



## TOWN OF SIDNEY

### Report to Advisory Planning Commission

**TO:** Chair and Commission Members  
**FROM:** Celina Fletcher, Municipal Planner  
**DATE:** December 2, 2025      File No. 9601 Fifth Street (Land)  
**SUBJECT:** Development Permit Application No. DP100854  
9601 Fifth Street

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#### **PURPOSE:**

The purpose of this report is to provide information on a proposed three-unit residential development and to seek comments and a recommendation from the Advisory Planning Commission to Council on the form and character of the development.

#### **DESCRIPTION OF PROPOSED DEVELOPMENT:**

This development proposal is in close proximity to 9601 Fourth Street and 2436 Ocean Avenue, where two other development permit applications have been submitted to redevelop each of those sites with a three-unit residential development along Ocean Avenue. While each development is given independent consideration, staff believe this is a unique opportunity for the Advisory Planning Commission to review the designs in conjunction with one another.

The proposed development would involve the construction of a building containing three residential dwelling units on the subject property (*see Drawing Set V2 in Appendix B*). An existing single-family dwelling would be removed from the site to allow for the proposed development. All three dwelling units will have access from Ocean Avenue, with on-site pedestrian walkways to Fifth Street and the rear lane. Two of the dwelling units are designed to have living space and a primary bedroom on the main floor and two bedrooms on the second storey. The third dwelling unit would be contained on the third floor, accessed by a stairwell and an elevator. Additional storage areas for each dwelling unit are to be provided at the rear of the building. The building would be a modern architectural style with a flat roof, and a combination of vertical wood shiplap siding, corrugated metal, and stucco on the exterior facades. One on-site vehicle parking space for each dwelling unit is to be provided at the rear of the property via the lane.

#### **LOCATION:**

The subject property is located on the northeast corner of the roundabout intersection at Fifth Street and Ocean Avenue (*see aerial photo attached as Appendix A*). The surrounding neighbourhood to the north, east, and west is established with single-family dwellings of varying ages. The Sidney/Anacortes ferry terminal and Tulista Park are located to the south of the property, across Ocean Avenue. There is a pedestrian access but no vehicle access from the rear lane out to Ocean Avenue. The following table outlines the Official Community Plan, Zoning designations and existing land uses on surrounding properties:

**Table 1: Surrounding Land Use, Zoning and OCP Designations**

	<b>OCP Designation</b>	<b>Zoning Designation</b>	<b>Current Land Use(s)</b>
North	Multi-Unit Residential	RM5 - Townhouse Residential	Single-family dwellings, 1-2 storeys
East	Intensive Neighbourhood Residential	R1 - Intensive Ground-Oriented Residential	Single-family dwellings, small-lot single-family dwellings, townhouses, 1-2 storeys
South	Institutional	U2 - Regional Transportation (Land)	Sidney/Anacortes ferry terminal
West	Multi-Unit Residential	RM5 - Townhouse Residential	Single-family dwellings, 1-2 storeys

**OFFICIAL COMMUNITY PLAN BYLAW NO. 2240:**

The subject site is designated as Multi-Unit Residential in the Town of Sidney Official Community Plan (OCP). Located on the south side of the downtown core, the OCP encourages increased residential density, particularly along the Fifth Street corridor, in order to provide for a pedestrian-friendly neighborhood close to downtown amenities. Staff are of the opinion that the proposed development generally complies with the objectives and policies in the OCP, including those that encourage a variety of housing types and forms.

Although the OCP does not currently address small-scale multi-unit housing (SSMUH) typologies or densities that are contained within the recently updated Zoning Bylaw, these are explicitly excluded from the requirement to be consistent with official community plans. OCPs are not required to be updated immediately to comply with SSMUH requirement, so there may be some inconsistencies with small-scale multi-unit housing building forms until the Town's Official Community Plan is updated as per Bill 44.

**ZONING BYLAW NO. 2275:**

The subject property is currently zoned Townhouse Residential (RM5), the intent of which is to provide for townhouse housing at a maximum height of 2.5 storeys, and single- and two-family housing, where permitted by this Bylaw.

Earlier this year, the Zoning Bylaw was updated to ensure consistency with Provincial legislation to allow for small scale multi-unit housing on multi-family zoned properties that are smaller than 750 sqm in area as they were previously restricted to single- and two-family dwelling uses. The Zoning Bylaw now allows up to four dwelling units on the subject property, provided that the requirements of the R2 zone in Sections 5.2.1, 5.2.2, and 5.2.3 are met. Staff have reviewed the proposal and have determined that it is in full conformance with the Zoning Bylaw. A zoning comparison table has been included as Appendix D for reference.

**OFF-STREET PARKING AND LOADING BYLAW NO. 2140**

The proposed development complies with the bylaw requirements by providing one standard vehicle parking space for each dwelling unit, at a total of three parking spaces. The parking spaces are located at the rear of the property, accessed by the lane. There are no bicycle parking requirements for this type of residential development.

**TREE PRESERVATION BYLAW NO. 2138:**

The applicant has submitted an arborist report by M.B. Arboriculture assessing the existing protected trees on and adjacent to the subject property. The report provides a detailed evaluation of the condition and anticipated impacts to each tree. There is one protected Arbutus tree located on the property that is proposed for removal due to the proposed raising of grade to match the elevation of the sidewalk on Ocean Avenue. Three protected boulevard trees, a birch tree, Douglas fir tree, and Willow tree, along the southwest and south property lines, are also recommended for removal in the arborist report due to poor condition and impacts from the proposed redevelopment. The report has provided recommendations to protect and reduce impacts to the remaining non-protected tree on-site. The recommendations to remove

the four protected trees and to protect the one non-protected tree have been reviewed and accepted by the Town's arborist.

The removal of any protected trees would require the applicant to replace the protected trees at the ratios outlined in section 10.1 of Tree Preservation Bylaw No. 2138. The applicant will be required to submit an application for tree removal to the Director of Engineering for approval. Upon approval, the applicant would be required to pay in lieu for any required replacement trees that are not able to be planted on the property.

### **MULTI-UNIT RESIDENTIAL DEVELOPMENT PERMIT GUIDELINES:**

As the property is located within an area designated under the OCP as Multi-Unit Residential, new development on the site is subject to the General Form and Character, General Residential, and Neighbourhood Townhouse & Multi-Unit Residential Development Permit Area Guidelines. The purpose of these guidelines is to address the form and character of the proposed development, including landscaping and the siting, exterior design and finish of the building.

Overall, staff are of the opinion that the proposed development is generally consistent with the applicable design guidelines. There are several guidelines that staff would like to highlight:

#### **General Form and Character**

*24.4.15 Use simple shifts in massing and changes in exterior colours and textures to articulate façades.*

*25.6.13 Articulate the façade using design elements that are inherent to the building as opposed to being decorative. For example, create depth in building façades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a by-product of massing.*

*25.3.30 Incorporate subtle vertical and horizontal recesses / articulation on large primary façades (e.g. cladding details).*

*25.6.9 Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include:*

- a. Articulating façades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks;*
- b. Repeating window patterns on each step-back and extension interval;*
- c. Providing a porch, patio, deck, covered entry, balcony, and/or bay window for each interval; and*
- d. Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval.*

The building includes elements such as balconies and step backs, creating subtle recesses in the building face that add depth and detail, particularly on the south and east sides of the building. The south and east façades further articulate the building through the variation and composition of materials used. Staff believe the west façade could be better integrated with the rest of the building by introducing more visual interest and utilizing similar treatments present on the south and east façades.

*24.4.22 Prioritize high efficiency heat recovery ventilation systems and electric heat pump technologies.*

*25.3.19 Noise producing mechanical equipment should be located in order to reduce disturbance to neighbouring properties, with consideration of acoustic and visual screening.*

*25.3.34 Where screening structures are necessary, they should use consistent design, materiality, and scale that complements the building.*

The proposal includes one heat pump per unit, to be screened with vertical wood shiplap, matching the materials used throughout the building face.

*25.3.3 Where applicable, site and design buildings to consider view corridors to the ocean and natural features from new and existing public spaces.*

The building is designed so that the balconies of each unit are oriented southwards with views to the ocean.

