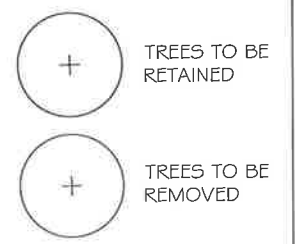


Suggested Plant List					
	Key	Common Name	Latin Name	Size	
Trees	RMAP	Red maple	Acer rubra var. 'Red Sunset'	8cm Cal.	
	FRUN	Autumn Flowering Cherry	Prunus autumnalis	6cm Cal.	
	JMAP	Red Japanese Maple	Acer palmatum var. 'Bloodgood'	6cm Cal.	
	THUJ	Upright Cedar	Thuja occidentalis var. 'Smaragd'	1.5m Ht.	
	MALA	Apple Tree	Malus domestica var. 'Gala'	5cm Cal.	
	PLUM	Eddle Plum Tree	Prunus var. 'Greenquage'	5cm Cal.	
SPIN	Shore Pine	Pinus contorta	6cm Cal.		
Medium Shrubs	OTTO	Otto Luyken Laurel	Prunus laurocerasus var. 'Otto Luyken'	#2 Pot	
	MRHB	Rhododendron	Rhododendron var. 'Christmas Cheer'	#5 Pot	
	MRHA	Rhododendron	Rhododendron var. 'Unique'	#5 Pot	
	RIBE	Red Flowering Currant	Ribes sanguineum var. 'King Edward'	#2 Pot	
	SKIM	Skimmia	Skimmia japonica var. 'Rubella' (male & female)	#2 Pot	
	VACC	Edible Blueberry	Vaccinium var. 'Legacy'	#2 Pot	
	DVIB	David Viburnum	Viburnum davidi	#5 Pot	
	AZAP	Evergreen Azalea	Azalea japonica var. 'Girard's Fuchsia'	#2 Pot	
	AZAW	Evergreen Azalea	Azalea japonica var. 'Gumpo White'	#2 Pot	
Small Shrubs	ADOG	Dwarf Dogwood	Cornus sencana var. 'Kelsey'	#2 Pot	
	EUOF	Creeping Euonymus	Euonymus fortunei var. 'Emerald Gaiety'	#1 Pot	
	NINE	Ninebark	Physocarpus opulifolius var. 'Diablo'	#1 Pot	
	DWJ	Dwarf Pines	Pinus japonica var. 'Debutante'	#1 Pot	
	POLY	Sword Fern	Polystichum minimum	#1 Pot	
	DWRH	Dwarf Rhododendron	Rhododendron var. 'Bow Bells' & 'Jock'	#1 Pot	
	SARC	Sweetbox	Sarcococca humilis	#1 Pot	
	SPGF	Goldflame Spirea	Spirea bumalda var. 'Goldflame'	#1 Pot	
	SPIB	Dwarf Bridal Wreath	Spirea bumalda var. 'Anthony Waterer'	#1 Pot	
	ILEX	Japanese False Holly	Ilex crenata convexa	#1 Pot	
	JPPN	Japanese Painted Fern	Athyrium niponicum	#1 Pot	
	Vines	ARM	Evergreen Clematis	Clematis armandii	#5 Pot
		CLEM	Montana Clematis	Clematis montana var. 'Elizabeth'	#5 Pot
Ground Covers	ASTI	Astilbe	Astilbe chinensis var. 'Pumila'	#SP4 Pot	
	HEUC	Coral Bells	Heuchera micrantha var. 'Palace Purple'	#SP4 Pot	
	LAM	Vaneated False Nettle	Lamium maculatum var. 'Pink Pewter'	#SP4 Pot	
	MOSS	Scotch Moss	Sagina subulata	#SP4 Pot	
	VITI	Lignoberry	Vaccinium vitis-idaea	#SP4 Pot	
	FRAG	Coastal Strawberry	Fragaria chiloensis	#SP4 Pot	
	AJUG	Bugleweed	Ajuga reptans var. 'Burgundy Glow'	#SP4 Pot	
	BEAR	Bearberry	Arctostaphylos uva-ursi var. 'Vancouver Jade'	#SP4 Pot	
	BERG	Bergenia	Bergenia cordifolia var. 'Dressingham Ruby'	#SP4 Pot	
	VINC	Penwinkle	Viola minor var. 'Alba' Mrs. Bowles'	#SP4 Pot	
	Perennials & Grasses	IRIS	Sweet Iris	Iris pallida var. 'Vanegata'	#1 Pot
		LAV	English Lavender	Lavandula angustifolia var. 'Munstead'	#1 Pot
SCIZ		Kafir Lily	Schizostylis coccinea var. 'Oregon Sunset'	#1 Pot	
CARX		Vanagated Sedge	Carex morroesi aureo var. 'Vanegata'	#1 Pot	
TEST		Orange New Zealand Sedge	Carex testacea	#1 Pot	
MISC		Maiden Hair Grass	Miscanthus sinensis	#1 Pot	

