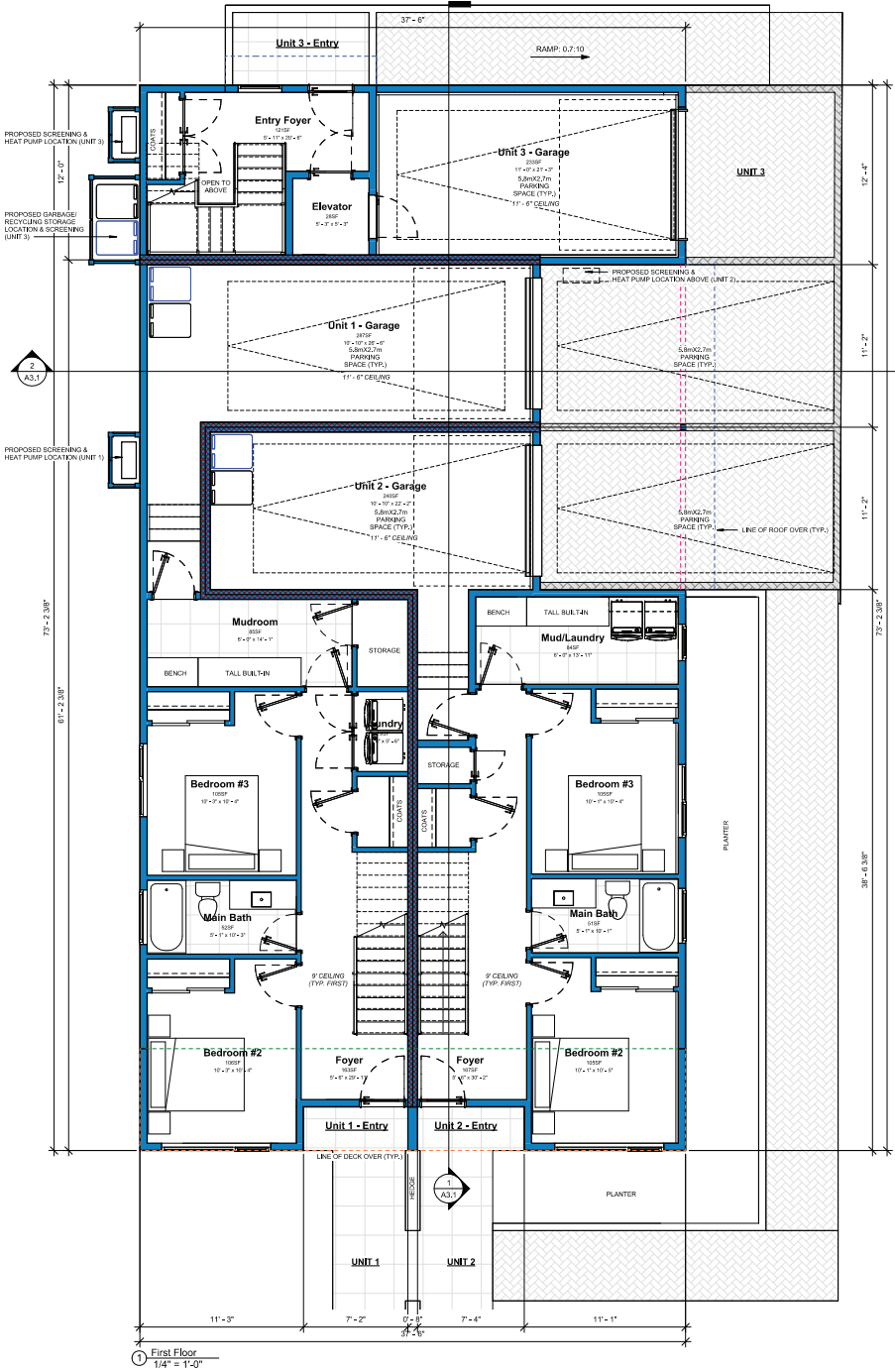
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Development Perspectives

A0.3



201-5325 Cordova Bay Road
Victoria, BC V8V 2L3
250.999.9893
hello@hoyt.co | www.hoyt.co



