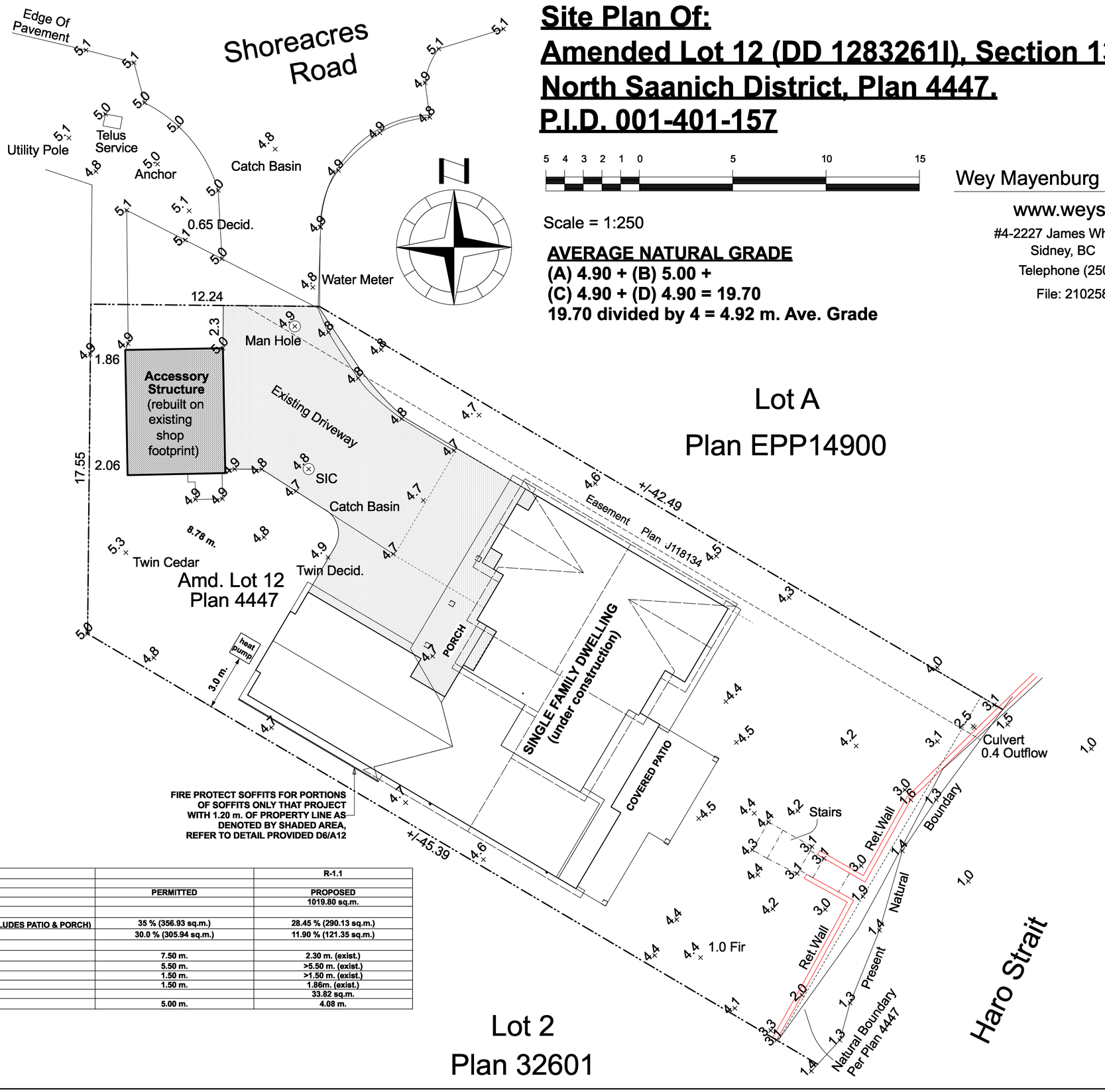
Site Plan Of:
Amended Lot 12 (DD 1283261I), Section 13, Range 4 East, North Saanich District, Plan 4447, P.I.D. 001-401-157



