

Site Plan Of:
Amended Lot 12 (DD 1283261I), Section 13, Range 4 East,
North Saanich District, Plan 4447.
P.I.D. 001-401-157

Wey Mayenburg Land Surveying Inc.

www.weysurveys.com

#4-2227 James White Boulevard

Sidney, BC V8L 1Z5

Telephone (250) 656-5155

File: 210258\SIT\NO

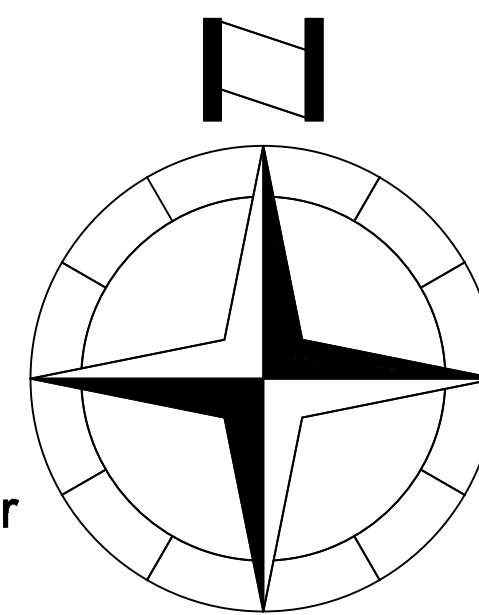
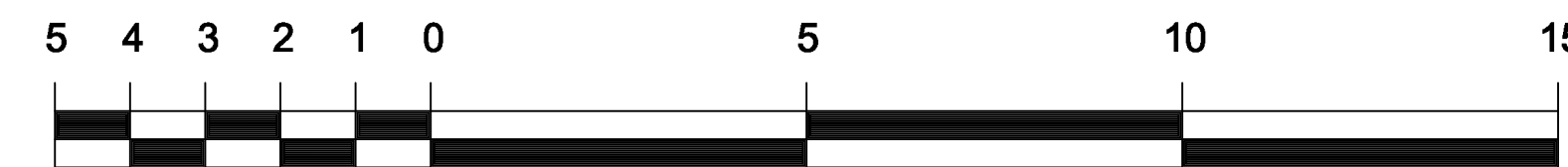
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AVERAGE NATURAL GRADE

(A) 4.90 + (B) 5.00 +

(C) 4.90 + (D) 4.90 = 19.70

19.70 divided by 4 = 4.92 m. Ave. Grade



Lot A

Plan EPP14900

Amd. Lot 12
Plan 4447

**FIRE PROTECT SOFFITS FOR PORTIONS
OF SOFFITS ONLY THAT PROJECT
WITH 1.20 m. OF PROPERTY LINE AS
DENOTED BY SHADED AREA,
REFER TO DETAIL PROVIDED D6/A12**

SITE DATA		R-1.1
ITEMS	PERMITTED	PROPOSED
LOT AREA		1019.80 sq.m.
LOT COVERAGE		
- FIRST STOREY (INCLUDES PATIO & PORCH)	35 % (356.93 sq.m.)	28.45 % (290.13 sq.m.)
- SECOND STOREY	30.0 % (305.94 sq.m.)	11.90 % (121.35 sq.m.)
SETBACKS		
- FRONT (North)	7.50 m.	2.30 m. (exist.)
- REAR (South)	5.50 m.	>5.00 m. (exist.)
- RIGHT SIDE (East)	1.50 m.	>1.50 m. (exist.)
- LEFT SIDE (West)	1.50 m.	1.86m. (exist.)
GARAGE		33.82 sq.m.
RIII DING HEIGHT	5.00 m.	4.08 m.