PLAN LEGEND

WALL

FIRE RATED WALL

ROOF OVER

FLOOR OVER

DECK OVER

WALL BELOW

POST

FLUSH BEAM OVER

DROP BEAM OVER

GRIDDER TRUSS OVER

SIC DETECTOR

DOOR SIZE

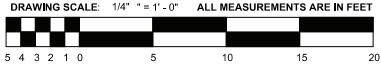
WINDOW SIZE

JOIST SPAN DIRECTION

LINE OF INTERIOR VAULT

- GENERAL NOTES:
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 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as shown on the drawings and to coordinate with the Designer and/or Engineer as required for the project. The Contractor shall not be responsible for any errors or omissions in the drawings or for any discrepancies between the drawings and the field conditions. The Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
 3. The Contractor shall verify all dimensions and elevations with the Designer and/or Engineer as required for the project. The Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
 4. The Contractor shall engage a Professional Engineer (P.E.) to verify all dimensions and elevations with the Designer and/or Engineer as required for the project. The Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

FLOOR AREA	UNIT 1	UNIT 2	UNIT 3	BUILDING
FIRST FLOOR	694 SF	690 SF	760 SF	2144 SF
SECOND FLOOR	1016 SF	1016 SF	1016 SF	3048 SF
THIRD FLOOR	N/A	N/A	N/A	N/A
TOTAL LIVING SPACE	1710 SF	1706 SF	1776 SF	5192 SF
GARAGE	304 SF	304 SF	304 SF	912 SF
TOTAL BUILDING SF	2014 SF	2010 SF	2080 SF	6094 SF