*25.3.8 Provide pedestrian pathways on site to connect:*

- a. Main building entrances to public sidewalks and open spaces;*
- b. Adjacent streets, where the site is large or has multiple frontages;*
- c. Visitor parking areas to building entrances; and*
- d. From the site to adjacent pedestrian/ trail/cycling networks (where applicable).*

*25.3.46 Locate trees, shrubs, and other landscaping appropriately to optimize sight lines and pedestrian circulation.*

Pedestrian connections are provided on site to connect the main entrances of the building to both Ocean Avenue and Fifth Street, as well as the parking areas at the rear of the property abutting the lane. Landscaped areas border the pathways, softening the hardscaped areas on-site without obstructing sight lines.

*25.3.35 Ensure main building entries are clearly visible with direct sight lines from the fronting street.*

*25.3.36 Provide weather protection such as awnings and canopies at primary building entries.*

The main entrances to each unit are directly visible to their respective fronting street and recessed into the building, providing weather protection. Entrances to the storage areas at the rear of the building are also sheltered by the balcony above.

*25.4.21 Use textured, permeable paving for hard surfaced areas such as walkways, patios, driveways, and parking areas.*

*25.4.22 Hard-surfaced driveways and parking areas should be surfaced with materials that avoid a monotonous appearance.*

Walkways and parking areas are to be surfaced entirely with permeable paving stones set in a herringbone pattern.

*25.3.17 Locate off-street parking and other 'back-of- house' uses (such as loading, solid waste collection, utilities, and parking access) away from public view or the view of adjacent properties.*

Storage, parking, and solid waste collection areas are located at the rear of the property, away from public view. Parking areas and waste collection would be accessed from the rear lane.

*25.3.4 Develop in a manner compatible with adjacent structures and uses.*

*25.3.41 Consider the colours and materials of adjacent or neighbouring buildings when selecting material and building colour to provide consistency and balance of the overall streetscape.*

While the proposed modern architectural style represents a shift from the traditional architectural style of the existing building on the property and found within the Orchard neighbourhood, it is compatible with the small lot developments directly to the east of the property between Orchard Avenue and Ocean Avenue, as well as the townhouse development at the corner of Orchard Avenue and Fifth Street. The proposed building uses traditional elements such as wood and neutral tones to provide consistency with surrounding properties while contributing towards a unified, modern aesthetic along the Ocean Avenue streetscape.

*25.3.24 Integrate new developments with the existing neighbourhood by considering the transition between building heights and massing, paying particular attention to building elevations visible from the public realm (waterfront, streetscapes).*

*25.3.25 Consider future land use direction when designing the transition in building heights from taller to shorter buildings both within and adjacent to the site.*

*25.3.28 Step back the upper storeys of buildings and arrange the massing and siting of buildings to consider shadowing on lower-level units, adjacent buildings, as well as public and open spaces such as sidewalks, plazas, and courtyards.*

The buildings in the surrounding neighbourhood were built under previous zoning regulations that only permitted up to 2.5 storeys in height; the current bylaw permits up to three storeys. The proposed building incorporates a step back at the third storey which helps to reduce the massing relative to the adjacent buildings from the street. Interest is maintained on the upper storeys of the



north and east elevations visible above the neighbouring properties through changes in colour and material.

**General Residential/ Neighbourhood Townhouse and Multi-Unit Residential**

*25.4.10 Architectural elements and materials should be chosen to convey a feeling of quality and permanence. Cladding materials and architectural detailing should break up large flat surfaces and monotonous façades.*

*25.3.39 Select building materials that will weather gracefully over time.*

A combination of vertical wood siding, corrugated metal, and stucco are used on the exterior facades of the building, creating distinct visual zones that help to further articulate the facades and provide visual interest.

*25.6.6 Developments which abut an area designated in Map 1: Land Use Plan for Neighbourhood Residential and Intensive Neighbourhood Residential use shall meet the following additional guidelines:*

- a. Vehicle access and egress will, where feasible, be from streets which do not abut an area designated as Neighbourhood Residential or Intensive Neighbourhood Residential; and*
- b. Garbage containers, garbage compounds and parking, loading unloading and storage areas will, where feasible, be orientated and located away from the areas designated for Neighbourhood Residential or Intensive Neighbourhood Residential use.*

*25.6.7 Vehicle access from the street should be limited to no more than one curb cut per property and be located on the secondary street, where possible. Impacts on pedestrians and the streetscape should be minimized.*

*25.3.11 Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.*

*25.3.12 Driveways on corner lots should be sited as far away from the intersection as possible.*

The property is located at the intersection of an arterial road and roadway designated as a provincial highway. The existing driveway and curb cut on Fifth Street is proposed to be removed, with parking areas to be accessed from the rear lane. Garbage containers are also accessed from the lane, which minimizes impact on front elevations and front yard landscaping.

*25.4.2 Design all residential buildings and units to have easy access to useable private or semiprivate outdoor amenity space.*

*25.4.11 Design and orient buildings so that windows and balconies overlook public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.*

*25.6.19 Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.*

*25.4.13 Limit overlook into adjacent properties' private spaces and interiors through use of skylights, clerestory/piano windows, and obscure glazing.*

*25.4.14 Upper-level decks, balconies, and exterior stairs should be oriented to avoid overlook and to incorporate privacy screening (see landscape guidelines).*

Each unit includes a private balcony oriented primarily towards the intersection, and one unit includes an additional balcony that faces the rear lane. The orientation of the balconies to the south helps to maximize sunlight penetration while providing semi-private outdoor spaces for each unit that are generally positioned away from view of other residences. Window openings are arranged in a way that appears to minimize direct sightlines into the adjacent residence to the north.

While the development conforms to the majority of design guidelines, staff would like to highlight the following items as potential areas for improvement and discussion:

*25.3.47 Provide landscaping in strategic locations throughout the site to frame building entrances, soften edges, screen parking garages, and break up long façades.*

*25.3.21 Avoid locating off-street parking between the front façade of a building and the fronting public street.*

The landscape plan includes shrubs along the south property line, framing pedestrian connections and building entrances on site.

However, there is a landscaped area proposed between the parking area and Ocean Avenue where the landscape plan notes boxwood shrubs will be planted. While the parking area is proposed to be lower than street level, staff recommend that the landscape plan be revised to include taller plantings or another form of screening to ensure parking areas at the rear of the property are less visible from Ocean Avenue.

*25.3.2 Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.*

*25.6.12 Buildings on corner lots should utilize prominent corner features.*

*25.3.13 Site buildings and orient primary façades and entries to the fronting street or a central open space to create street/edge definition and activity.*

*25.3.14 On corner sites, orient building façades and entries to both fronting streets.*

*25.3.15 Avoid large expanses of uniform materials and flat monotonous façades facing streets and public open spaces.*

*25.3.42 Building materials should be used consistently throughout all building elevations that are visible from the street and public open spaces.*

*25.6.14 Avoid blank walls at grade wherever possible by:*

- a. Locating enclosed parking garages away from street frontages or public open spaces; and*
- b. Using ground-oriented units and entries or glazing to avoid creating dead frontages.*

The south frontage includes well-articulated features that extend to the rear of the property, effectively orienting the building toward the street along Ocean Avenue. However, the west frontage facing Fifth Street is relatively uniform in comparison. Staff believe that the inclusion of design elements or treatments similar to those on the south façade would help improve the visual interest on the lower levels of the west elevation and better orient the building towards Fifth Street, ensuring the design maintains a level of articulation across both street frontages given that it is on a corner lot.

## DISCUSSION:

- There is a storm water pump station located in the lane behind this property. The Town requires ongoing access to this pump station and it may require protection, such as bollards, to ensure vehicles utilizing the laneway will not impact or impede access to the pump station. Engineering staff will work with the applicant on this.
- The subject property has a relatively low natural grade below 5 metres geodetic elevation. Development on properties with an existing elevation below 5 metres is guided by the Interim Flood Construction Level (FCL) Policy DV-014. As per the policy, the applicant has provided a report from a qualified Professional Engineer assessing flood hazard on the site and recommending a site-specific minimum floor elevation (FCL – flood construction level) for the development. The Engineer's report assesses the proposed elevations of the development, and states that the construction is safe for the uses intended as per legislation in section 56 of the *Community Charter*. As per the Town's policy, a covenant is required to be registered on title to require that the development be constructed in accordance with the Engineer's report. The covenant would also serve to notify future owners of the flood risk.