Lot 2
Plan 32601

Haro Strait

client **TIDMAN CONSTRUCTION**

PROPOSED RESIDENCE

address **2519 SHORE ACRES RD.**

STEP ONE

DESIGN

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List of Drawings	
A1	SITE PLAN
A2	PLANS, ELEVATIONS & SECTIONS
A3	DETAILS

ISSUED/REVISED		
NO.	DATE	DESCRIPTION
	061125	B.P. Submission

drawing no.	22010.1	

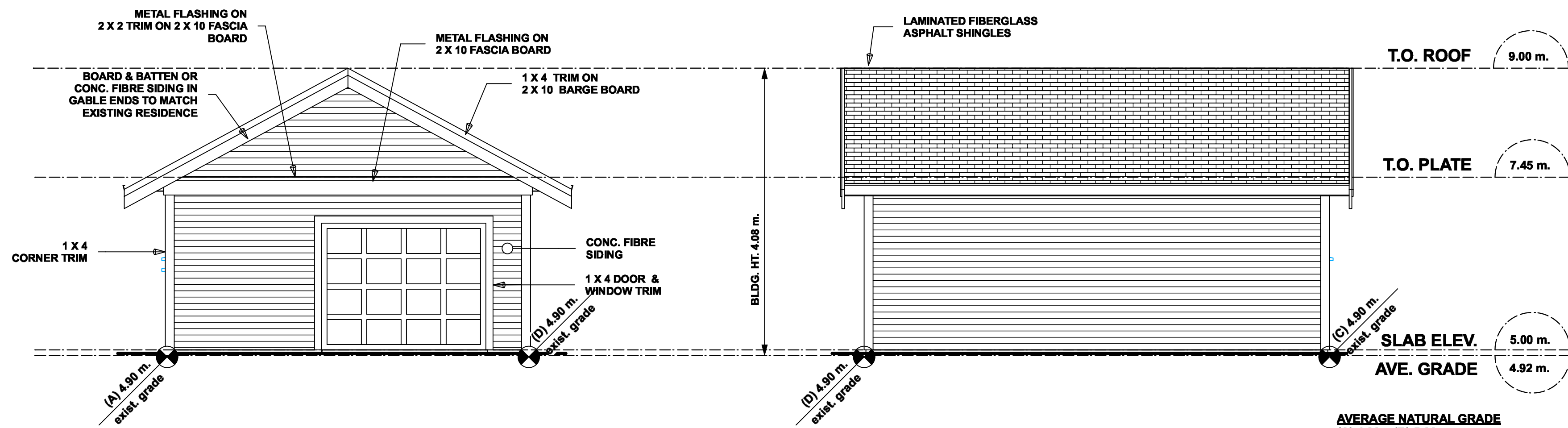
date	June 11 / 2025
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scale	as shown
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designed by m.dunsmuir	mcd
sheet no.	of