PROJECT

2436 Ocean Ave.

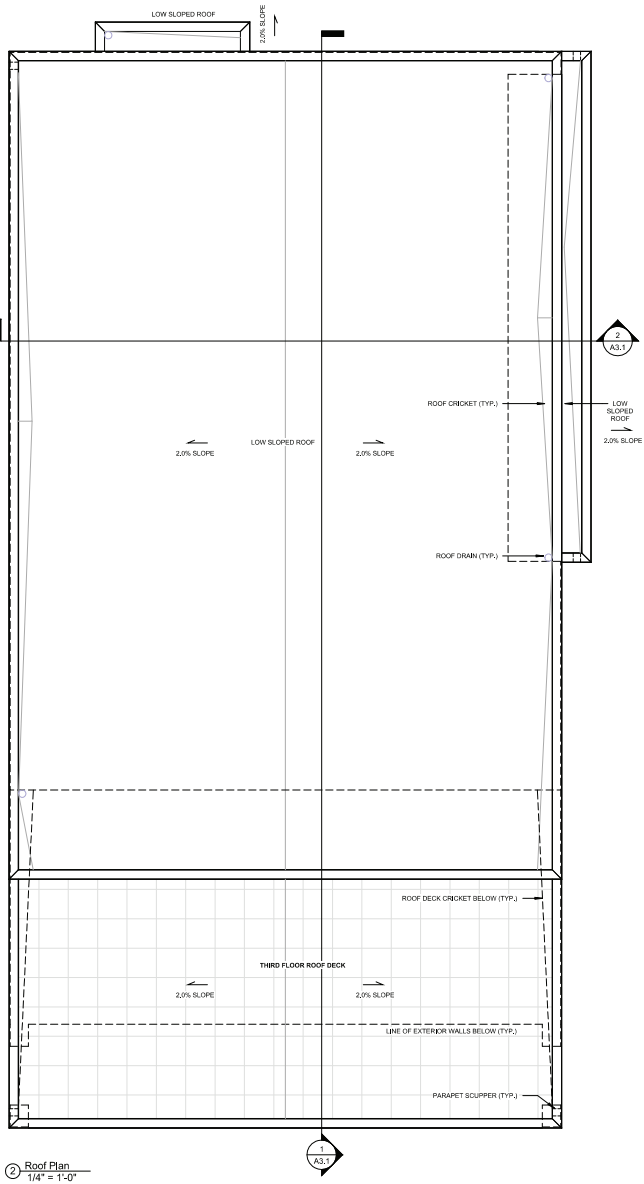
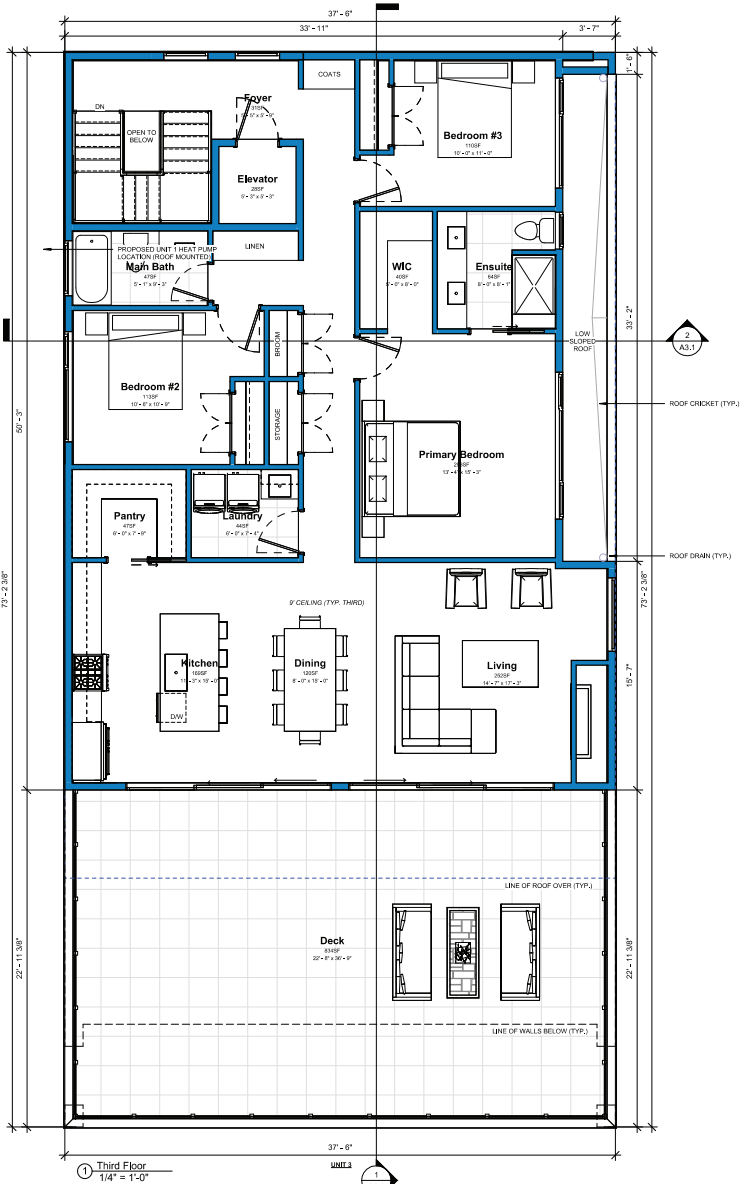
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First & Second Floor Plans

A1.1



PLAN LEGEND

WALL	[Solid Blue Line]
FIRE RATED WALL	[Dashed Blue Line]
ROOF OVER	[Dotted Blue Line]
FLOOR OVER	[Dashed Green Line]
DECK OVER	[Dashed Orange Line]
WALL BELOW	[Dashed Red Line]
POST	[Square with X]
FLUSH BEAM OVER	[Red Line]
DROP BEAM OVER	[Green Line]
GRIDDER TRUSS OVER	[Blue Line]
SIC DETECTOR	[Circle with S/C]
DOOR SIZE	[Circle with D]
WINDOW SIZE	[Circle with W]
JOIST SPAN DIRECTION	[Arrow]
LINE OF INTERIOR VAULT	[Dashed Pink Line]

- GENERAL NOTES:
1. All drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co (HDC) and used in connection with this project are the property of Hoyt Design Co. No part of this project may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without prior written permission from Hoyt Design Co. Any unauthorized use of this project is prohibited and may result in legal action.
 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as shown on the project and to coordinate with the Designer as to the location of any utility, structure or obstruction identified within the drawing prior to construction of the work. The Contractor shall be responsible for any and all third party approvals required for the project, including but not limited to the existing site conditions, and means, methods and materials to be used in the project, and they shall not be used for any other work or project.
 3. The Contractor shall comply with all applicable codes, laws, regulations, and standards, including but not limited to the Building Act and the Building Code, and shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Contractor shall be responsible for ensuring that all work is completed in accordance with the approved plans and specifications, and for obtaining all necessary approvals from the appropriate authorities.
 4. The Contractor shall engage a Professional Engineer (P.E.) to review and sign off on the design and construction of the project, and shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Contractor shall be responsible for ensuring that all work is completed in accordance with the approved plans and specifications, and for obtaining all necessary approvals from the appropriate authorities.