5 4 3 2 1 0 5 10 15

Scale = 1:250

AVERAGE NATURAL GRADE
(A) 4.90 + (B) 5.00 +
(C) 4.90 + (D) 4.90 = 19.70
19.70 divided by 4 = 4.92 m. Ave. Grade

SITE DATA		R-1.1
ITEMS	PERMITTED	PROPOSED
LOT AREA		1019.80 sq.m.
LOT COVERAGE		
- FIRST STOREY (INCLUDES PATIO & PORCH)	35 % (356.93 sq.m.)	28.45 % (290.13 sq.m.)
- SECOND STOREY	30.0 % (305.94 sq.m.)	11.90 % (121.35 sq.m.)
SETBACKS		
- FRONT (North)	7.50 m.	2.30 m. (exist.)
- REAR (South)	5.50 m.	>5.50 m. (exist.)
- RIGHT SIDE (East)	1.50 m.	>1.50 m. (exist.)
- LEFT SIDE (West)	1.50 m.	1.86m. (exist.)
GARAGE		33.82 sq.m.
BUILDING HEIGHT	5.00 m.	4.08 m.

Wey Mayenburg Land Surveying Inc.
www.weysurveys.com
#4-2227 James White Boulevard
Sidney, BC V8L 1Z5
Telephone (250) 656-5155
File: 210258\SIT\NO

client TIDMAN CONSTRUCTION
project PROPOSED RESIDENCE
address 2519 SHORE ACRES RD.
municipality THE TOWN OF SIDNEY, B.C.

STEPONE DESIGN
follow us on / join us on instagram@steponehomedesign victoria british columbia
contact info@steponedesign.ca
call O 778.433.1434 C 250.634.3729
visit www.steponedesign.ca