A 1

A 3



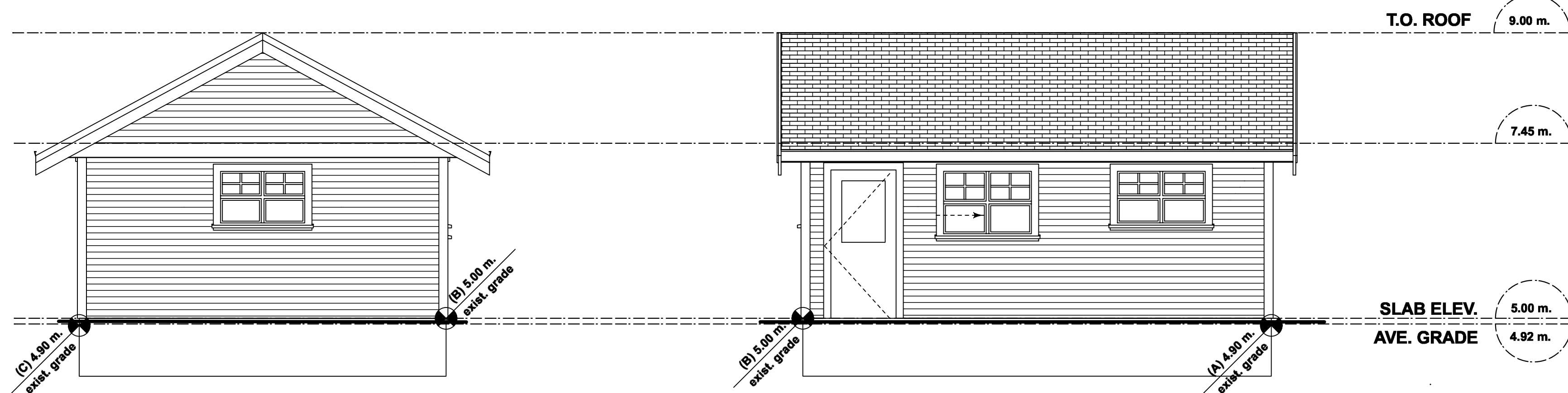
1 Front (East) Elevation

Scale: 1/4" = 1'-0"

2 Right (South) Elevation

Scale: 1/4" = 1'-0"

AVERAGE NATURAL GRADE
(A) 4.90 + (B) 5.00 +
(C) 4.90 + (D) 4.90 = 19.70
19.70 divided by 4 = 4.92 m. Ave. Grade