## RECOMMENDATION:

**That Development Permit Application No. DP100854 (to permit the form and character of a three-unit residential development) for the property at 9601 Fifth Street be approved, subject to the condition that the property owner shall, prior to the issuance of Building Permit:**

- 1. Address design guideline no. 25.3.47 (screening for parking), and 25.3.13-15 (orient west façade to fronting street), and 25.3.42 (consistent material treatments and visual interest on fronting streets) to the satisfaction of the Director of Development Services; and**

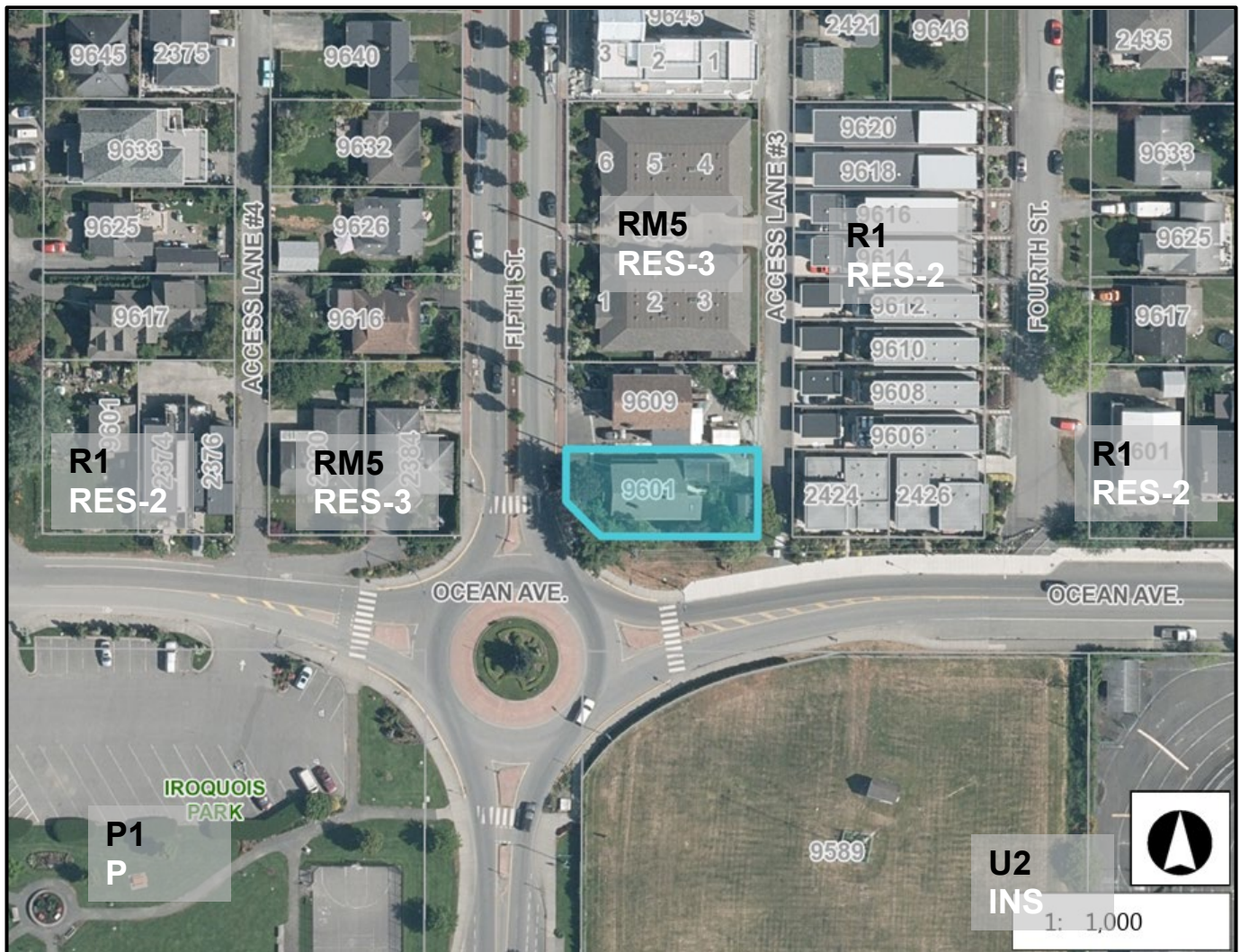
**2. Pay to the Town a deposit in the amount of 115% of the estimated cost to complete the hard and soft landscaping for the development.**

Submitted By:	Celina Fletcher, Municipal Planner
Concurrence:	Alison Verhagen, Director of Development Services

Attachments: Appendix A: Aerial photo of property  
Appendix B: Drawings  
Appendix C: Zoning Comparison Report

Presenter: Ryan Hoyt, Applicant

Appendix A: 2023 Aerial Photo of 9601 Fifth Street, showing Zoning (black) and OCP (white) designations, with the subject property outlined in blue.



#### OCP Designation Legend:

**P:** Park  
**INS:** Institutional  
**RES-2:** Intensive Neighbourhood Residential  
**RES-3:** Multi-Unit Residential



PROPOSED TRIPLEX:

9601 Fifth Street

SIDNEY, BC



KEY PLAN:



PROJECT INFORMATION:

SITE ADDRESS: 9601 FIFTH STREET  
SIDNEY, BC  
V8L 1T4

LOT 2, SECTION 10, RANGE 4 EAST,  
NORTH SAANICH DISTRICT, PLAN 29142

P.I.D.: 001-425-838

SCOPE OF WORK:

CONSTRUCTION OF A NEW TRIPLEX

PROJECT DIRECTORY:

DESIGNER: HOYT DESIGN CO.  
250.999.9893  
HELLO@HOYT.CO

GENERAL CONTRACTOR: TBD

STRUCTURAL ENGINEER: TBD

SURVEYOR: WEY MAYENBURG LAND SURVEYING INC.  
250.656.5155  
BRENT@WEYSURVEYS.COM

SHEET INDEX:

A0.0 COVER SHEET  
A0.1 SITE PLAN & ZONING ANALYSIS  
A0.2 LANDSCAPE PLAN  
A0.3 DEVELOPMENT PERSPECTIVES  
A0.4 DEVELOPMENT PERSPECTIVES

A1.1 FIRST FLOOR & ROOF PLANS  
A1.2 SECOND & THIRD FLOOR PLANS

A2.1 ELEVATIONS  
A2.2 ELEVATIONS

A3.1 SECTIONS

GENERAL NOTES:

1. All drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co. (HDC) and used in connection with this project are the property of Hoyt Design Co. and shall remain the property of HDC whether the work is completed or not, and HDC reserves the right to reuse any or all of the drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co. for any other work or project.

2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions are applicable to the project and the project site. The Contractor shall verify the Designer of any errors, omissions or discrepancies identified prior to the design prior to construction of the work. Commencement of construction in any way shall constitute acceptance of the Contractor of the accuracy of the existing site conditions, and means dimensions and elevations have been confirmed, verified and are acceptable.

3. The Contractor shall work with a B.C.C.S. to verify proposed dimensions, elevations and design of the proposed building or structure on the property prior to construction. The Contractor shall be responsible for any measurements with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.C.S. prior to construction.

4. The Contractor shall engage an Independent Engineer (as defined by the Province of B.C.) for the design and build review of all drawings and specifications. The Contractor shall engage an Independent Engineer (as defined by the Province of B.C.) for the design and build review of all drawings and specifications. The Contractor shall engage an Independent Engineer (as defined by the Province of B.C.) for the design and build review of all drawings and specifications. The Contractor shall engage an Independent Engineer (as defined by the Province of B.C.) for the design and build review of all drawings and specifications.