Notes: - All landscape work to conform with B.C.S.L.A. / B.C.N.T.A. standard specification.
 - All areas to be irrigated with an automatic underground system.

SOFTSCAPE LEGEND



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TOWN OF SIDNEY



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ARCH. STAMP

9667 FIFTH STREET
 SIDNEY, BC

CLIENT

REV. DATE	NUMBER	DESCRIPTION
04.10.2024	1	ISSUED FOR REVIEW
04.23.2024	2	ISSUED FOR REVIEW

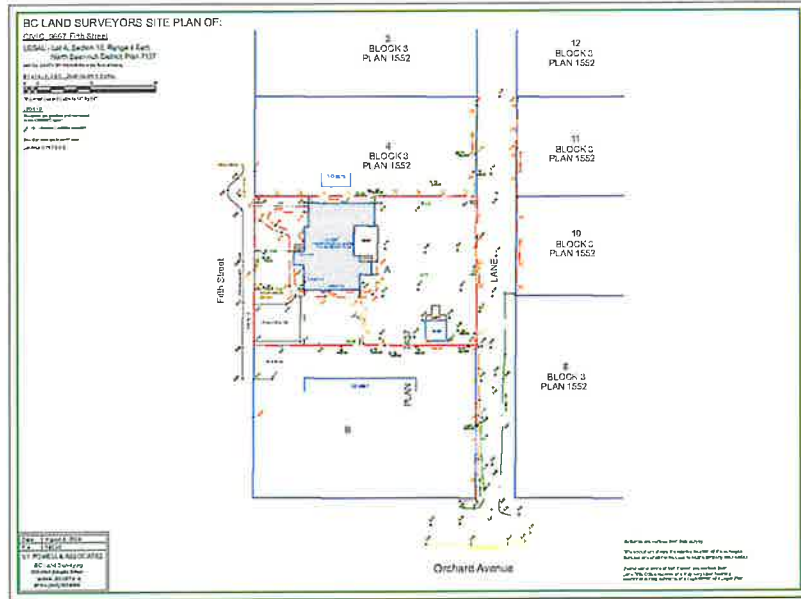
DATE APRIL 23, 2024
 SCALE 1/8" = 1'-0"