PROJECT

2436 Ocean Ave.

2526

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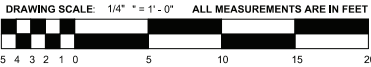
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Third Floor & Roof Plans

A1.2

FLOOR AREA	UNIT 1	UNIT 2	UNIT 3	BUILDING
FIRST FLOOR	694 SF	660 SF	760 SF	1914 SF
SECOND FLOOR	1016 SF	450 SF	1016 SF	2482 SF
THIRD FLOOR	N/A	N/A	1639 SF	1639 SF
TOTAL LIVING SPACE	1710 SF	1110 SF	2281 SF	5001 SF
GARAGE	304 SF	301 SF	282 SF	887 SF
TOTAL BUILDING SF	2014 SF	1411 SF	2563 SF	5988 SF





HOYT
DESIGN CO

201-5325 Cordova Bay Road
Victoria, BC V8V 2L3
250.999.9893
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- GENERAL NOTES:
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 4. The Contractor shall engage a Professional Engineer to design and detail the structure and foundation of the building. The Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

PROJECT

2436 Ocean Ave.

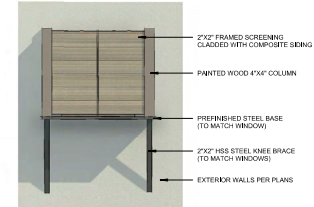
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ISSUE DATE: 25Oct23 REV 5

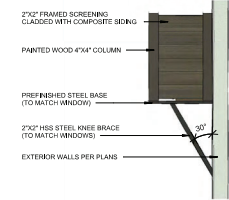
No.	Description:
1	25May22 Site Plan
2	25Jul23 Issues for Coordination
3	25Sep23 Development Permit REV 1
4	25Oct23 Development Permit REV 2
5	25Oct23 Development Permit REV 2

Elevations

A2.1



3 Heat Pump - Screening (Front)
1/2" = 1'-0"



4 Heat Pump - Screening (Side)
1/2" = 1'-0"

EXTERIOR FINISH & COLOURS	
ACRYLIC STUCCO	2133-09 "SIDEWALK GRAY"
ACRYLIC STUCCO	1699 "TEMPTATION"
ACCENT	1699 "TEMPTATION"
METAL CORRUGATED PANEL	1699 "TEMPTATION"
SHIPLAP COMPOSITE SIDING	
SOFFT	VENTED ALUMINUM (BLACK)

ELEVATION NOTES LEGEND	
1	2 PLY MOD BIT, ROOFING
2	ACRYLIC STUCCO
3	COMPOSITE SHIPLAP SIDING
4	4X4 HSS STEEL POST
5	ALUMINUM GUARD RAIL WITH GLASS INSERTS
6	SOLID WOOD FENCE
7	METAL CORRUGATED PANEL

SOUTH ELEVATION SPATIAL SEPARATION	
AREA OF EXPOSING BUILDING FACE:	154.4m ²
LIMITING DISTANCE (TO CL ROAD):	15.40m
PERCENTAGE OF GLAZED AREA ALLOWABLE:	82.8%
AREA OF GLAZED OPENINGS ALLOWABLE:	88.2m ²
(15% MINIMUM)	
AREA OF GLAZED OPENINGS PROPOSED:	59.0m ²
PERCENTAGE OF GLAZED AREA PROPOSED:	56.7%