PROJECT

9601 Fifth St.

2441

ISSUE DATE: 25Oct20 REV 5

No.	Description:	Date:
1	25Jun17 Issue for Client Review	
2	25Jul09 Issue for Development Permit	
3	25Aug15 Issue for Coordination	
4	25Sep11 Issue for DP Revisions	
5	25Oct20 Issue for DP Revisions 2	

Cover Sheet

A0.0

<b>LOT AREA:</b>	493.0m2
<b>FLOOR ELEVATIONS:</b>	FIRST FLOOR: 3.00m
	SECOND FLOOR: 6.09m
	THIRD FLOOR: 9.19m
	PARKING: 2.85m

F.C.L.: 4.32m

**GROSS FLOOR AREA:**      **ALLOWABLE**

<b>LOT COVERAGE:</b>	<b>ALLOWABLE</b>
110,110%	15,001 (201.0 - 2)





SETBACKS: ALLOWABLE

FRONT (W):	4.50m
REAR (E):	4.50m
SIDE (S):	3.00m
SIDE (N):	2.00m

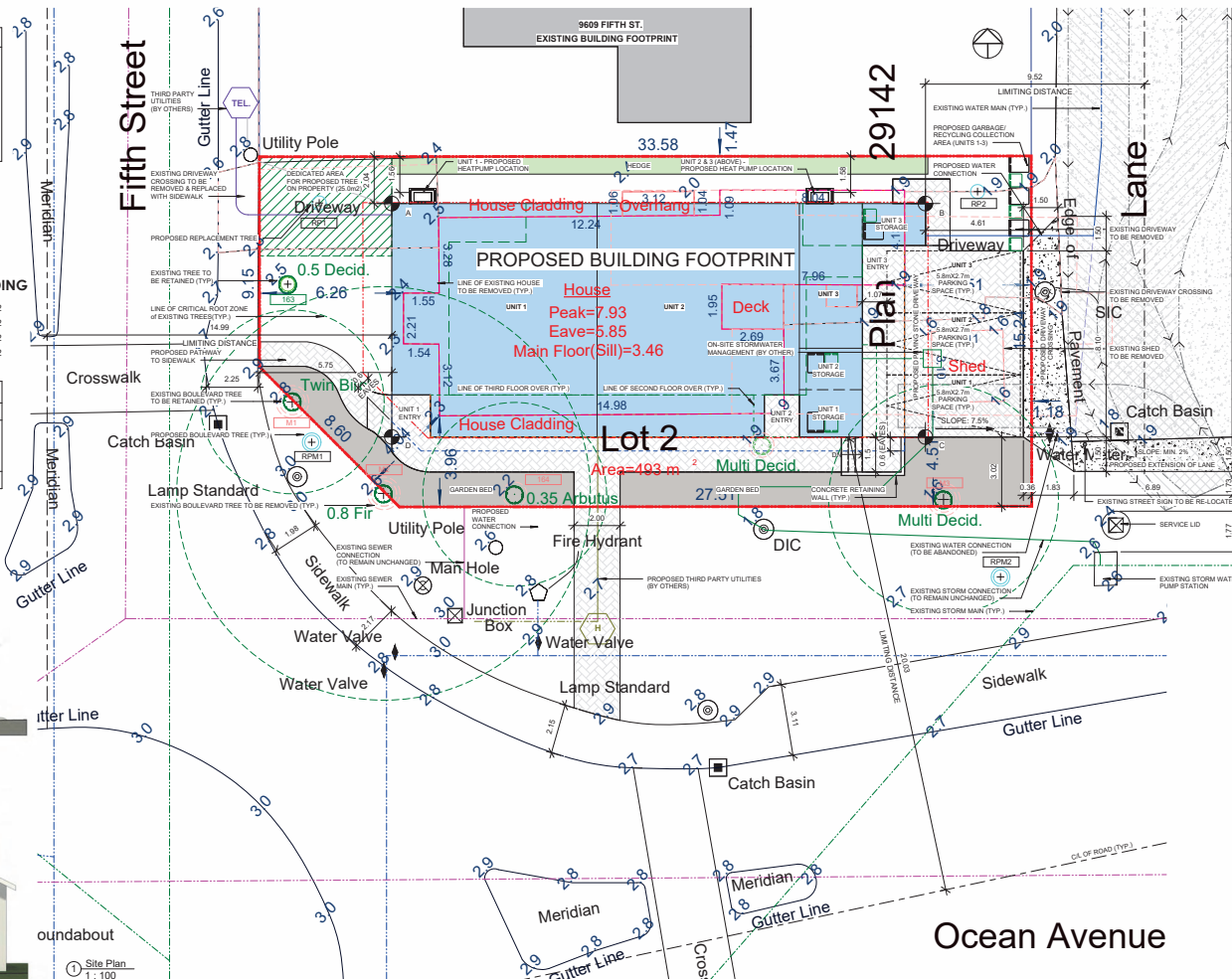
② Streetscape Elevation - West (Fifth St.)  
1 : 150

③ Streetscape Elevation - East (Lane)  
1 : 150

4 Streetscape (Ocean Ave) - 9601 Fifth St.  
1 : 100

TREE LEGEND	
TREE ID PER TREE PROTECTION PLAN	M1
EXISTING TREE (TO BE RETAINED)	
REPLACEMENT TREE (ON-SITE)	
EXISTING MUNICIPAL TREE (TO BE REMOVED)	
REPLACEMENT MUNICIPAL TREE	

AVERAGE GRADE CALC.	
POINT	ELEVATION
A	2.54m
B	1.90m
C	1.62m
D	2.49m
TOTAL	$8.55 / 4 = 2.14m$



**GENERAL NOTES:**

1. All drawings, plans, models, designs, specifications and other documents prepared by High Design Co (HDC) and used in connection with this project are instruments of service for the work shown therein (the "Work"). The Work is the property of High Design Co (HDC) whether the work was created or not, and HDC retains all rights in the Work. The Work shall be used solely for the purposes intended by HDC and shall not be used for any other purpose without the written consent of HDC.
2. It is the responsibility of the Contractor to verify all information and data provided by HDC and to apply it to the project and the proposed work. The Contractor shall be responsible for the accuracy or completeness of information identified within the Work, and for the appropriateness of the use of the information. Discrepancies or omissions of construction or any part thereof are the responsibility of the Contractor. The Contractor shall be responsible for the accuracy of the existing site conditions, and means dimensions. The Contractor has been cautioned, warned and is acceptable.
3. The Contractor shall work with a C.E.L.T. to verify all dimensions, elevations, existing conditions, proposed foundations or structures on the property and the proposed work. HDC shall not be responsible for any environmental work relating to identification, selection, design, or placement of remedial construction, or any other work. Remedial construction, identification, selection, design, or placement shall be confirmed with the regulatory agency.
4. The Contractor shall engage a Professional Engineer to prepare the drawings and a Professional Engineer review of all structural components and systems within the Work. The Contractor shall obtain the Professional Engineer's approval of the Work, and the Professional Engineer's signature on the drawings. Pursuant to licensure of the Work, the Professional Engineer shall verify the design and design required by the Structural Engineer, insure compliance and/or other engineering component thereof.

PROJECT **9601 Fifth St.** 2441

ISSUE DATE: 25Oct20 REV 5

Date:	Description:	No.:
25Jun17	Issue for Client Review	1
25Jul09	Issue for Development Permit	2
25Aug15	Issue for Coordination	3
25Sep11	Issue for DP Revisions	4
25Oct20	Issue for DP Revisions 2	5

## Site Plan & Zoning Analysis

## A0.1



① Landscape Plan  
1:100

TREE LEGEND	
TREE ID PER TREE PROTECTION PLAN	MT
EXISTING TREE (TO BE RETAINED)	+
REPLACEMENT TREE (ON-SITE)	+
EXISTING MUNICIPAL TREE (TO BE REMOVED)	+
REPLACEMENT MUNICIPAL TREE	+

LANDSCAPE LEGEND	
GRASS	
TREES/SHRUBS	
PROPOSED STRUCTURE	
EARTH	
CONCRETE/ASPHALT	
PERMEABLE PAVING STONE	



SWORD FERN



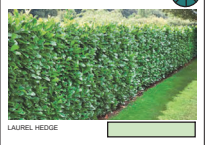
LAVERNER



REED GRASS



BOXWOOD EVERGREEN SHRUB



LAUREL HEDGE



PAVING STONE  
BELGARD - CLASSIC STANDARD "SHADED GREY"

- GENERAL NOTES:
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  2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions are accurate to the project and the project site. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the design prior to construction of the work. Construction shall proceed on the basis of the design and the Contractor shall be responsible for any discrepancies with respect to elevation, siting or placement. Any proposed changes with respect to the design shall be confirmed with the Designer in writing prior to construction.
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201-5325 Cordova Bay Road  
Victoria, BC V8Y 2L3  
250.999.9893  
hello@hoyt.co | www.hoyt.co

GENERAL NOTES:

1. All drawings, plans, models, designs, specifications and other documents prepared by Hight Design Co (HDC) and used in connection with this project are the instruments of service for the work shown in them (the "Work") and as such are and remain the property of HDC and shall remain the confidential and proprietary works of the copyright in them and in the Work, executed from them, and they shall not be used for any other work.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall be responsible for any omissions, omissions or discrepancies identified within the drawings prior to commencement of the work. Consequently, the Contractor shall be deemed to have accepted the drawings, acceptance of the existing site conditions, and verified dimensions and elevations have been completed, viewed and are acceptable.
3. The Contractor shall work with a B.C.S.I. to verify complete placement, siting and elevation of the proposed foundation and structure. With respect prior to commencing the work, HDC is not responsible for any encroachments with respect to elevation, siting or placement. The Contractor shall be responsible for elevation, siting or placement. With respect to elevation, siting or placement shall be confirmed with a B.C.S.I. prior to placement.