LANDSCAPE CONCEPT PLAN

L1

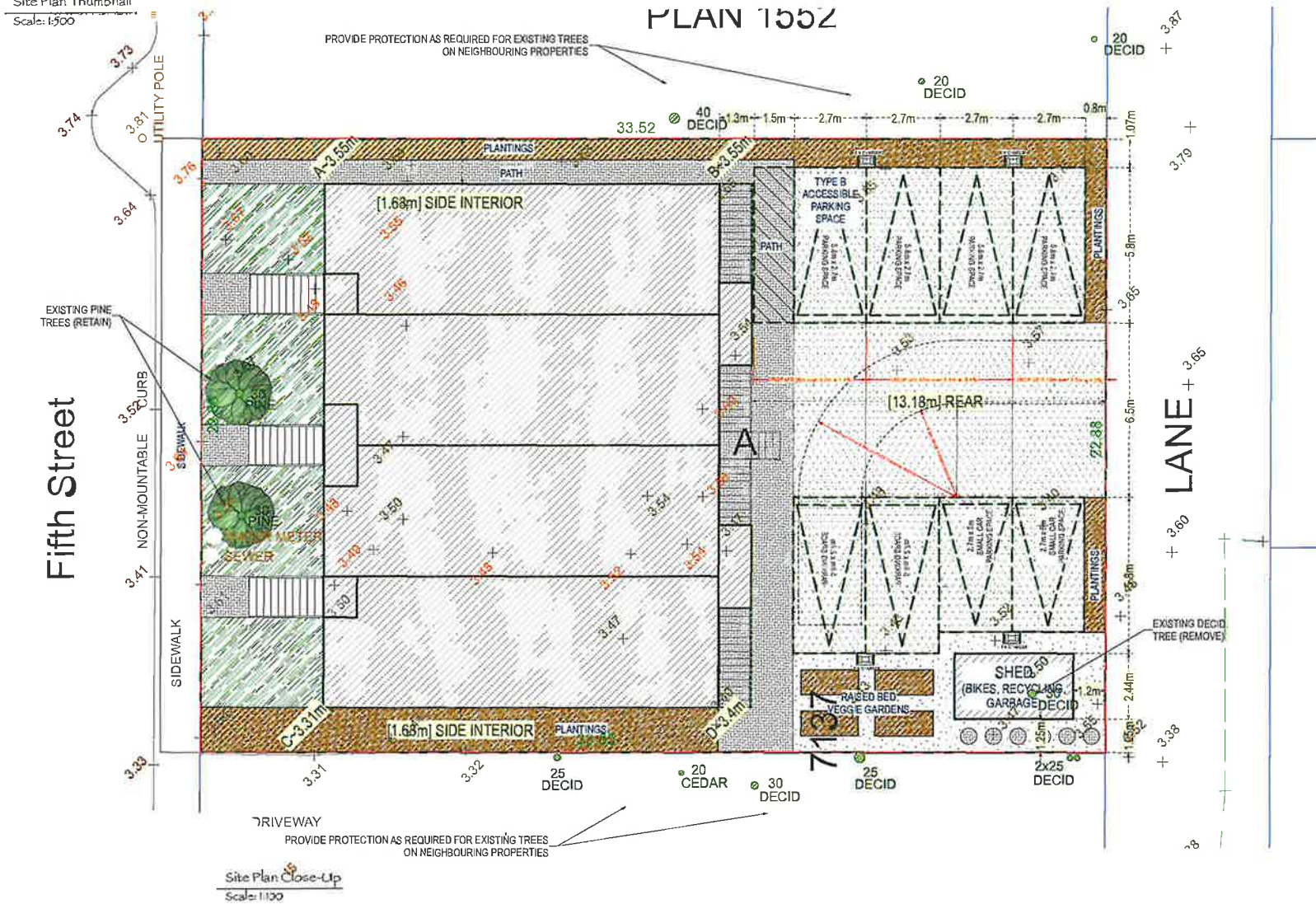
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SITE PLAN & PROJECT INFO



Site Plan Thumbnail
 Scale: 1:500

PLAN 1552



9667 Fifth Street, Sidney, B.C. - Project Info Table

Zoning and Permitted Uses				
Zone	RMS - Multi-Unit Residential	To provide for attached row housing and multi-family housing at a maximum height of 2.5 storeys	Notes	
Permitted Uses	Accessory use, building or structure, Row house dwelling, Townhouse Dwelling, Apartment Dwelling	Proposal is to construct a 4-unit Townhouse, each with a suite, resulting in 8 dwellings.		
Buildings and Structures				
Item	Proposed	Notes		
Lot Area	Min. 670sq.m. 766 sq.m. 8250 sq'	OK		
Maximum Residential Density	Max. 1,330.1 Floor Area Ratio (F.A.R.) (Bonus Density)	8836 sq'	1,07:1	OK subject to the provision of amenities as required by the Town of Sidney Bonus Density and Community Amenity Contribution Policy
Lot Coverage	Max. 55% (See 5.1.5 for exemptions) Covered porches and entranceways, including stairs not exceeding 1.2 metres in height that are located in the front and exterior side yards shall not be included in lot coverage. (5.3.6 s.1)	3392 sq'	41% lot coverage with main building	OK Upper floors will cantilever 45" to provide protection for east side access
Height	Max. 9m (roof pitch greater than 3:12) or Max. 8m (Roof pitch 3:12 or less)	9.54 m	From grade to peak	Variance Required
Storeys	Max. 2.5 Storeys	3.0	Storeys	Variance Required As geotech suggests that slab be no more than 2-ft below grade, a variance will be needed for this to be a 3-storey building.
Front Setback	Min. 4.5m (Covered porches and entranceways, including stairs not exceeding 1.2 metres in height that are located in the front and exterior side yards shall be permitted to project an additional 3 metres into the front and exterior side yards (5.3.8 s.1))	4.5m	Front Yard Setback	OK
Rear Setback	Min. 4.5m	13.79m	Rear Yard Setback	OK
Side Interior Setbacks	Min. 1.5m	1.68m	Side Yard Setbacks	OK
Orientation	Min. 3 dwelling units per building shall be attached	8 dwellings are attached.		OK
Adaptability	20% of all new townhouse dwellings in a development project shall be adaptable units as per Section 7. All calculations shall round up to the nearest whole number.	2 dwellings (or 25% of the project) are adaptable units		OK 2 Lower floor units are adaptable
Shape & Massing	Townhouse dwellings must be a minimum of two (2) storeys, with the second storey of each dwelling unit having a minimum floor area of 25 square metres of finished habitable space.	Four dwellings are 2-storeys while four dwellings on the lowest level are single story		Variance required? CAN the half storeys at the bottom be separately rentable units with no stairway connecting to above?
Vehicle Parking & Bicycle Parking Regulations				
Parking	Min. 1 space per unit, including secondary cycles. For the project, 8 spaces are required, and one must be a Type B Accessible Space.			OK Path adjacent to two spots closest to the building, will be the access route for the Type B Accessible Spaces