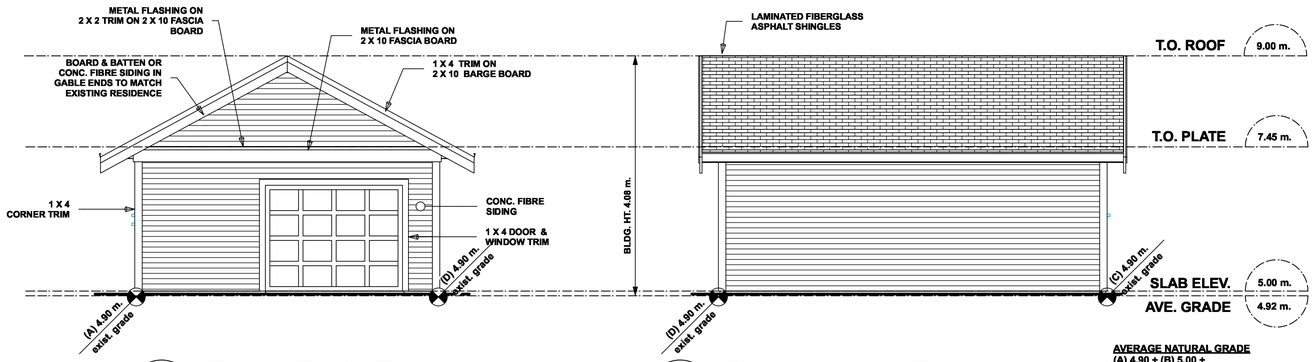
List of Drawings

A1	SITE PLAN
A2	PLANS, ELEVATIONS & SECTIONS
A3	DETAILS

ISSUED/REVISED

NO.	DATE	DESCRIPTION
	061125	B.P. Submission

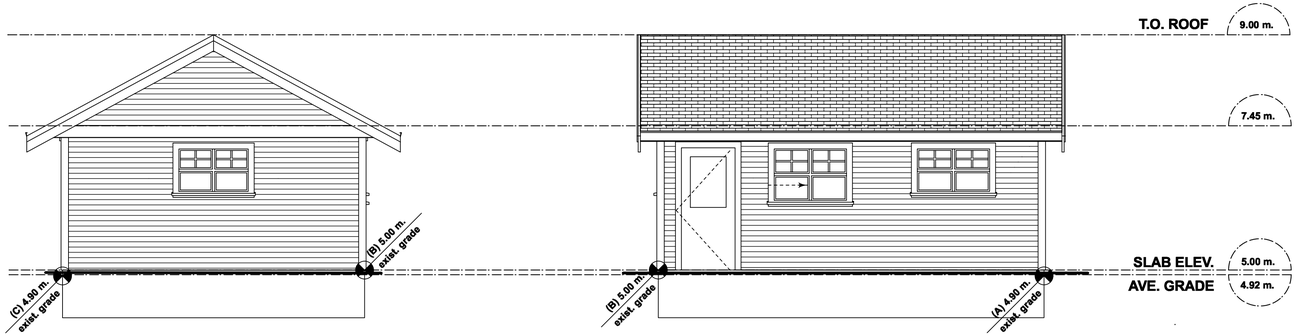
drawing no. 22010.1
date June 11 / 2025
scale as shown
designed by m.dunsmuir
mcd
sheet no. A 1
of A 3



1 / A2 **Front (East) Elevation**
Scale: 1/4" = 1'-0"

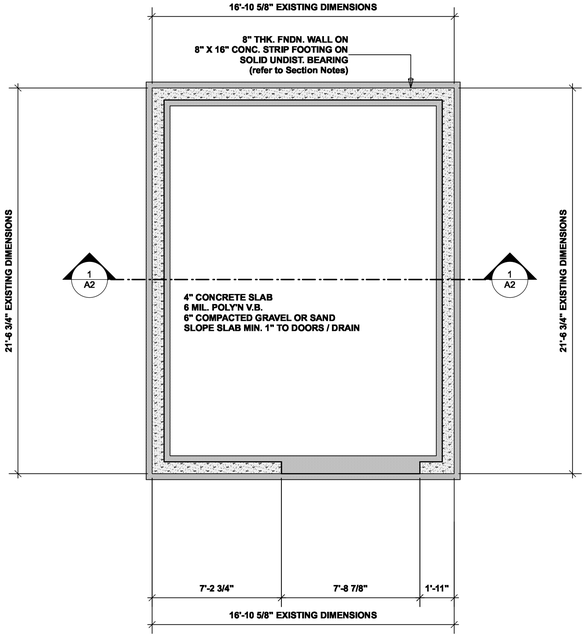
2 / A2 **Right (South) Elevation**
Scale: 1/4" = 1'-0"

AVERAGE NATURAL GRADE
(A) 4.90 + (B) 5.00 +
(C) 4.90 + (D) 4.90 = 19.70
19.70 divided by 4 = 4.92 m. Ave. Grade

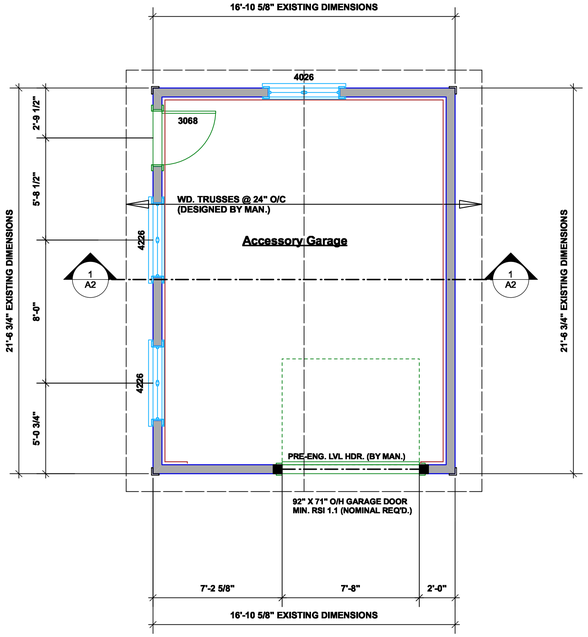


3 / A2 **Rear (West) Elevation**
Scale: 1/4" = 1'-0"