## PROJECT

**9601 Fifth St.**

2441

ISSUE DATE: 25Oct20 REV 5

Date:	Description:	No.:
25Jun17	Issue for Client Review	1
25Jul09	Issue for Development Permit	2
25Aug15	Issue for Coordination	3
25Sep11	Issue for DP Revisions	4
25Oct20	Issue for DP Revisions 2	5

Development Perspectives

## A0.3





SOUTHEAST PERSPECTIVE



EAST (LANE) PERSPECTIVE



NORTHWEST PERSPECTIVE



201-5325 Cordova Bay Road  
Victoria, BC V8V 2L3  
250.999.9893  
hello@hoyt.co | www.hoyt.co

GENERAL NOTES:

1. All drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co. (HDC) and used in connection with this project are the property of Hoyt Design Co. (HDC) and shall not be used for any other project without the written consent of Hoyt Design Co. (HDC). If the project is not completed, the project shall remain the property of Hoyt Design Co. (HDC) and shall not be used for any other project without the written consent of Hoyt Design Co. (HDC). If the project is not completed, the project shall remain the property of Hoyt Design Co. (HDC) and shall not be used for any other project without the written consent of Hoyt Design Co. (HDC).
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions are accurate to the project and the project site. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction in any way without the written consent of the Designer shall constitute acceptance of the existing site conditions, and means dimensions and elevations have been confirmed, verified and are acceptable.
3. The Contractor shall work with A.B.C.I.S. to verify proposed foundation, utility and elevation of the proposed building or structure on the property prior to construction. The Contractor shall notify the Designer of any discrepancies with respect to elevation, utility or placement. Any proposed changes with respect to elevation, utility or placement shall be confirmed with A.B.C.I.S. prior to execution.
4. The Contractor shall engage an Independent Engineer (not the Designer) to verify the design and build of the project. The Contractor shall notify the Designer of any discrepancies with the design required by the Structural Engineer, Trade Manufacturer or other independent Consultant report.

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Development Perspectives

A0.4

GENERAL NOTES:

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2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions are applicable to the project and the proposed use. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified prior to the start of construction or installation of the work. The Designer shall not be responsible for any errors, omissions or discrepancies identified after the start of construction or installation of the work.
3. The Contractor shall comply with all applicable laws, regulations, codes, standards, and specifications. The Contractor shall also comply with all applicable laws, regulations, codes, standards, and specifications. The Contractor shall also comply with all applicable laws, regulations, codes, standards, and specifications.
4. The Contractor shall engage an Independent Engineer (IE) to verify the design and construction of the project. The IE shall be a professional engineer registered in the province of British Columbia. The IE shall provide a written report to the Designer and the Contractor. The Designer shall not be responsible for any errors, omissions or discrepancies identified after the start of construction or installation of the work.

PROJECT

**9601 Fifth St.**

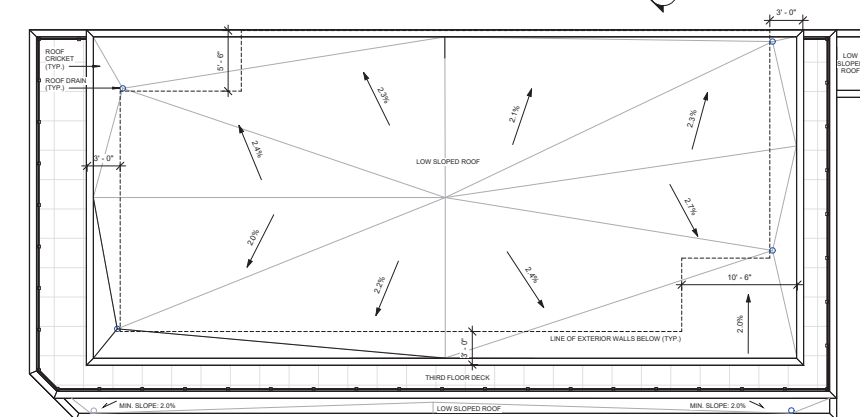
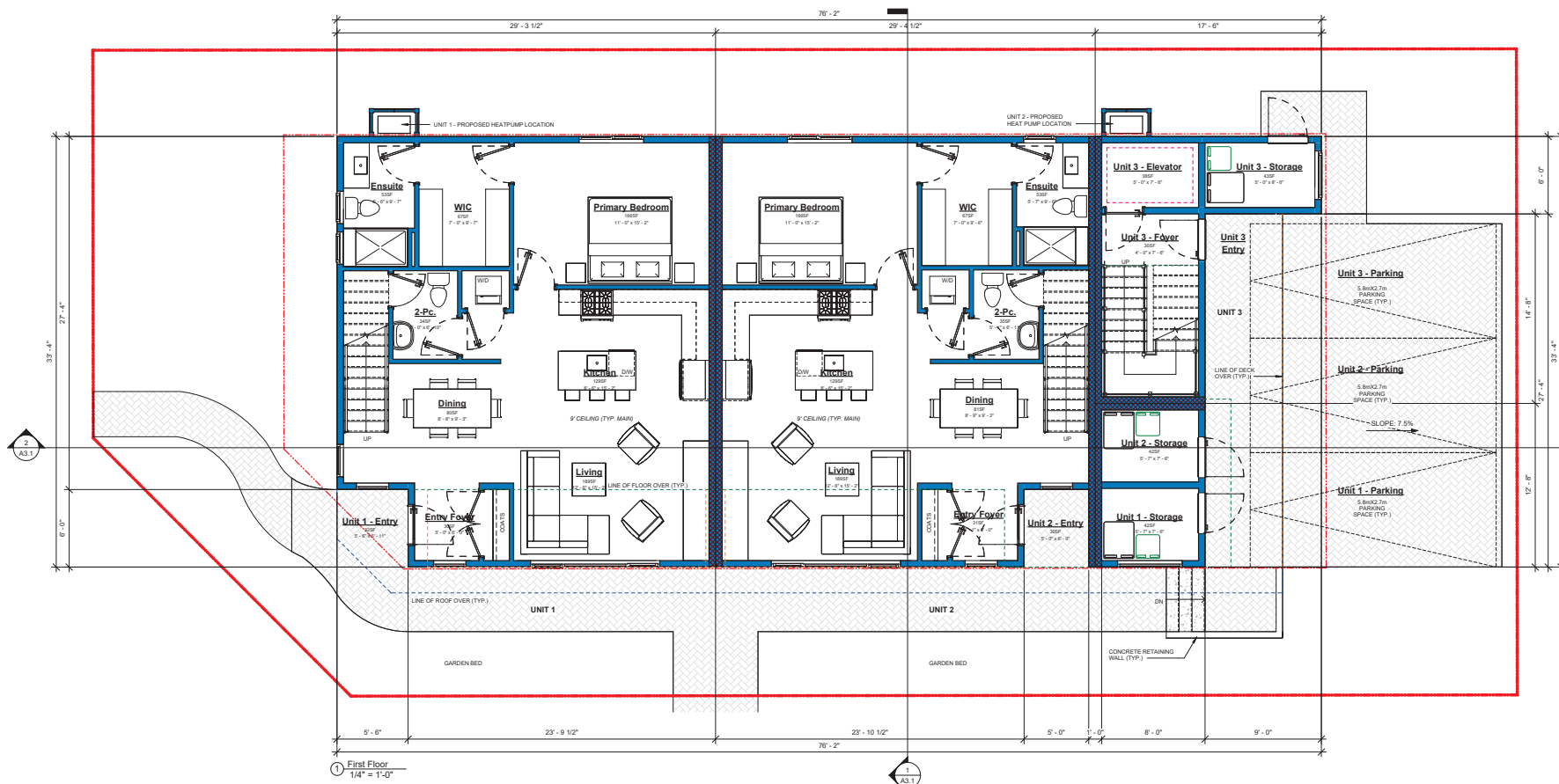
2441