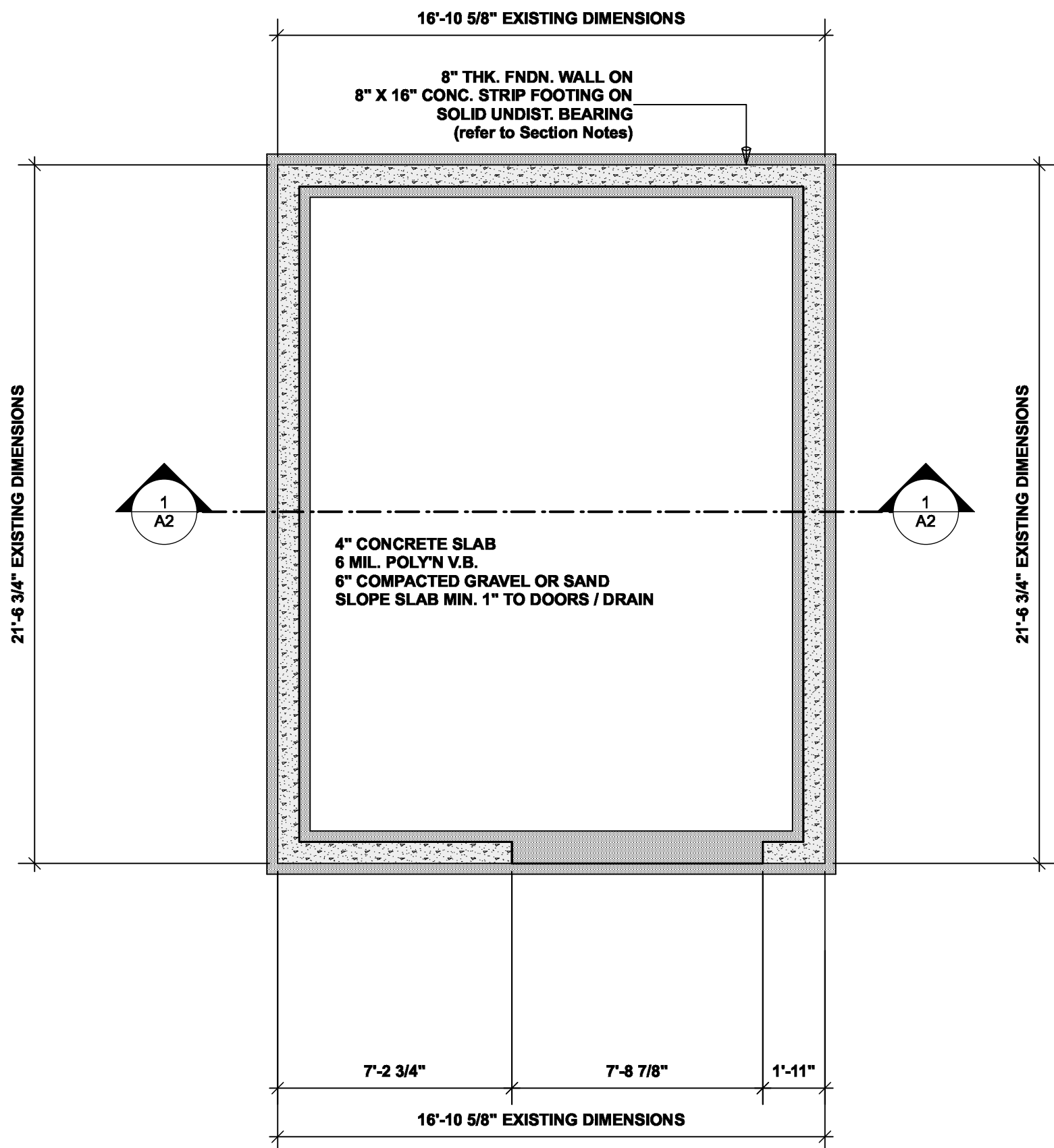


3 Rear (West) Elevation

Scale: 1/4" = 1'-0"