Floor Area Calculations		
Unit	Space	Area
Unit A	Main Floor	745 sq'
	Upper Floor	760.5 sq'
	Basement Level	664.7 sq'
Unit B	Main Floor	745 sq'
	Upper Floor	760.5 sq'
	Basement Level	704 sq'
Unit C	Main Floor	745 sq'
	Upper Floor	760.5 sq'
	Basement Level	704 sq'
Unit D	Main Floor	745 sq'
	Upper Floor	760.5 sq'
	Basement Level	664.7 sq'
Mechanical Room		39.3 sq'
TOTAL		8838 sq'

AVERAGE GRADE CALCULATION	
POINT	GRADE (m)
A	3.6
B	3.6
C	3.3
D	3.4
AVERAGE (m)	3.5

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- 9667 5th Street -

*** PLANS ARE FORMATTED TO BE PRINTED AT 36" X 24" ***
 *** ENGINEERS' SPECIFICATIONS TO SUPERCEDE THESE PLANS AS REQUIRED ***

ELEVATIONS (East & West)



Front (West) Elevation
Scale: 1/4" = 1'-0"



Rear (East) Elevation
Scale: 1/4" = 1'-0"



Front Left
Scale: 3/32" = 1'-0"

OUTDOOR AMENITY SPACE FOR UPPER UNITS IS IN FRONT YARDS FACING 5TH STREET



Front Right
Scale: 3/32" = 1'-0"



Rear Left
Scale: 3/32" = 1'-0"

OUTDOOR AMENITY SPACE FOR LOWER UNITS IS UNDER DECKS AT REAR



Rear Right
Scale: 3/32" = 1'-0"

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ELEVATIONS (North & South)

Spatial Separations Calculations							
WALL	LIMITING DISTANCE (m)	EXPOSING BUILDING FACE (sq m)	EXPOSING BUILDING FACE (sq m)	PROPOSED UNPROTECTED OPENINGS (sq m)	ALLOWABLE UNPROTECTED OPENINGS (%)	PROPOSED UNPROTECTED OPENINGS (%)	Allowable must be greater than proposed
-From Side Face & Windows-	-From Side Face-	-From Side Face-	-From Elevation-	-From Elevation-	-From Elevation-	-From Elevation-	-Compare Allowable to Proposed-
North Elevation (Main Wall)	1.50m	1138	106	74.75	7.2%	6.6%	OK
North Elevation (Bump-Out)	1.38m	139	13	10	7.2%	7.2%	OK
South Elevation (Main Wall)	1.68m	1129	105	74.75	7.2%	6.6%	OK
South Elevation (Bump-Out)	1.38m	139	13	10	7.2%	7.2%	OK



Left (North) Elevation
Scale: 1/4" = 1'-0"



Right (South) Elevation
Scale: 1/4" = 1'-0"

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STREETSCAPE & COLOUR SWATCHES