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First Floor & Roof Plans

**A1.1**



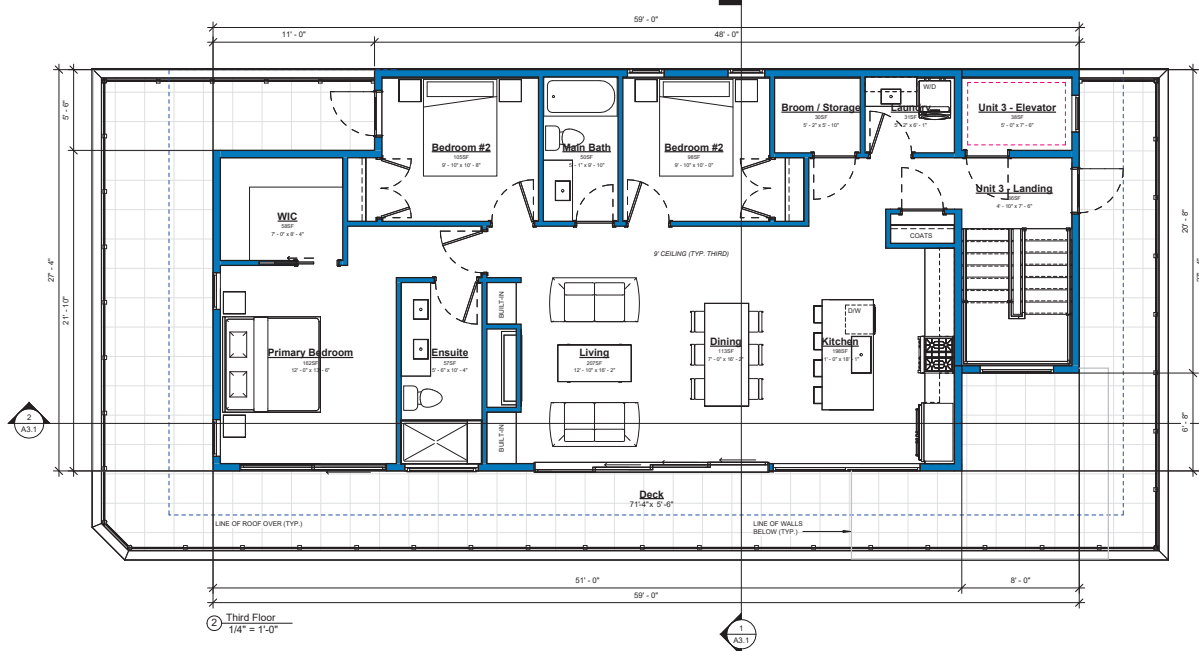
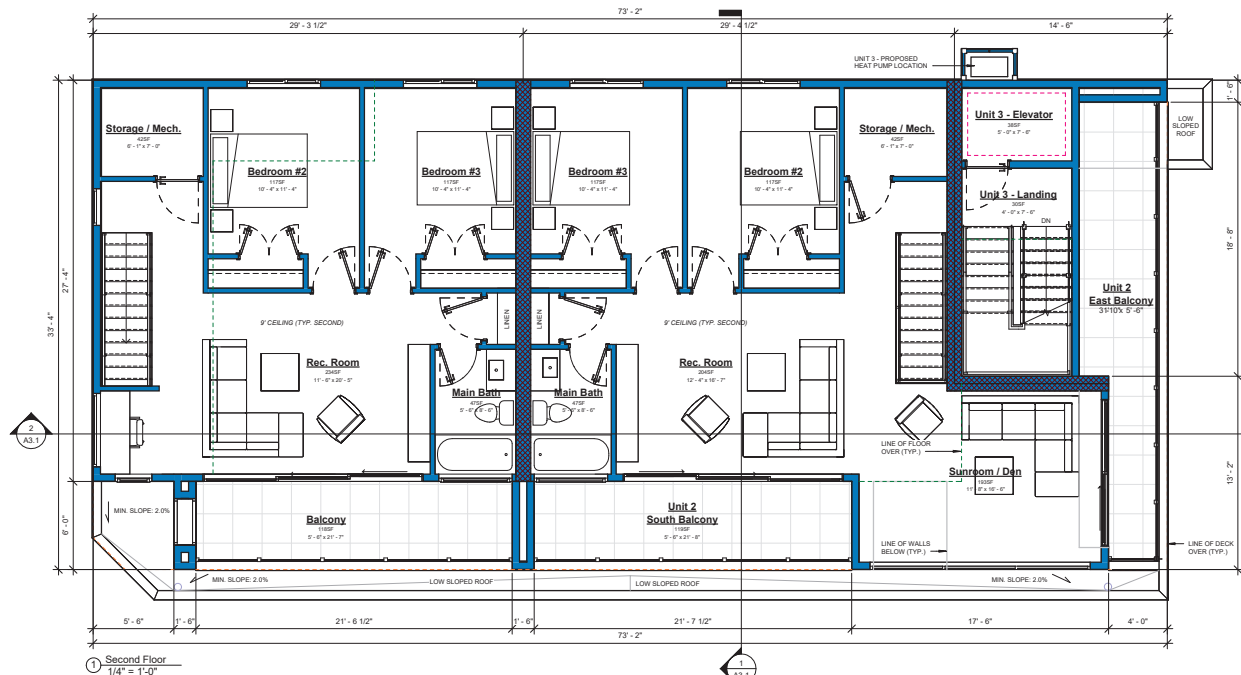
PLAN LEGEND	
WALL	[Symbol]
FIRE-RATED WALL	[Symbol]
ROOF OVER	[Symbol]
FLOOR OVER	[Symbol]
DECK OVER	[Symbol]
WALL BELOW	[Symbol]
POST	[Symbol]
FLUSH BEAM OVER	[Symbol]
DROP BEAM OVER	[Symbol]
GRIDER TRUSS OVER	[Symbol]
SIC DETECTOR	[Symbol]
DOOR SIZE	[Symbol]
WINDOW SIZE	[Symbol]
JOIST SPAN DIRECTION	[Symbol]
LINE OF INTERIOR VAULT	[Symbol]

FLOOR AREA	UNIT 1	UNIT 2	UNIT 3	BUILDING
FIRST FLOOR:	998 SF	1002 SF	229 SF	2229 SF
SECOND FLOOR:	801 SF	983 SF	172 SF	1956 SF
THIRD FLOOR:	N/A	N/A	1389 SF	1389 SF
TOTAL LIVING SF:	1799 SF	1985 SF	1770 SF	5554 SF

DRAWING SCALE: 1/4" = 1' - 0" ALL MEASUREMENTS ARE IN FEET



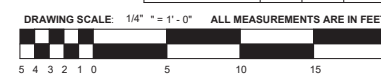
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  2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as shown on the drawings and to coordinate with the Designer of any errors, omissions or discrepancies identified before the start of construction. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified before the start of construction. The Contractor shall not be responsible for any errors, omissions or discrepancies identified after the start of construction.
  3. The Contractor shall work with a B.C.C.S. to verify all dimensions, elevations, and site conditions as shown on the drawings and to coordinate with the Designer of any errors, omissions or discrepancies identified before the start of construction. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified before the start of construction. The Contractor shall not be responsible for any errors, omissions or discrepancies identified after the start of construction.
  4. The Contractor shall engage a Professional Engineer (P.E.) to verify all dimensions, elevations, and site conditions as shown on the drawings and to coordinate with the Designer of any errors, omissions or discrepancies identified before the start of construction. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified before the start of construction. The Contractor shall not be responsible for any errors, omissions or discrepancies identified after the start of construction.