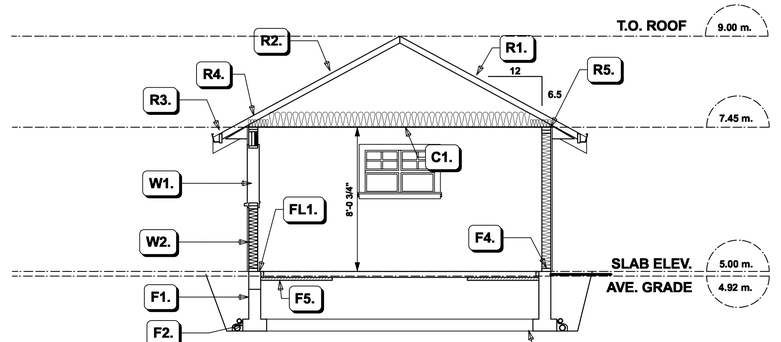
4 / A2 **Left (North) Elevation**
Scale: 1/4" = 1'-0"



5 / A2 **Foundation Plan**
Scale: 1/4" = 1'-0"



6 / A2 **Garage Plan**
Scale: 1/4" = 1'-0"



7 / A2 **Cross Section**
Scale: 1/4" = 1'-0"

ROOFS & CEILINGS

R1. LAMINATED ASPHALT SHINGLES ON
1/2" PLYWOOD
WD TRUSSES (DESIGNED BY MANUF.)

R2. PROVIDE 1 SQ.FT. ATTIC VENT PER
300 SQ.FT. FOR ROOFS
MIN. 25% OF REQUIRED
TO BE @ TOP AND BOTTOM
(VENTING TO COMPLY WI. 9.19.2.)

R3. PRE-FIN. ALUMINUM FASCIA GUTTER
C/W BUILT IN LEAF / DEBRIS GUARD
2 X 4 SUB. FASCIA BD. ON
VENTED SOFFIT

R4. EAVE PROTECTION
CONT. UP ROOF SLOPE FOR 12"
PAST EXTERIOR WALL.

R5. PROVIDE 2 1/2" CLEAR BETWEEN
14" LOOSE FILLED BLOWN-IN
INSULATION AND SHEATHING.
(COMPLY WI. 9.36.2.6.3 AT ROOF
WALL CONNECTION, SEE APPENDIX A
B.C. BLDG. CODE)

C1. 5/8" GYP' BD. ON
6 MIL. POLY'N. V.B. ON
U.S. ROOF TRUSSES OR T. J. I. CLG. JOISTS (BY MAN.)
14" LOOSE FILLED BLOWN-IN INSULATION
SEE EFFECTIVE R-VALUE. CEILINGS BELOW ATTICS
& EFFECTIVE R-VALUE ATTIC ACCESS HATCHES

FLOORS & WALLS

FL1. FIN. FLOORING ON
4" CONCRETE SLAB
6 MIL. POLY'N V.B.
6" COMPACTED GRAVEL OR SAND
PROVIDE CONT. 1.2 M. R- RIGID INSULATION TO U.S. SLAB
(AS NOTED, SEE SECTION NOTE F5.)
SEE EFFECTIVE R-VALUE. UN-HEATED SLABS
BELOW FROST LINE SEE 9.36.2.8.B

W1. DOUBLE GLAZING IN
THERMAL BREAK FRAMES
2/2 X 10 LINTEL OVER (TYPICAL)
METAL FLASHING C/W 1" END DAMS OVER
(NOTE: GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT.
TO BE SHATTERPROOF (SP))
ALL WINDOWS TO COMPLY WITH B.C.
BLDG. CODE 2012 9.7. & 9.36.2.7
PREFORMANCE GRADE 30
WATER PRESSURE TEST 260 PA
(BASED ON MT. TOLMIE ROUGH TERRAIN)
ALL WINDOWS AND DOORS MUST COMPLY WI.
TABLE 9.36.2.7. WI. MAX. U-VALUE OF 1.80
MUST BE CLEARLY LABELED ON ALL WINDOW
UNITS UPON INSTALLATION AND SUBJECT TO
MUNICIPAL BUILDING INSPECTION.
ALL WINDOWS TO COMPLY WI. 9.7 & 9.36.2.7.