Streetscape (West Elevation)
Scale: 1:100

- 
 (1) Dark Horizontal Siding:
Night Gray
(James Hardie)
- 
 (2) Medium Horizontal Siding:
Boothbay Blue
(James Hardie)
- 
 (3) Light Horizontal Siding:
Light Mist
(James Hardie)
- 
 (4) Faux Wood:
Aged Pewter
(James Hardie)
- 
 (5) Roofing:
Midnight Black
(Malarkey)
- 
 (6) Trim:
Arctic White
(James Hardie)

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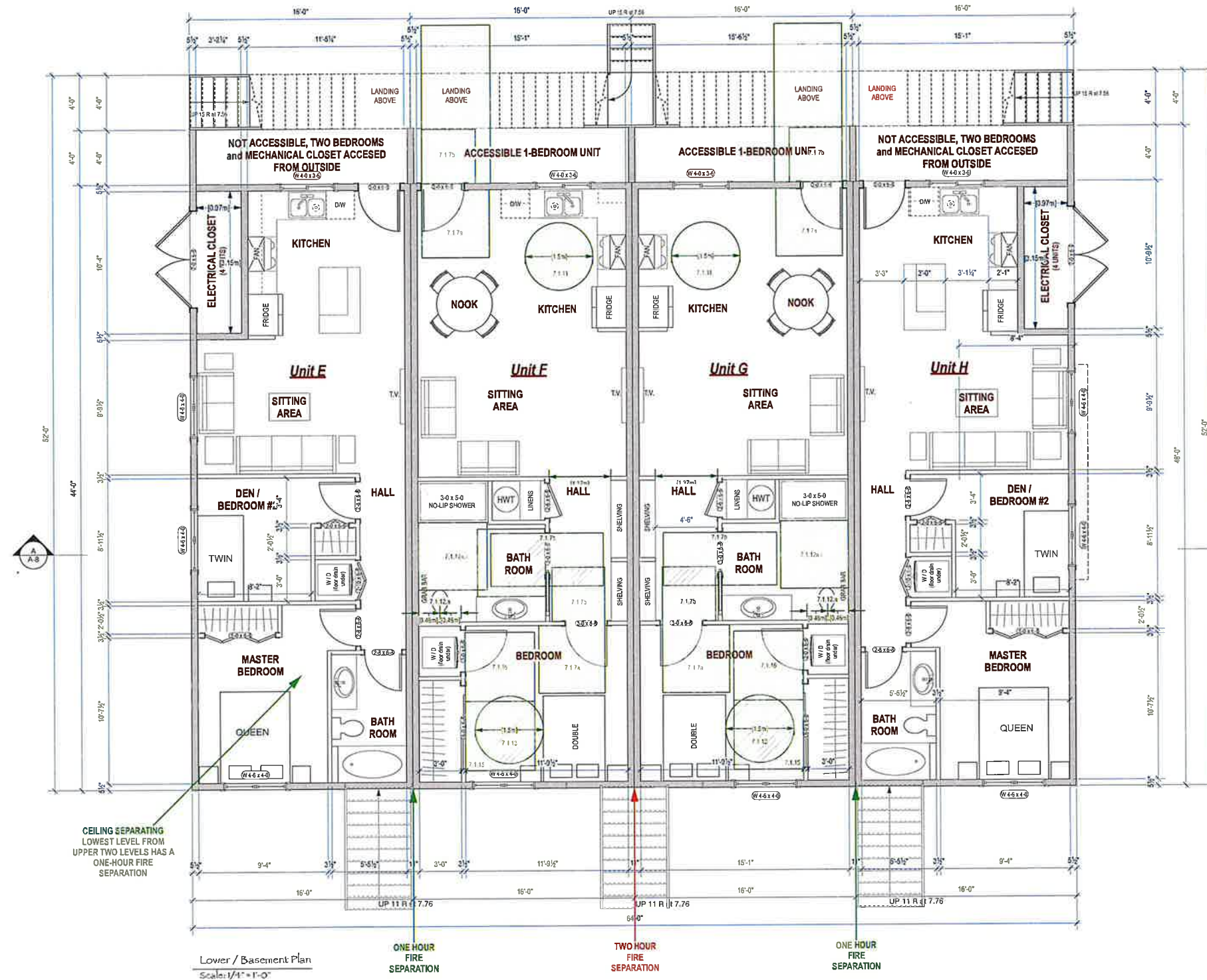
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	A-4	TARA & NIALL	
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LOWER FLOOR PLAN



7.1.1 Paths of Travel

- a. Exterior walkways to at least one main entrance shall:
 - i. be provided by means of a continuous plane not interrupted by steps or abrupt changes in level;
 - ii. have a permanent, firm and slip resistant surface such as asphalt, concrete pavers, well compacted crushed stone, or lumber with the planks across the direction of travel; and
 - iii. have an unobstructed width of not less than 1.5 metres, and a gradient not steeper than 1 in 20.