**PLAN LEGEND**

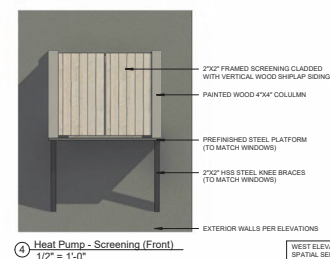
WALL	[Solid Blue Line]
FIRE-RATED WALL	[Dashed Blue Line]
ROOF OVER	[Dotted Blue Line]
DECK OVER	[Dash-dot Blue Line]
WALL BELOW	[Thin Solid Blue Line]
POST	[Small Square]
FLUSH BEAM OVER	[Thin Dashed Blue Line]
DROP BEAM OVER	[Thin Dotted Blue Line]
ORDER TRUSSES OVER	[Thin Dash-dot Blue Line]
S/C DETECTOR	[Circle with S/C]
DOOR SIZE	[Circle with 3/4]
WINDOW SIZE	[Circle with 3/4]
JOIST SPAN DIRECTION	[Arrow]
LINE OF INTERIOR VAULT	[Dashed Red Line]

FLOOR AREA	UNIT 1	UNIT 2	UNIT 3	BUILDING
FIRST FLOOR:	998 SF	1002 SF	223 SF	2223 SF
SECOND FLOOR:	801 SF	983 SF	172 SF	1956 SF
THIRD FLOOR:	N/A	N/A	1989 SF	1989 SF
TOTAL LIVING SF:	1799 SF	1985 SF	1770 SF	5554 SF











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WEST ELEVATION SPATIAL SEPARATION	
AREA OF EXPOSING BUILDING FACE: LIMITING DISTANCE (TO CIV. FIFTH ST.)	85.2 14.9
PERCENTAGE OF GLAZED AREA ALLOWABLE:	100%
AREA OF GLAZED OPENINGS ALLOWABLE:	N/A
AREA OF GLAZED OPENINGS PROPOSED:	N/A
PERCENTAGE OF GLAZED AREA PROPOSED:	N/A

SOUTH ELEVATION SPATIAL SEPARATION	
AREA OF EXPOSING BUILDING FACE:	184.9
LIMITING DISTANCE (TO CL OCEAN AVE):	19.90
PERCENTAGE OF GLAZED AREA ALLOWABLE:	98.0%
AREA OF GLAZED OPENINGS ALLOWABLE: (184.9m <sup>2</sup> x 0.98)	181.2
AREA OF GLAZED OPENINGS PROPOSED:	80.7%
PERCENTAGE OF GLAZED AREA PROPOSED:	43.6%

EXTERIOR FINISH & COLOURS	
ACRYLIC STUCCO EX023 "ASH"	
ACRYLIC STUCCO EX024 "EBONY"	
METAL CORRUGATED PANEL EX024 "EBONY"	
TRIM EX024 "EBONY"	
VERTICAL WOOD SHIP-LAP BEING	
LOW SLOPE ROOF 3-PLY MOD. BIT.	
SOFFIT	
VENTED ALUMINUM (BLACK)	

ELEVATION NOTES LEGEND	
1	2 PLY MOD BIT. ROOFING
2	ACRYLIC STUCCO
3	VERTICAL WOOD SHIPLAP SIDING
4	CORRUGATED METAL PANEL
5	ALUMINUM GUARD RAIL WITH GLASS INSERTS
6	SOLID WOOD SCREENING



GENERAL NOTES

1. All designs, plans, models, contract documents and other documents prepared by H&M Design Co (H&M) and used in connection with the project are the sole property of H&M Design Co. H&M Design Co reserves the right to use the project as it wishes and as such and remain the property of H&M Design Co. H&M Design Co shall retain the copyright in them and in the Work and in the Plans, and they shall not be used for any other work or project.
2. It is the responsibility of the Contractor to verify all design, plans, specifications and drawings applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies in the design, plans, specifications or drawings prior to commencement of the work. The Contractor shall be responsible for obtaining all necessary approvals or permits and shall ensure that all applicable codes, regulations, standards and elevations have been considered, verified and approved.
3. The Contractor shall engage with a C.E.L.S. to verify compliance planning, siting and evaluation of the proposed work. The Contractor shall be responsible for commencing the work. H&M is not responsible for any encroachments with relation to elevation, siting or compliance with the proposed work. The Contractor shall be responsible for obtaining all necessary approvals or permits and shall ensure that all applicable codes, regulations, standards and elevations, siting or placement shall be confirmed with the relevant authorities.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field verification of structural components of the work as required by the Authority for the design.
5. The Contractor shall be responsible for ensuring that the Contractor shall notify H&M of any changes to the design required by the Structural Engineer, thus ensuring that all other external parties are notified.

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## Elevations

## A2.1



GENERAL NOTES:

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2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and to the Work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified with the drawings or to be corrected in the drawings. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the dimensions and site conditions. Errors and omissions have been considered, verified and are acceptable.
3. The Contractor shall work with a C.E.L.S. to verify the proposed placement of the building and the proposed buildings or structures on the property prior to commencing the work. HDC is not responsible for any delays or inconveniences with respect to the location or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with the architect in accordance with the contract.

3. The Contractor shall work with a B.C.L.S. to verify compliance, planning, siting and evaluation of the proposed buildings or structures on the property prior to commencing the work. HCD is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the project as required by the Authority Having Jurisdiction. Prior to construction, the Contractor shall notify HCD of any changes to the design provided by the Structural Engineer, the manufacturer or other engineered component supplier.

4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify HCC of any changes to the design required by the Structural Engineer, truss manufacturer or other engineered component supplier.

### ELEVATION NOTES LEGEND

2	2 PLY MOD BIT. ROOFING
3	ACRYLIC STUCCO
4	VERTICAL WOOD SHIPLAP SIDING
5	CORRUGATED METAL PANEL
6	ALUMINUM GUARD RAIL WITH GLASS INSERTS
7	SOLID WOOD SCREENING

EAST ELEVATION SPATIAL SEPARATION		NORTH ELEVATION SPATIAL SEPARATION	
AREA OF EXPOSING BUILDING FACE: LIMITING DISTANCE (TO CL LANE)	90.2m/2 9.52m	AREA OF EXPOSING BUILDING FACE: LIMITING DISTANCE:	200.0 2.04m
AREA OF GLAZED AREA ALLOWABLE: AREA OF GLAZED OPENINGS ALLOWABLE: (60.7m <sup>2</sup> %)	70.0m <sup>2</sup> 73.0m <sup>2</sup>	PERCENTAGE OF GLAZED AREA ALLOWABLE: AREA OF GLAZED OPENINGS ALLOWABLE: (200.0m <sup>2</sup> %)	200.0 18.1m <sup>2</sup>
AREA OF GLAZED OPENINGS PROPOSED:	14.3m <sup>2</sup>	AREA OF GLAZED OPENINGS PROPOSED:	17.0m <sup>2</sup>
PERCENTAGE OF GLAZED AREA PROPOSED:	14.3m <sup>2</sup>	PERCENTAGE OF GLAZED AREA PROPOSED:	7.5m <sup>2</sup>