WEST ELEVATION SPATIAL SEPARATION	
AREA OF EXPOSING BUILDING FACE:	153.4m ²
LIMITING DISTANCE:	2.00m
PERCENTAGE OF GLAZED AREA ALLOWABLE:	8.0%
AREA OF GLAZED OPENINGS ALLOWABLE:	14.7m ²
(15% MINIMUM)	
AREA OF GLAZED OPENINGS PROPOSED:	13.4m ²
PERCENTAGE OF GLAZED AREA PROPOSED:	7.3%





HOYT
DESIGN CO

201-5325 Cordova Bay Road
Victoria, BC V8V 2L3
250.999.9893
hello@hoyt.co | www.hoyt.co

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 - The Contractor shall verify all dimensions and locations of existing structures and utilities with the City of Victoria and the relevant utility companies. The Contractor shall be responsible for obtaining the necessary permissions from the appropriate authorities to use the drawings, plans, notes, designs, specifications and other documents prepared by Hoyt Design Co for any other purpose.
 - The Contractor shall engage a Professional Engineer to design and construct the proposed building and to provide all necessary engineering calculations and drawings. The Contractor shall be responsible for obtaining the necessary permissions from the appropriate authorities to use the drawings, plans, notes, designs, specifications and other documents prepared by Hoyt Design Co for any other purpose.

PROJECT

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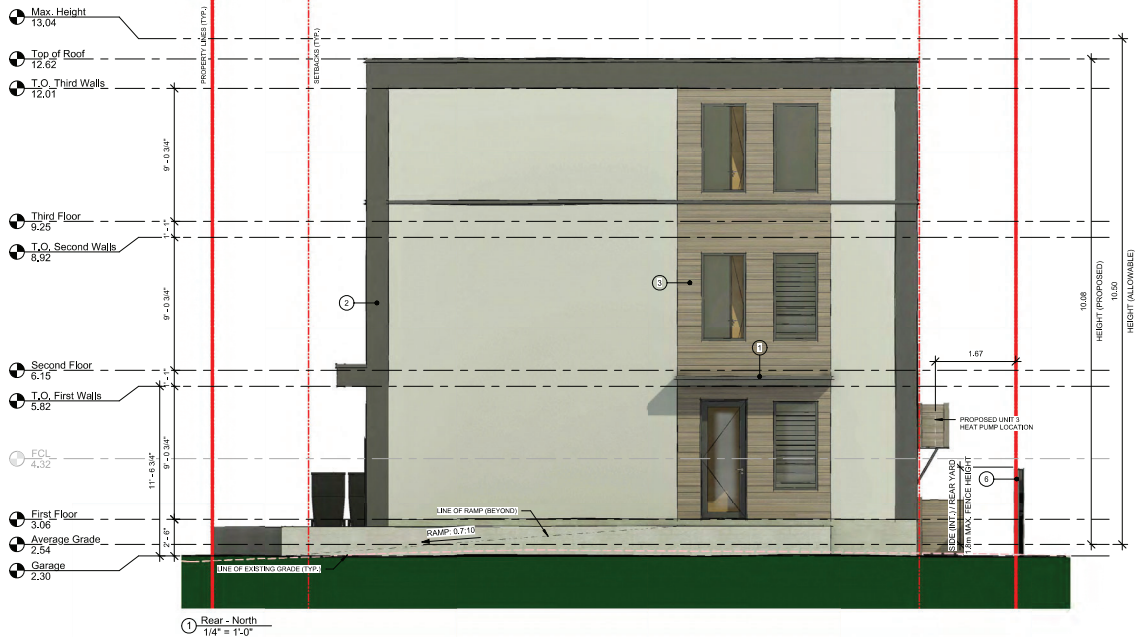
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ISSUE DATE: 25Oct23 REV 5

No.	Description:
1	25May22 Site Plan
2	25Jul23 Issues for Coordination
3	25Sep23 Development Permit
4	25Sep23 Development Permit REV 1
5	25Oct23 Development Permit REV 2