7.1.2 Location of Adaptable Units

- a. Where possible, all adaptable units shall be located on the ground floor, however, if located above the main floor, those units must provide an area of refuge.

7.1.3 Notice of Adaptable Features

- a. A permanent information sheet on the location and type of adaptable features included in the unit shall be posted on, beside or inside the electrical panel.

7.1.4 Corridor Widths

- a. Corridors shall be not less than 1.0 metre wide for all interior routes.

7.1.5 Floor Surfaces

- a. Floor surfaces shall have no changes in level greater than 0.013 metres.

7.1.6 Doors

- a. Doors shall have a clear width when open of not less than 0.9 metres.
- b. Thresholds shall not exceed 0.013 metres high.
- c. Operating devices such as handles, pulls, latches, and locks shall:
 - i. be operable by one hand;
 - ii. not require fine finger control, light grasping, pinching or twisting of the wrist to operate; and
 - iii. be mounted not more than 1.2 metres from the floor.

7.1.7 Maneuvering Space at Doors

- a. When the door swing is towards the maneuvering space, the space shall be not less than 1.5 metres long by a width equal to the door assembly width plus not less than 0.5 metres clear space beside the latching jamb of the door.
- b. When the door swing is away from the maneuvering space, the space shall be not less than 1.2 metres long by a width equal to the door assembly width plus not less than 0.30 metres clear space beside the latching jamb of the door.

7.1.8 Controls and Outlets

- a. Light switches, circuit breakers, locks, and intercom buttons shall be located at a height between 0.4 metres and 1.2 metres from the floor.
- b. Electrical receptacle outlets shall be located between 0.4 metres and 1.2 metres above the floor.
- c. Thermostats shall be located between 0.4 metres and 1.2 metres above the floor.
- d. The operable part of controls, such as thermostats, electrical switches, circuit breakers, locks and intercom buttons, microphones, and electrical and communication wall outlets shall be:
 - i. located adjacent to a clear floor space that has a width of not less than 0.75 metres;
 - ii. operable with one hand; and
 - iii. of a type that does not require light grasping, pinching, or twisting of the wrist.
- e. At least one switched electrical outlet shall be provided in the master bedroom and living room.

7.1.9 Alarms

- a. An electrical receptacle shall be provided above the main entrance to allow for the connection of a personal vessel or auditory signal.

7.1.10 Windows

- a. Opening and locking mechanisms shall be:
 - i. located adjacent to a clear floor space that has a width of not less than 0.75 metres;
 - ii. operable with one hand; and
 - iii. of a type that does not require light grasping, pinching or twisting of the wrist.

7.1.11 Kitchens

- a. The clearances between counters and all opposing base cabinets, counter tops, appliances or walls shall be not less than 1.6 metres.

7.1.12 Bathrooms

- a. At least one toilet compartment shall:
 - i. have a space not less than 1.5 metres by 1.5 metres for access to the toilet and the future shelf, and the access space may overlap access space for other fixtures;
 - ii. have a distance between the centre line of the toilet fixture and the adjacent wall of between 0.46 metres and 0.48 metres; and
 - iii. have wall structural support provided behind a toilet, shower or bathtub to allow the installation of grab bars.

7.1.13 Bedrooms

- a. At least one bedroom shall provide sufficient space for a living area of not less than 1.5 metres diameter on one side of a standard-size double bed.

7.1.14 Base Cabinets for Kitchens and Bathrooms

- a. The base cabinets under a kitchen or bathroom sink shall be removable.
- b. At least one section of the kitchen counter shall have a work surface that is:
 - i. not less than 0.75 metres wide x 0.6 metres deep; and
 - ii. adjustable in height from 0.71 metres to 0.86 metres.