PROJECT

**9601 Fifth St.**

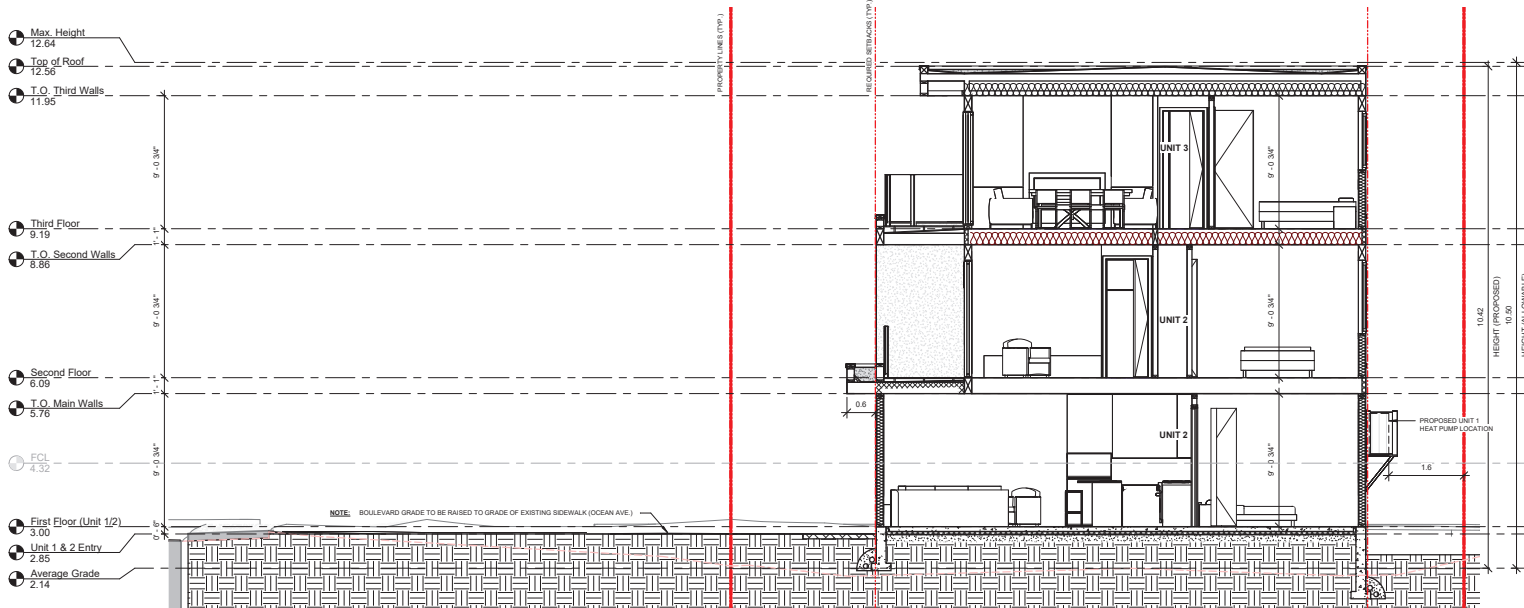
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### Elevations

## A2.2



# FRAMING NOTES:

1. ALL FRAMING TO BE IN ACCORDANCE WITH THE 2018 BC BUILDING CODE
2. ALL LUMBER TO BE SPF OR BETTER UNLESS NOTED OTHERWISE
3. ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2\"/>

# PLAN LEGEND

- WALL
- ROOF OVER
- FLOOR OVER
- DECK OVER
- WALL BELOW
- POST
- FLASH BEAM OVER
- DROP BEAM OVER
- GIRDER TRUSS OVER
- SIC DETECTOR
- DOOR SIZE
- WINDOW SIZE
- JOIST SPAN DIRECTION
- LINE OF INTERIOR VAULT

**HOYT DESIGN CO**

201-5325 Cordova Bay Road  
Victoria, BC V8V 2L3  
250.999.9893  
hello@hoyt.co | www.hoyt.co

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  3. The Contractor shall comply with all applicable laws, codes, regulations, and standards. The Contractor shall be responsible for obtaining all necessary permits and approvals. The Contractor shall be responsible for obtaining all necessary permits and approvals. The Contractor shall be responsible for obtaining all necessary permits and approvals.
  4. The Contractor shall engage an Independent Engineering Firm to provide engineering services for the project. The Contractor shall be responsible for obtaining all necessary permits and approvals. The Contractor shall be responsible for obtaining all necessary permits and approvals. The Contractor shall be responsible for obtaining all necessary permits and approvals.



FLOOR AREA	UNIT 1	UNIT 2	UNIT 3	BUILDING
FIRST FLOOR	998 SF	1002 SF	229 SF	2229 SF
SECOND FLOOR	801 SF	983 SF	172 SF	1956 SF
THIRD FLOOR	N/A	N/A	1368 SF	1368 SF
TOTAL LIVING SF	1799 SF	1985 SF	1770 SF	5554 SF



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# Sections

**A3.1**



PROPOSED TRIPLEX:  
9601 Fifth Street  
SIDNEY, BC



1. The proposed development is located on a corner lot and is designed to be a high-quality, modern triplex building that will provide a mix of housing types and sizes. The building is designed to be a high-quality, modern triplex building that will provide a mix of housing types and sizes.

2. The proposed development is located on a corner lot and is designed to be a high-quality, modern triplex building that will provide a mix of housing types and sizes. The building is designed to be a high-quality, modern triplex building that will provide a mix of housing types and sizes.

3. The proposed development is located on a corner lot and is designed to be a high-quality, modern triplex building that will provide a mix of housing types and sizes. The building is designed to be a high-quality, modern triplex building that will provide a mix of housing types and sizes.

4. The proposed development is located on a corner lot and is designed to be a high-quality, modern triplex building that will provide a mix of housing types and sizes. The building is designed to be a high-quality, modern triplex building that will provide a mix of housing types and sizes.

5. The proposed development is located on a corner lot and is designed to be a high-quality, modern triplex building that will provide a mix of housing types and sizes. The building is designed to be a high-quality, modern triplex building that will provide a mix of housing types and sizes.



WEST (FIFTH STREET) PERSPECTIVE



SOUTHWEST PERSPECTIVE



SOUTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE



IMAGE 1 (NORTH PERSPECTIVE): EXISTING LANE - SIGN TO BE REMOVED & RE-LOCATED FOR PROPOSED LANE EXTENSION



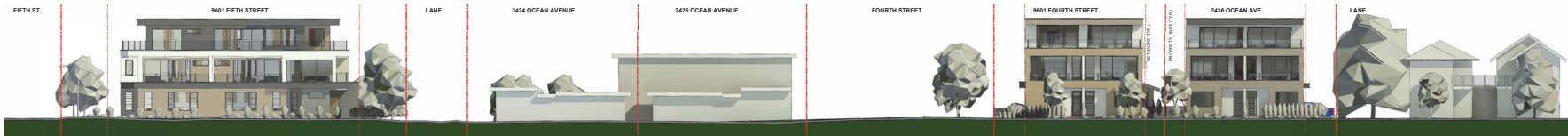
IMAGE 2 (NORTHEAST PERSPECTIVE): EXISTING LANE & PROPOSED DRIVEWAY CROSSING LOCATION



IMAGE 3 (SOUTH PERSPECTIVE): EXISTING STORM WATER PUMP STATION & SERVICE LID LOCATION



IMAGE 4 (SOUTH PERSPECTIVE): EXISTING STORM WATER PUMP STATION & SERVICE LID LOCATION



Streetscape Elevation (Ocean Ave)  
1:150

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Development  
Perspectives & Site  
Photos

A0.00

## Appendix C: Zoning Comparison

Section	RM5 Zone Requirements as per 5.3.2.e.	Proposed Development	Conforms
<b>Permitted Uses</b>	Dwelling unit	Dwelling unit	Conforms
<b>Density</b>	Max. 4 dwelling units	3 dwelling units	Conforms
<b>Lot Area</b>	Min: 500 m <sup>2</sup> (5,382 ft <sup>2</sup> )	493 m <sup>2</sup> (5,307 ft <sup>2</sup> )	Conforms
<b>Lot Coverage</b>	45%	44.9%	Conforms
<b>Height</b>	Max: 10.5 metres (34.4 ft)	10.42 metres (34.2 ft)	Conforms
<b>Storeys</b>	Max: 3 storeys	3 storeys	Conforms
<b>Size of 3<sup>rd</sup> Storey</b>	Max. 70% of the floor below	70%	Conforms
<b><u>Setbacks:</u></b>			
<b>Front (West)</b>	Min: 4.5 metres (14.8 ft)	5.75 metres (18.9 ft)	Conforms
<b>Rear (East)</b>	Min: 4.5 metres (14.8 ft)	4.61 metres (15.1 ft)	Conforms
<b>Interior Side (North)</b>	Min: 2.0 metres (6.6 ft)	2.04 metres (6.7 ft)	Conforms
<b>Exterior Side (South)</b>	Min: 3.0 metres (9.8 ft)	3.02 metres (9.9 ft)	Conforms