W2. EXTERIOR WALLS-ABOVE GRADE
CONC. FIBER SIDING OR
CONC. FIBRE SHINGLE SIDING ON
(10 MM, MIN., AIR SPACE REQUIRED)
1/2" P.T. WOOD STRAPPING ON
EXTERIOR HOUSEWRAP (AIR BARRIER)
7/16" PLYWOOD SHEATHING ON
2 X 6 STUDS @ 16" O.C.
R-20 F/G BATT INSULATION
6 MIL. POLY'N V.B.
1/2" GYPSUM BOARD
SEE EFFECTIVE R-VALUE. WALLS ABOVE GRADE

FOUNDATION WALLS

F1. DAMPROOFING (WHERE REQUIRED) ON
8" THK. CONC. FOUNDATION WALL
ON UNDISTURBED SOIL(SOLID BEARING)

F2. 16"X 8" CONC. FOOTINGS
ON UNDISTURBED SOIL(SOLID BEARING)

F3. 4" PERIMETER DRAIN
3 " TIGHT PIPE FOR RWL
DRAIN ROCK
CONNECT TO CITY STORM DRAIN SYSTEM

F4. ANCHOR BOLTS
C/W SILL GASKETS

F5. GARAGE SLAB INSULATION COMPLY WI. 9.36.2.8.4) (B) (I)
INSTALL 2" CONT. RIGID INSULATION CONT. 1.2 HORIZ. AT
INTERNAL PERIMETER OF SLAB
PROVIDE THERMAL BREAK AT EDGE OF SLAB AT LEAST
50% OF REQUIRED THERMAL RESISTANCE

EFFECTIVE RSI VALUES FOR CONSTRUCTION ASSEMBLIES

Effective R Value Ceilings below Attics		
Description	Nominal RSI	Effective RSI
89 mm F/G loose filled insulation in typ. wood trusses	1.66 (R 9.4)	1.47 (R 8.3)
280 mm F/G loose filled insulation on top		5.25
19 mm (5/8") gypsum board		0.1
interior air film		0.11
TOTAL EFFECTIVE - 6.91 REQ'D.		6.93 (R 39.3)

Effective R Value Walls above grade		
Description	Nominal RSI	Effective RSI
R-20 batt insulation in 2 X 6 studs @ 16" O/C	3.34 (R 19)	2.36 (R 13.4)
interior air film		0.12
12.7 mm (1/2") gypsum board		0.08
11 mm (7/16") OSB sheathing		0.11
ext. housewrap (air barrier)		0.000e+00
12.7 mm (1/2") air cavity (rainscreen)		0.15
fibre cement siding		0.03
exterior air film		0.03
TOTAL EFFECTIVE - 2.78 REQ'D.		2.88 (R 16.4)

Effective R Value Un-Heated Floors in contact with the ground (at perimeter)		
Description	Nominal RSI	Effective RSI
89 mm (3 1/2") concrete slab		0.014
63.5 mm (2 1/2") expanded polystyreen rigid insulation (cont. 1.2 m. at perimeter)		1.9 (R-10.8)
6 mil poly'n vapour barrier		0.000e+00
carpet underlay		0.14
carpet with fibrous pad		0.37
interior air film		0.22
TOTAL EFFECTIVE - 1.96 REQ'D.		2.64 (R 15.0)

Effective R Value Attic Access Hatches		
Description	Nominal RSI	Effective RSI
200 mm expanded polystyreen rigid insulation cont. on hatch panel		7.00 (R 39.7)
19 mm (5/8") gypsum board		0.1
interior air film		0.11
TOTAL EFFECTIVE - 6.91 REQ'D.		7.21 (R 40.9)

client **TIDMAN CONSTRUCTION**

project **PROPOSED RESIDENCE**

address **2519 SHORE ACRES RD.**

municipality **THE TOWN OF SIDNEY, B.C.**

STEP ONE DESIGN
follow us on / join us on
instagram@steponehomedesign
victoria british columbia
contact info@steponedesign.ca
call O 778.433.1434 C 250.634.3729
visit www.steponedesign.ca

List of Drawings

ISSUED/REVISED

NO.	DATE	DESCRIPTION
	061125	B.P. Submission

drawing no. 22010.1
date June 11 / 2025
scale as shown
designed by m.dunsmuir | mcd
sheet no. A 2 | of A 3