7.1.15 Clothes Storage

- a. Where provided, one hall closet and one bedroom closet shall have:
 - i. a clear floor space of not less than 1.5 metres diameter in front of the storage area; and
 - ii. a clear opening of not less than 0.9 metres.

7.1.16 Laundry Facilities

- a. A clear floor space of not less than 1.5 metres diameter shall be provided in front of clothes washing or drying equipment.

7.1.17 Living Areas

- a. Complete living facilities, including a kitchen, bathroom and bedroom, shall be provided on one level to avoid the need for lifts or elevators. However, where living areas are provided on two or more levels, closet or foyer space not less than 0.915 metres wide by 1.20 metres long shall be positioned one above the other on each level to provide space to accommodate the future installation of an residential elevator or lift.

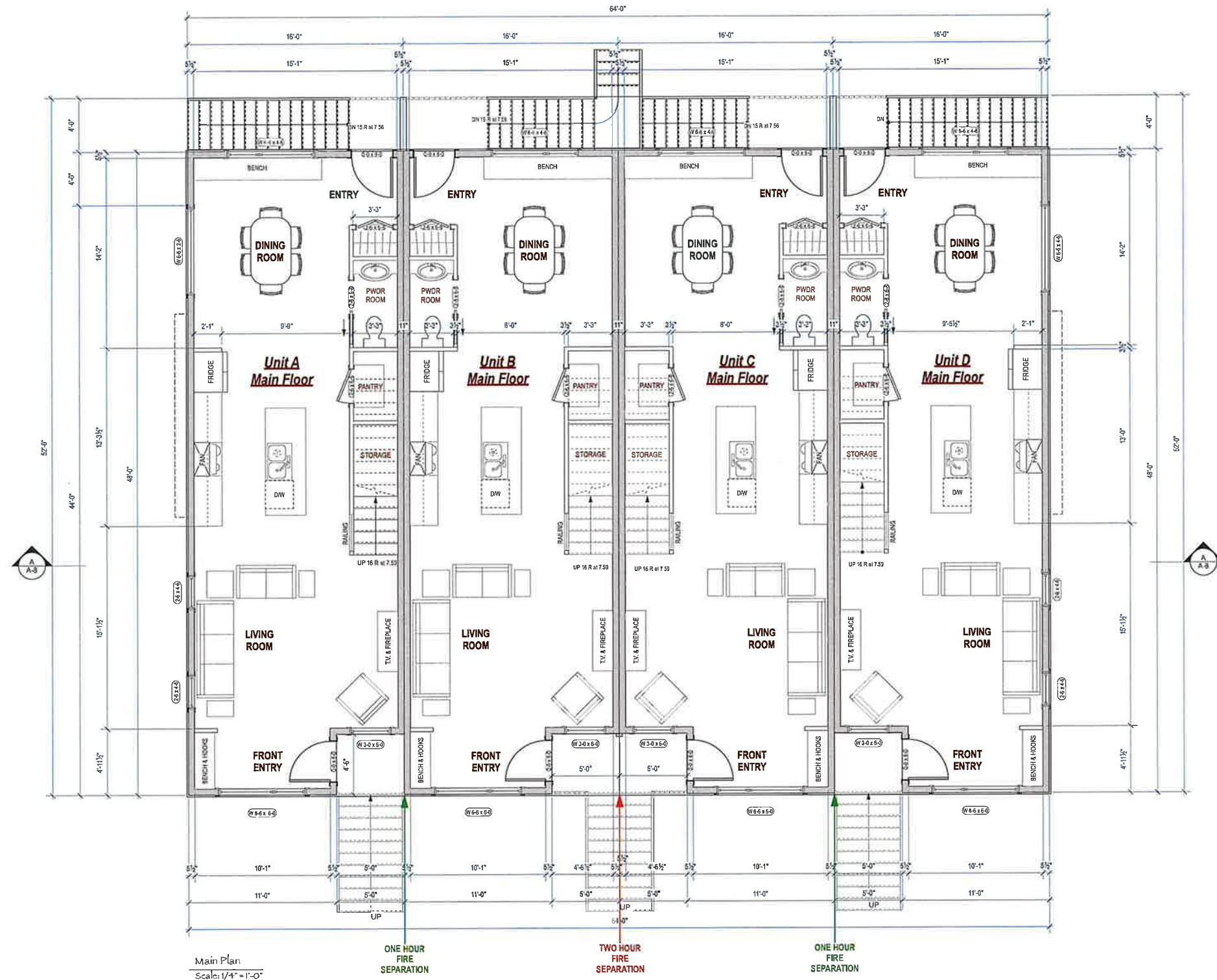
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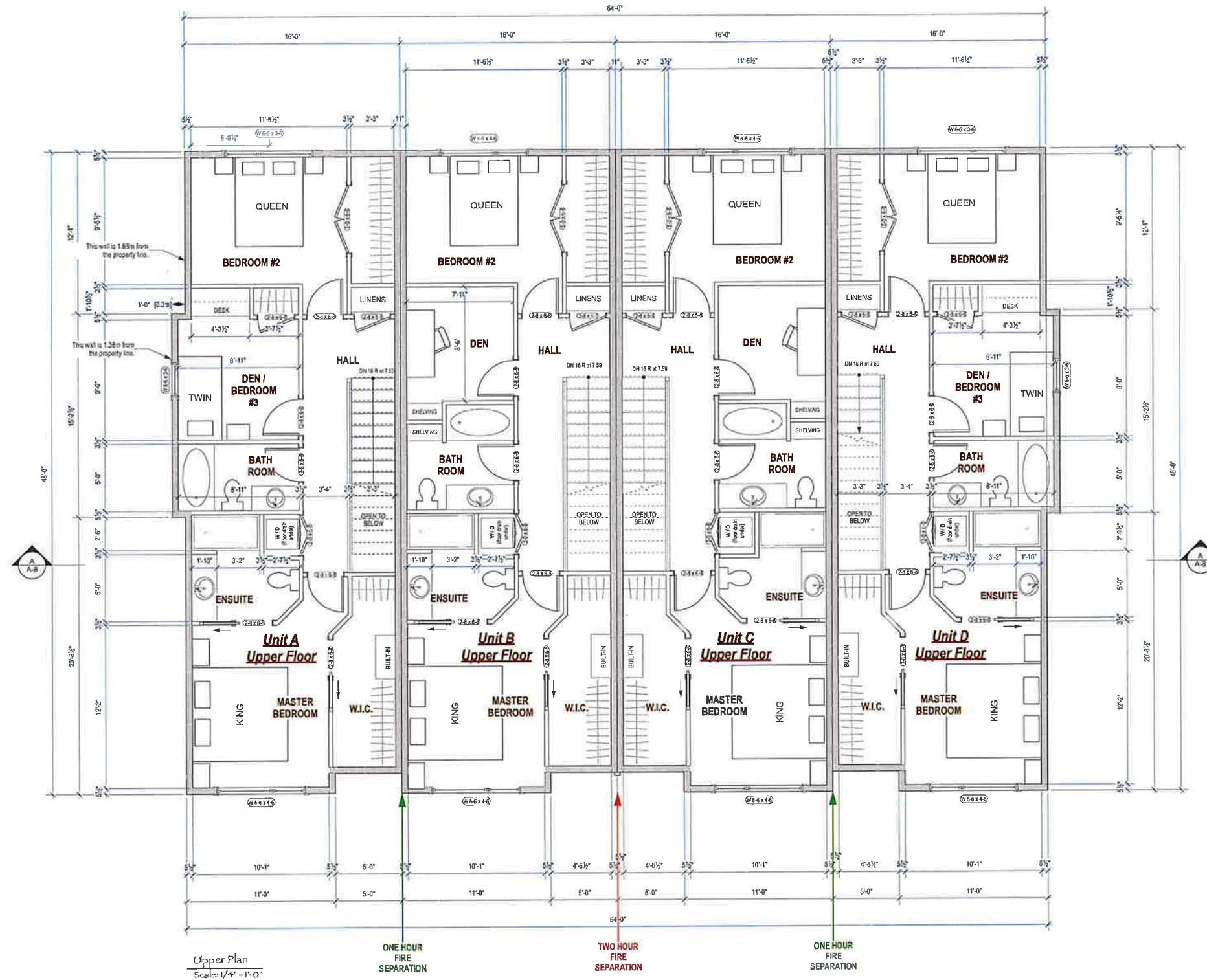
MAIN FLOOR PLAN



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UPPER FLOOR PLAN



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