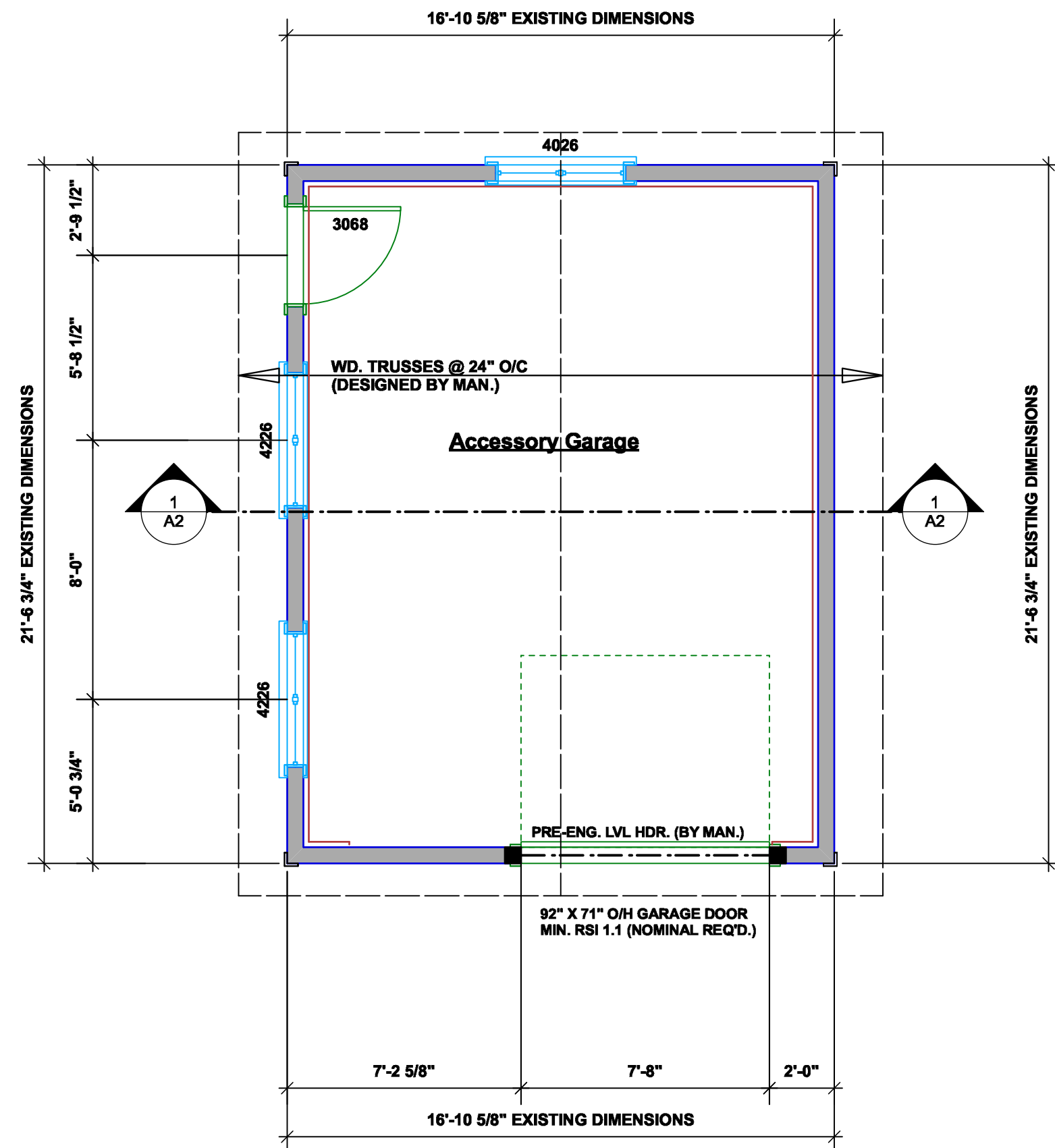
4 Left (North) Elevation

Scale: 1/4" = 1'-0"