Elevations

A2.2



EXTERIOR FINISH & COLOURS

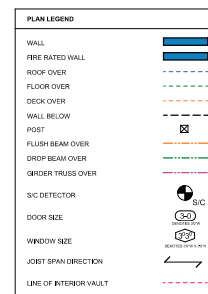
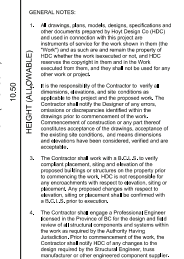
ACRYLIC STUCCO	
2133-09 "SIDEWALK GRAY"	
ACRYLIC STUCCO	
1699 "TEMPERATION"	
ACCENT	
1699 "TEMPERATION"	
METAL CORRUGATED PANEL	
1699 "TEMPERATION"	
SHIPLAP	
COMPOSITE SIDING	
SOFFIT	
VENTED ALUMINUM (BLACK)	

ELEVATION NOTES LEGEND

1	2 PLY MOD BIT, ROOFING
2	ACRYLIC STUCCO
3	COMPOSITE SHIPLAP SIDING
4	4X4 HSS STEEL POST
5	ALUMINUM GUARD RAIL WITH GLASS INSERTS
6	SOLID WOOD FENCE
7	METAL CORRUGATED PANEL

NORTH ELEVATION SPATIAL SEPARATION	EAST ELEVATION SPATIAL SEPARATION
AREA OF EXPOSING BUILDING FACE: 118.3m ²	AREA OF EXPOSING BUILDING FACE: 185.3m ²
LIMITING DISTANCE: 13.0m	LIMITING DISTANCE (TO COLLINES): 6.0m
PERCENTAGE OF GLAZED AREA ALLOWABLE: 10.0%	PERCENTAGE OF GLAZED AREA ALLOWABLE: 18.0%
AREA OF GLAZED OPENINGS ALLOWABLE: 11.83m ²	AREA OF GLAZED OPENINGS ALLOWABLE: 33.2m ²
PERCENTAGE OF GLAZED OPENINGS PROPOSED: 10.0%	PERCENTAGE OF GLAZED OPENINGS PROPOSED: 33.2m ²
PERCENTAGE OF GLAZED AREA PROPOSED: 8.2%	PERCENTAGE OF GLAZED AREA PROPOSED: 17.9%





FLOOR AREA	UNIT 1:	UNIT 2:	UNIT 3:	BUILDING
FIRST FLOOR:	694 SF	660 SF	192 SF	1546 SF
SECOND FLOOR:	1016 SF	1016 SF	450 SF	2482 SF
THIRD FLOOR:	N/A	N/A	1639 SF	1639 SF
TOTAL LIVING SPACE:	<u>1710 SF</u>	<u>1676 SF</u>	<u>2281 SF</u>	<u>5667 SF</u>
GARAGE:	368 SF	301 SF	262 SF	931 SF
TOTAL BUILDING SF:	2078 SF	1977 SF	2543 SF	6598 SF

DRAWING SCALE: 1/4" = 1' - 0" **ALL MEASUREMENTS ARE IN FEET**



2436 Ocean Ave.

2526

ISSUE DATE: 25Oct23 REV 5

No.	Description:	Date:
1	Site Plan	25May22
2	Issue for Coordination	25Jul29
3	Issue for Development Permit	25Sep08
4	Development Permit REV 1	25Sep30
5	Development Permit REV 2	25Oct23

Sections

A3.1



Appendix C: Zoning Comparison

Section	Permitted in R1 Zone	Proposed Development	Conforms
Permitted Uses	Dwelling unit	Dwelling unit	Conforms
Density	Max. 4 dwelling units	3 dwelling units	Conforms
Lot Area	Min: 250 m ² (2,691 ft ²)	511 m ² (5,500 ft ²)	Conforms
Lot Coverage	50%	49.9%	Conforms
Height	Max: 10.5 metres (34.4 ft)	10.08 metres (33.1 ft)	Conforms
Storeys	Max: 3 storeys	3 storeys	Conforms
Size of 3rd Storey	Max. 70% of the floor below	66%	Conforms
<u>Setbacks:</u>			
Front (South)	Min: 4.5 metres (14.8 ft)	4.85 metres (15.9 ft)	Conforms
Rear (North)	Min: 3.0 metres (9.8 ft)	3.36 metres (11.0 ft)	Conforms
Interior Side (West)	Min: 2.0 metres (6.6 ft)	2.05 metres (6.7 ft)	Conforms
Interior Side (East)	Min: 2.0 metres (6.6 ft)	3.20 metres (10.5 ft)	Conforms