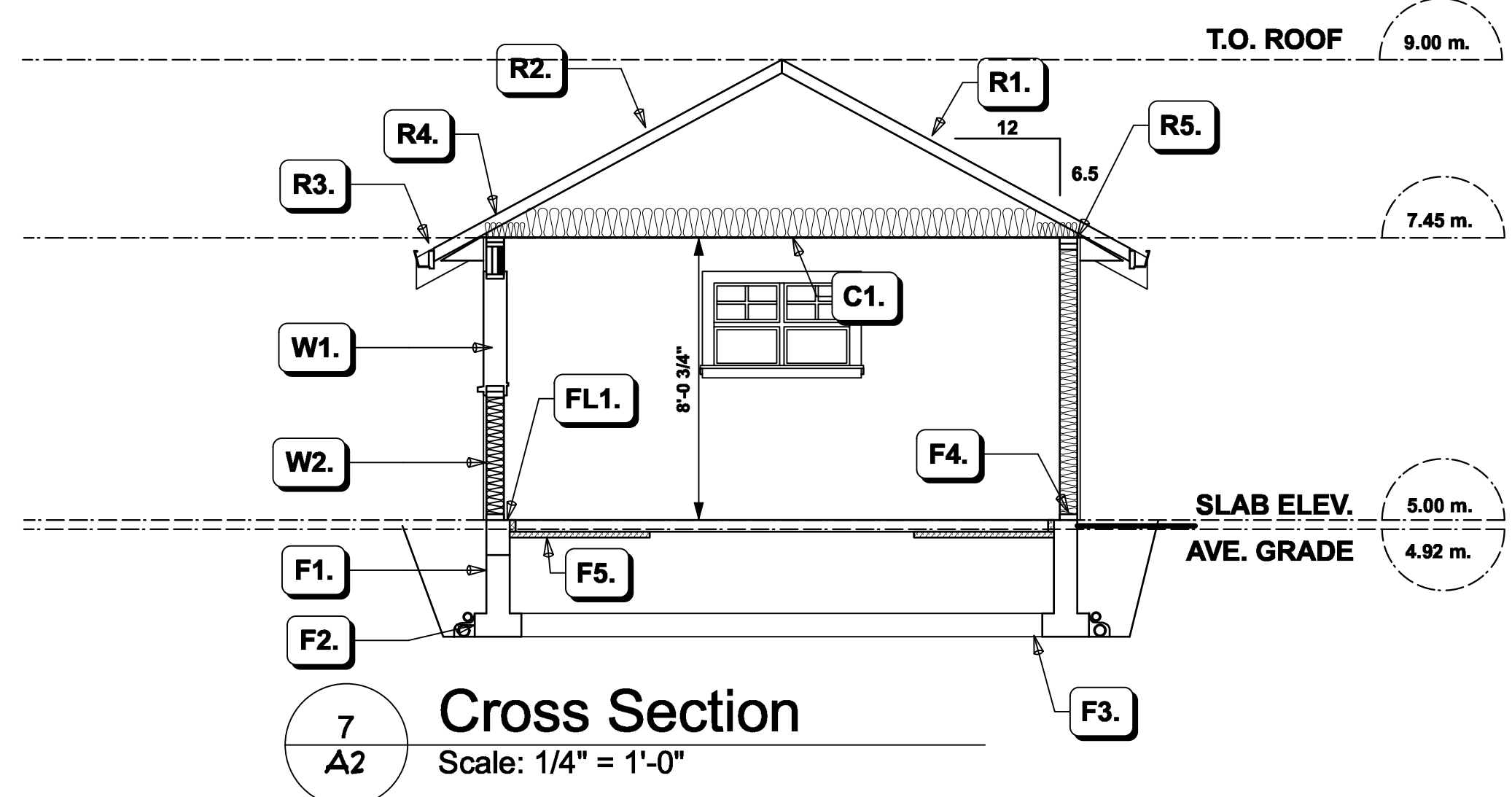
5 Foundation Plan

Scale: 1/4" = 1'-0"



6 Garage Plan

Scale: 1/4" = 1'-0"



Cross Section

Scale: 1/4" = 1'-0"

ROOFS & CEILINGS

- R1. LAMINATED ASPHALT SHINGLES ON 1/2" PLYWOOD WD TRUSSES (DESIGNED BY MANUF.)
- R2. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. FOR ROOFS MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (VENTING TO COMPLY WL. 9.19.2.)
- R3. PRE-FIN. ALUMINUM FASCIA GUTTER C/W BUILT IN LEAF / DEBRIS GUARD 2 X 4 SUB. FASCIA BD. ON VENTED SOFFIT
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 2 1/2" CLEAR BETWEEN 14" LOOSE FILLED BLOWN-IN INSULATION AND SHEATHING. (COMPLY WL. 9.36.2.6.3 AT ROOF WALL CONNECTION, SEE APPENDIX A B.C. BLDG. CODE.)
- C1. 5/8" GYP' BD. ON 6 MIL. POLY'N. V.B. ON U.S. ROOF TRUSSES OR T.J.I. C.L.G. JOISTS (BY MAN.) 14" LOOSE FILLED BLOWN-IN INSULATION SEE EFFECTIVE R-VALUE, CEILINGS BELOW ATTICS & EFFECTIVE R-VALUE ATTIC ACCESS HATCHES

FLOORS & WALLS

- FL1. FIN. FLOORING ON 4" CONCRETE SLAB 6 MIL. POLY'N. V.B. 6" COMPACTED GRAVEL OR SAND PROVIDE CONT. 1.2 M. R. RIGID INSULATION TO U.S. SLAB (AS NOTED, SEE SECTION NOTE F5.) SEE EFFECTIVE R-VALUE, UN-HEATED SLABS BELOW FROST LINE SEE 9.36.2.8.4
- W1. DOUBLE GLAZING IN THERMAL BREAK FRAMES 2/2 X 10 LINTEL OVER (TYPICAL) METAL FLASHING C/W 1" END DAMS OVER (NOTE: GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. TO BE SHATTERPROOF (SP)) ALL WINDOWS TO COMPLY WITH B.C. BLDG. CODE 2012 9.7. & 9.36.2.7 PREFORMANCE GRADE 30 WATER PRESSURE TEST 260 PA (BASED ON MT. TOLMIE ROUGH TERRAIN) ALL WINDOWS AND DOORS MUST COMPLY WL. TABLE 9.36.2.7. WL. MAX. U-VALUE OF 1.80 MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION AND SUBJECT TO MUNICIPAL BUILDING INSPECTION. ALL WINDOWS TO COMPLY WL. 9.7 & 9.36.2.7.
- W2. EXTERIOR WALLS ABOVE GRADE CONC. FIBRE SIDING OR CONC. FIBRE SHINGLE SIDING ON (10 MM, MIN., AIR SPACE REQUIRED) 1/2" P.T. WOOD STRAPPING ON EXTERIOR HOUSEWRAP (AIR BARRIER) 7/16" PLYWOOD SHEATHING ON 2 X 6 STUDS @ 16" O.C. R-20 FIG BATT INSULATION 6 MIL. POLY'N. V.B. 1/2" GYPSUM BOARD SEE EFFECTIVE R-VALUE, WALLS ABOVE GRADE

FOUNDATION WALLS

- F1. DAMPROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL ON UNDISTURBED SOIL (SOLID BEARING)
- F2. 16" X 8" CONC. FOOTINGS ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK CONNECT TO CITY STORM DRAIN SYSTEM
- F4. ANCHOR BOLTS C/W SILL GASKETS
- F5. GARAGE SLAB INSULATION COMPLY WL. 9.36.2.8.4 (B) (I) INSTALL 2" CONT. RIGID INSULATION CONT. 1.2 HORIZ. AT INTERNAL PERIMETER OF SLAB PROVIDE THERMAL BREAK AT EDGE OF SLAB AT LEAST 50% OF REQUIRED THERMAL RESISTANCE

EFFECTIVE RSI VALUES FOR CONSTRUCTION ASSEMBLIES

Effective R Value Ceilings below Attics	Nominal RSI	Effective RSI
Description		
89 mm F/G loose filled insulation in typ. wood trusses	1.66 (R 9.4)	1.47 (R 8.3)
280 mm F/G loose filled insulation on top		5.25
19 mm (5/8") gypsum board		0.1
interior air film		0.11
TOTAL EFFECTIVE - 6.91 REQ'D.		6.93 (R 39.3)

Effective R Value Walls above grade	Nominal RSI	Effective RSI
Description		
R-20 batt insulation in 2 X 6 studs @ 16" O/C	3.34 (R 19)	2.36 (R 13.4)
interior air film		0.12
12.7 mm (1/2") gypsum board		0.08
11 mm (7/16") OSB sheathing		0.11
ext. housewrap (air barrier)		0.000e+00
12.7 mm (1/2") air cavity (rainscreen)		0.15
fibre cement siding		0.03
exterior air film		0.03
TOTAL EFFECTIVE - 2.78 REQ'D.		2.88 (R 16.4)

Effective R Value Un-Heated Floors in contact with the ground (at perimeter)	Nominal RSI	Effective RSI
Description		
89 mm (3 1/2") concrete slab		0.014
63.5 mm (2 1/2") expanded polystyrene rigid insulation (cont. 1.2 m. at perimeter)		1.9 (R-10.8)
6 mil poly'n vapour barrier		0.000e+00
carpet underlay		0.14
carpet with fibrous pad		0.37
interior air film		0.22
TOTAL EFFECTIVE - 1.96 REQ'D.		2.64 (R 15.0)

Effective R Value Attic Access Hatches	Nominal RSI	Effective RSI
Description		
200 mm expanded polystyrene rigid insulation cont. on hatch panel		7.00 (R 39.7)
19 mm (5/8") gypsum board		0.1
interior air film		0.11
TOTAL EFFECTIVE - 6.91 REQ'D.		7.21 (R 40.9)

client **TIDMAN CONSTRUCTION**

project **PROPOSED RESIDENCE**

address **2519 SHORE ACRES RD.**

municipality **THE TOWN OF SIDNEY, B.C.**

STEPONE DESIGN

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NO.	DATE	DESCRIPTION
	061125	B.P. Submission

drawing no. 22010.1

date June 11 / 2025

scale as shown

designed by m.dunsmuir

sheet no. A 2

of mcd

of A 3